

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

April 24, 2019

Jacky Lin, P.E.
WHPacific, Inc.
6501 Americas Parkway NE, Suite 400
Albuquerque, NM 87110

**RE: East Central Multi-Service Center Parking Lot Repaving
7525 Zuni SE
Grading and Drainage Plan
Engineer's Stamp Date: 4/17/19
Hydrology File: K19D030**

Dear Mr. Lin:

PO Box 1293

Based on the submittal received on 4/19/19, the Grading and Drainage Plan cannot be approved for Grading, Paving, or SO-19 Permit until the following are corrected:

Albuquerque

1. Payment in Lieu (Amount = \$8600, per sheet 6A and 7) of onsite management of the storm water quality volume must be made. Once paid, provide a copy of the paid deposit slip along with a new DTIS form to Hydrology for Grading, Paving, and SO-19 Permit approval.

NM 87103

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

WHPacific Project # P0022127W.0011

April 17, 2019

*Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services
PO Box 1293
Albuquerque, New Mexico 87103*

**Re: East Central Multi-Service Center Parking Lots Repaving
7525 Zuni SE, Albuquerque, NM
Grading and Drainage Plan
Hydrology File: K19D030**

Dear Dana:

Attached is the grading and drainage resubmittal for Paving Permit and SO-19 Approvals. The drawings have been revised per your comments letter dated April 2, 2019.

The Payment in Lieu Amount for Management of the Storm Water Quality Volume (SWQV) will be submit separately by COA Municipal Development.

The attached re-submittal is for Paving Permit and SO-19 approvals

- One (1) Copy of the Drainage Information Sheet
- One (1) Copy of the Existing Topographic Survey
- One (1) Copy of the Drainage Plan – West Parking Lot
- One (1) Copy of the Grading Plan – West Parking Lot
- One (1) Copy of the Grading Plan – East Parking Lot
- One (1) Copy of the Paving Plan – West Parking Lot
- One (1) Copy of the Paving Plan – East Parking Lot

Please contact me if you have any questions or comments.

Sincerely,

WHPacific, Inc.

By:
Minxuan (Jacky) Lin, PE
Civil Engineer, Development Services
6501 Americas Pkwy NE, Ste 400
Albuquerque, NM 87110
cc: Rick Beltramo



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: East Central Multi-Service Center Parking Lots Repaving **Building Permit #:** N/A **Hydrology File #:** K19D030
DRB#: N/A **EPC#:** N/A **Work Order#:** N/A
Legal Description: TR CA-1 Repl of East Central Multi-Service Center & Lots 2-9, Block 4, BEVENS ADDITION
City Address: 7525 Zuni SE, Albuquerque, NM 87108 & 306 San Pablo SE, Albuquerque, NM 87108

Applicant: WHPacific, Inc **Contact:** Minxuan(Jacky) Lin
Address: 6501 America Pkwy NE, Ste 400
Phone#: 505-348-5221 **Fax#:** **E-mail:** jlin@whpacific.com
Owner: City of Albuquerque, Department of Municipal Development **Contact:** Stacy Herrera
Address: One Civic Plaza NW, 7th Floor, Albuquerque, NM 87102
Phone#: 505-768-2768 **Fax#:** **E-mail:** stacyherrera@cabq.gov

TYPE OF SUBMITTAL: PLAT (# OF LOTS) RESIDENCE DRB SITE ADMIN SITE ☒ Other

IS THIS A RESUBMITTAL?: ☒ Yes No

DEPARTMENT: TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
☒ GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 OTHER (SPECIFY)
 PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

