

# CITY OF ALBUQUERQUE



March 2, 2017

David G. Anderson, R.A.  
Anderson Whalen & Associates  
2010 N. Redwood Rd.  
Salt lake City, UT 84116

**Re: LHM Jeep Dodge, 909 Virginia St. NE**  
**Request for Certificate of Occupancy- Transportation Development**  
TCL Stamp dated 04-13-16 (K19-D023)  
Certification dated 02-14-17

Dear Mr. Anderson,

Based upon the information provided in your submittal received 02-14-17 and photos received 03-01-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

/rmm via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## TRAFFIC CERTIFICATION

I, David G. Anderson, NMPE 20167, of the firm Anderson Wahlen & Associates, hereby confirm that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan date stamped 5-5-16. Any record information edited onto the original design document has been obtained by Gary E. Gritsko, NMPS 8686, of the firm Alpha Pro Surveying LLC. I further verify that I have reviewed the site improvements and personnel under my direct supervision observed the project site on 10-19-16 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This documentation is submitted in support of a request for Permanent Occupancy Permit.

(Describe any exceptions and/or qualifications here in a separate paragraph)

-None

(Describe any deficiencies and/or corrections required here in a separate paragraph)

-None

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



David G. Anderson, NMPE 20167

1-17-2017

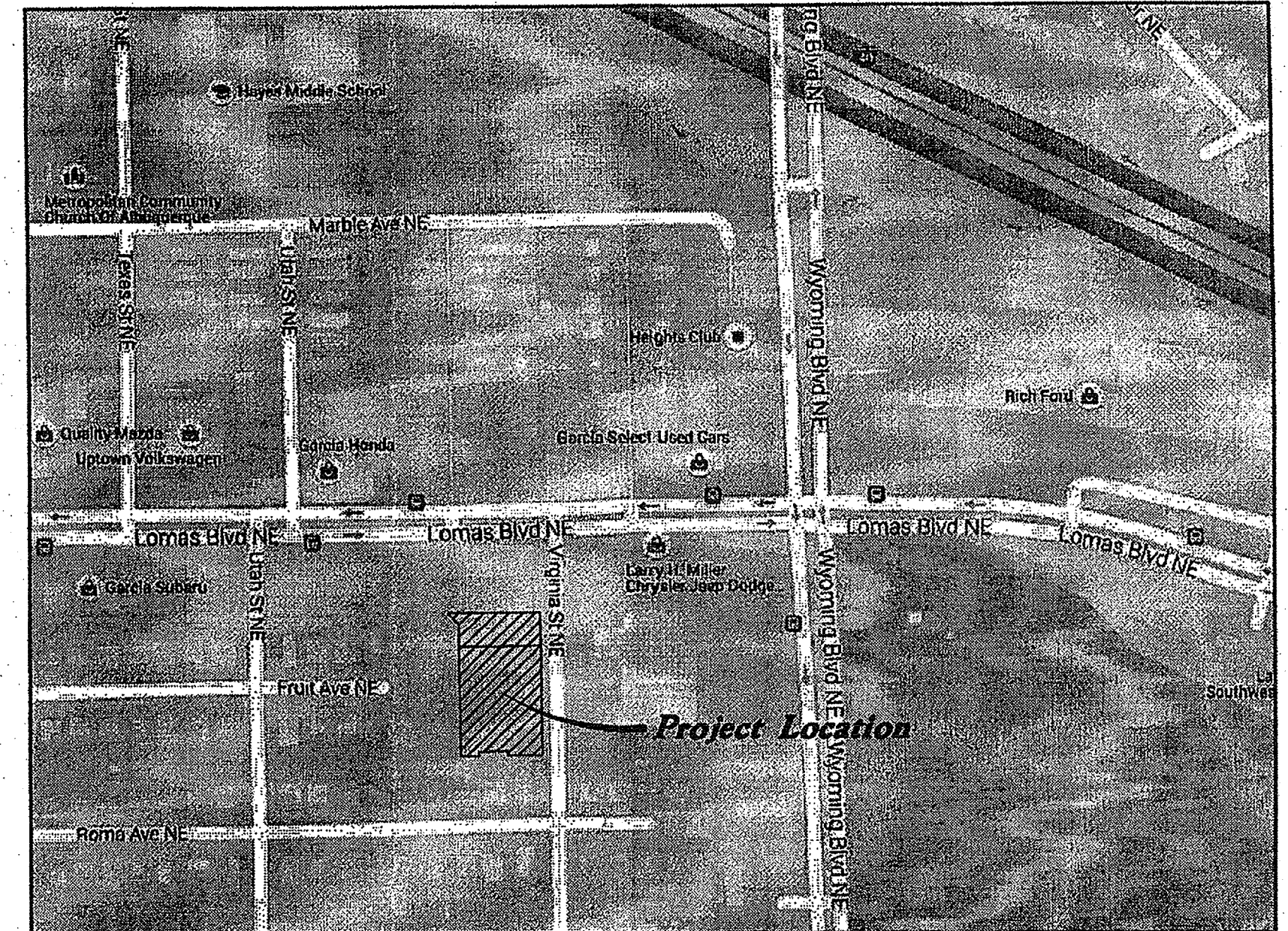
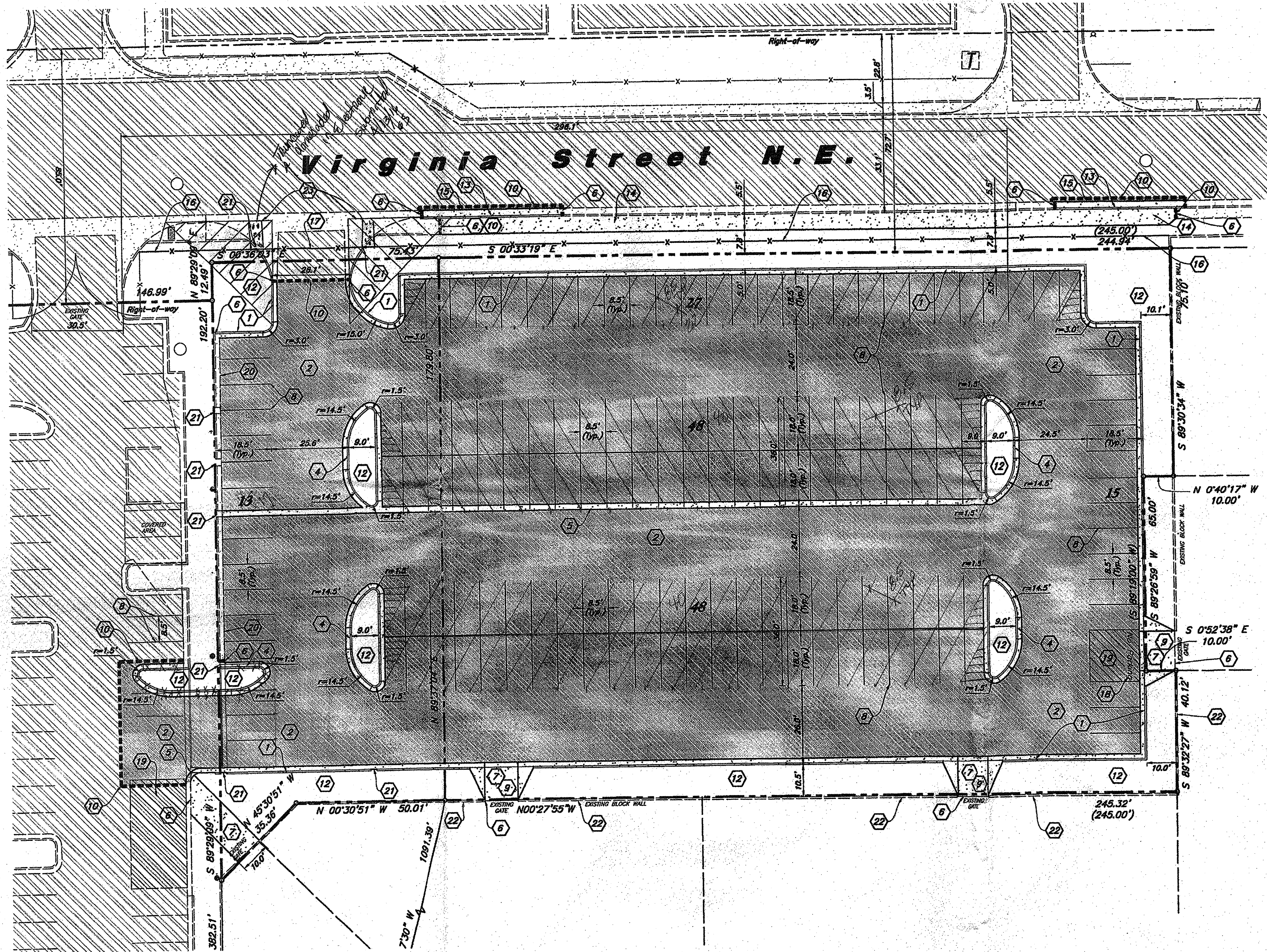
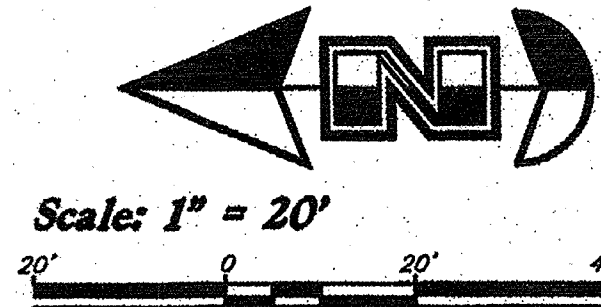
Date





**TRAFFIC CIRCULATION LAYOUT APPROVED**  
*[Signature]* 4/15/16  
 Date

ALL WHEELCHAIR RAMPS LOCATED  
 WITHIN THE PUBLIC RIGHT OF WAY  
 MUST HAVE TRUNCATED DOMES.



**Vicinity Map**  
**Zone Atlas Page K-19**

909 Virginia Street N.E.  
 Albuquerque, NM 87107  
 Not to Scale



**Legal Description**

Lot numbered Forty-six-A (46-A) in Block Lettered "C", of Basque Redondo Addition, to the City of Albuquerque, New Mexico, as the same is shown and designated on the Summary plat of Lot 46-A, Block "C" filed in the Office of the County Clerk of Bernalillo County, New Mexico, on January 15, 1992, in Plat Book A8, folio 120.

**Legend**

- Proposed Curb & Gutter
- Proposed Heavy Duty Asphalt
- Proposed Asphalt
- Proposed Concrete
- Proposed Fence
- Property Line
- Sawcut Line
- Existing Improvements
- Existing Asphalt
- Existing Concrete
- Existing Fence

**Site Data**

Site Area = 57,956 s.f. (1.33 ac.)  
 Landscape Area Provided = 10,302 s.f. (17.8%)  
 Impervious Area Provided = 48,523 s.f. (83.7%)  
 Parking Provided = 124 stalls

**General Site Notes:**

1. Fire lane markings and signs to be installed as directed by the Fire Marshal.
2. All dimensions are to back of curb unless otherwise noted.
3. Const. curb transition at all points where curb abuts sidewalk, see detail.
4. Clear Sight Triangle: Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.
5. All broken and cracked sidewalk and curb & gutter must be replaced as per city standards.

**Site Construction Notes**

- 1 Const. 24" Curb & Gutter (C3.1)
- 2 Const. Asphalt Paving (C3.1)
- 3 Not Used
- 4 Const. 24" Railed Curb & Gutter (C3.1)
- 5 Const. 2" Conc. Waterway (C3.1)
- 6 Conn. & Match Existing Improvements (To Nearest Joint)
- 7 Const. Conc. Paving (C3.1)
- 8 Const. 4" White Paint Stripes (Typ.) (C3.1)
- 9 Const. Flared Drive Approach per Albuquerque Std. Drg. 2425 (C3.1)
- 10 Sawcut; Provide Smooth Clean Edge
- 11 Not Used
- 12 Landscaping (See Landscape Plan)
- 13 Const. Conc. Curb & Gutter per Albuquerque Std. Drg. 2415A (C3.2)
- 14 Const. 5.5" Conc. Sidewalk (Match Existing) per Albuquerque Std. Drg. 2430 (C3.2)
- 15 Const. Asphalt Paving per Albuquerque Std. Drg. 2405B (C3.2)
- 16 Const. 6" Wrought Iron Fence to Match Exist. Across Street
- 17 Const. (2) 18" Rolling Gates (Coordinate with Electrical Contractor for power to gate)
- 18 Const. Striping for "No Parking"
- 19 Const. 4" White Paint Stripes @ 45' 2" Spacing
- 20 Existing Curb & Gutter
- 21 Const. 24" Curb Opening (C3.1)
- 22 Const. Block Wall with Stucco to Match Existing Block Wall to North (by Dealership Parking Area) (Varies, depending on Condition of Existing Block Wall - Height to be Uniform)
- 23 Clear Sight Triangle (C3.1)

**Survey Control Note:**

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property that this requirement shall apply continuously and not be limited to normal working hours, and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

**Accessible Note:**

Contractor must maintain a running slope on Accessible routes no steeper than 5.0% (1:20). The cross slope for Accessible routes must be no steeper than 2.0% (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
 The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of the (ICC/ANSI A117.1-Latest Edition) and/or FWA.

New Mexico One Call, Inc.



1-800-321-ALERT

Traffic Circulation/Site Plan

LHM Jeep Dodge Albuquerque

909 Virginia Street N.E.  
 Albuquerque, NM



31 Mar, 2016

SHEET NO.

C1.1