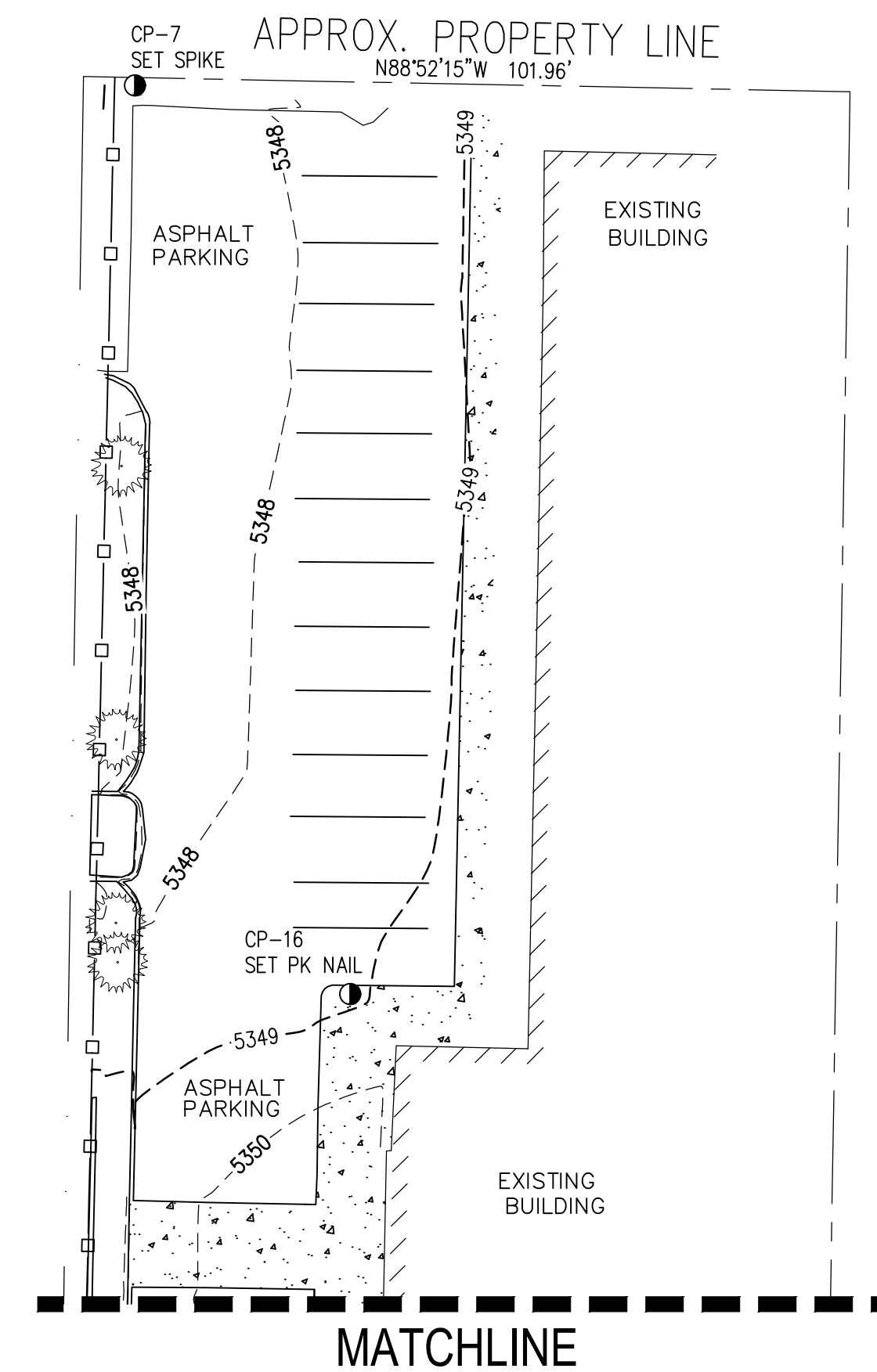
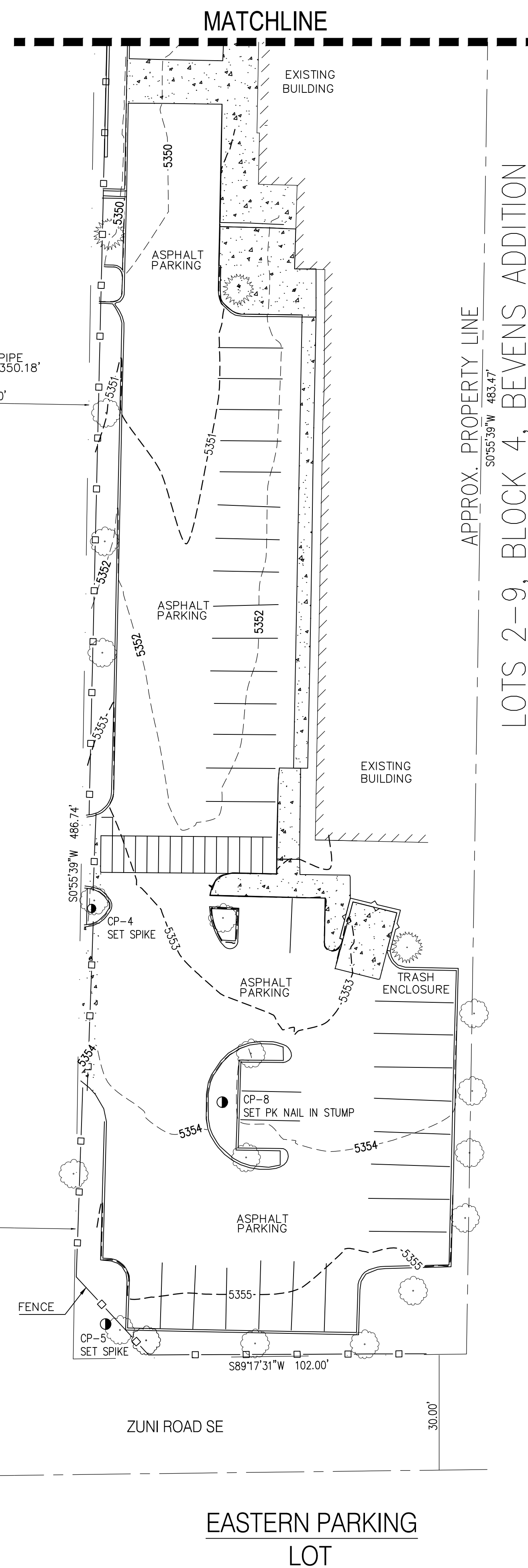
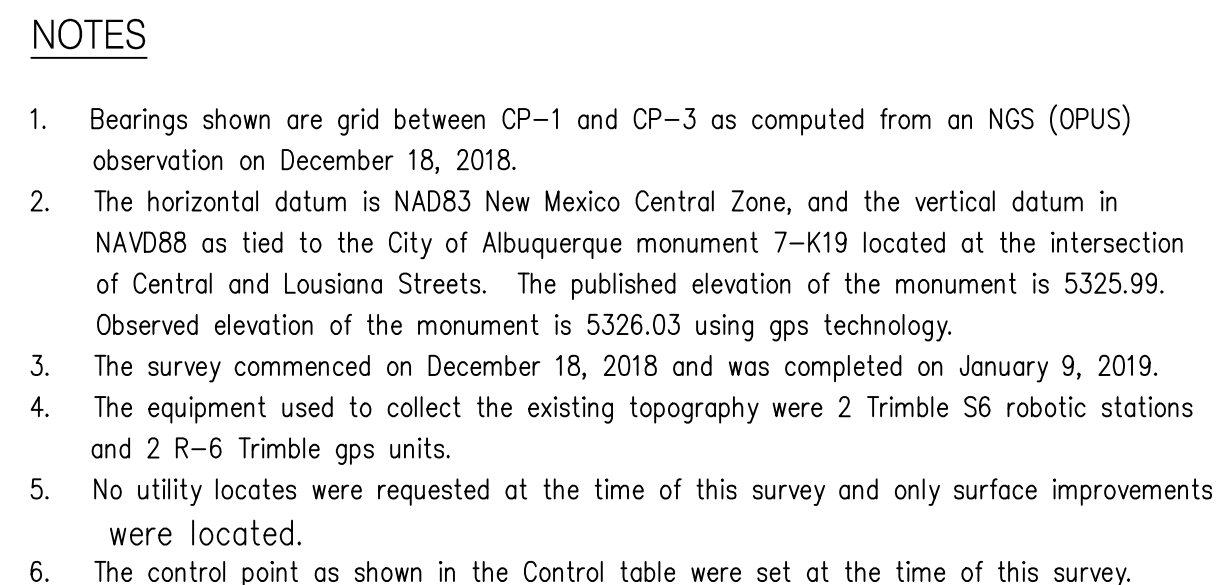
BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY)

DATE SUBMITTED: 4-17-2019 **By:** Minxuan(Jacky) Lin

COA STAFF:














ELECTRONIC SUBMITTAL RECEIVED:

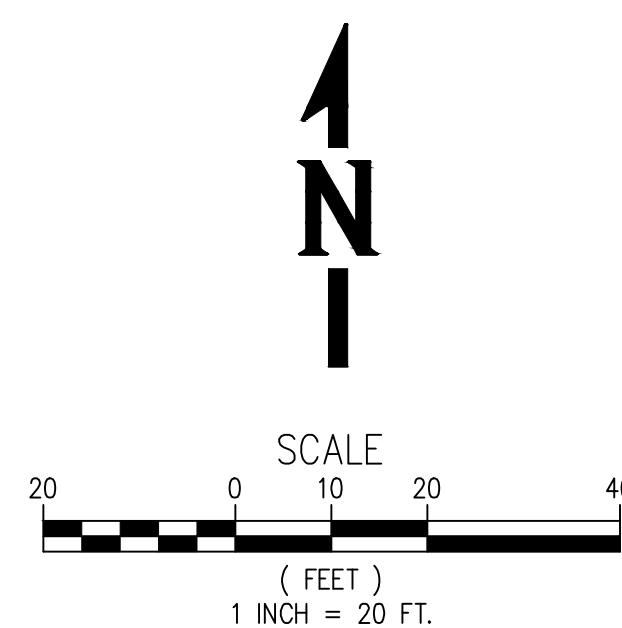
FEE PAID:



PROJECT CONTROL POINTS				
PT. NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1482074.653	1546600.302	5352.55	WHP YELLOW PLASTIC CAP
2	1482180.335	1546527.956	5351.83	SET 10" SPIKE
3	1482018.476	1546600.159	5353.13	X IN SIDEWALK
4	1482056.614	1546714.080	5353.82	SET 10" SPIKE
5	1481948.847	1546717.736	5354.84	SET 10" SPIKE
6	1482303.239	1546750.665	5348.94	X IN SIDEWALK
7	1482425.325	1546724.028	5347.07	SET 10" SPIKE
8	1482006.387	1546747.969	5354.34	SET PK NAIL IN STUMP

LEGEND



	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	CENTER LINE
	LOT LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	4' HIGH METAL FENCE
	PARKING STRIPE
	EXISTING DECIDUOUS TREE
	SET 5/8" REBAR/YELLOWCAP-OR SPIKE
	LOT NUMBER
	LIGHT POLE
	CONCRETE PAD



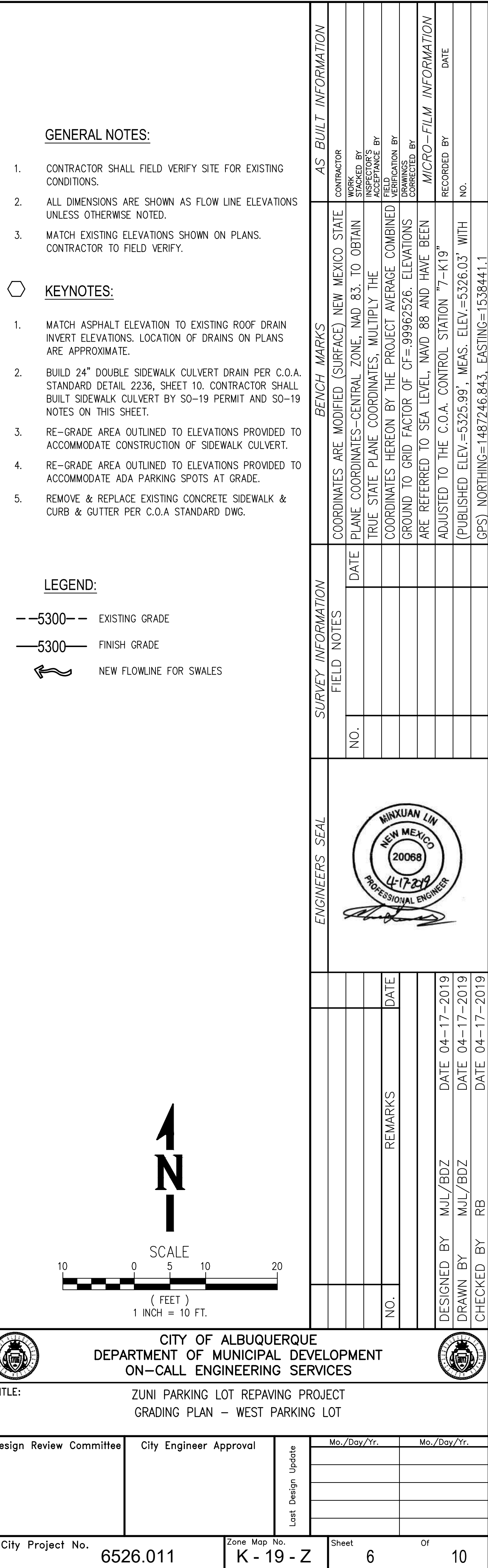
WESTERN PARKING LOT

EASTERN PARKING
LOT

FOR REVIEW PURPOSES ONLY

		<p align="center">CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ON-CALL ENGINEERING SERVICES</p>				
<p>TITLE:</p>		<p align="center">ZUNI PARKING LOT REPAVING PROJECT EXISTING TOPOGRAPHIC SURVEY</p>				
<p>Design Review Committee</p>	<p>City Engineer Approval</p>	<p>Last Design Update</p>	<p>Mo./Day/Yr.</p>		<p>Mo./Day/Yr.</p>	
<p>City Project No.</p>		<p>Zone Map No.</p>		<p>Sheet</p>		
<p align="center">6526.011</p>		<p align="center">K - 19 - Z</p>		<p align="center">3</p>		
				<p align="center">Of</p>		
				<p align="center">10</p>		

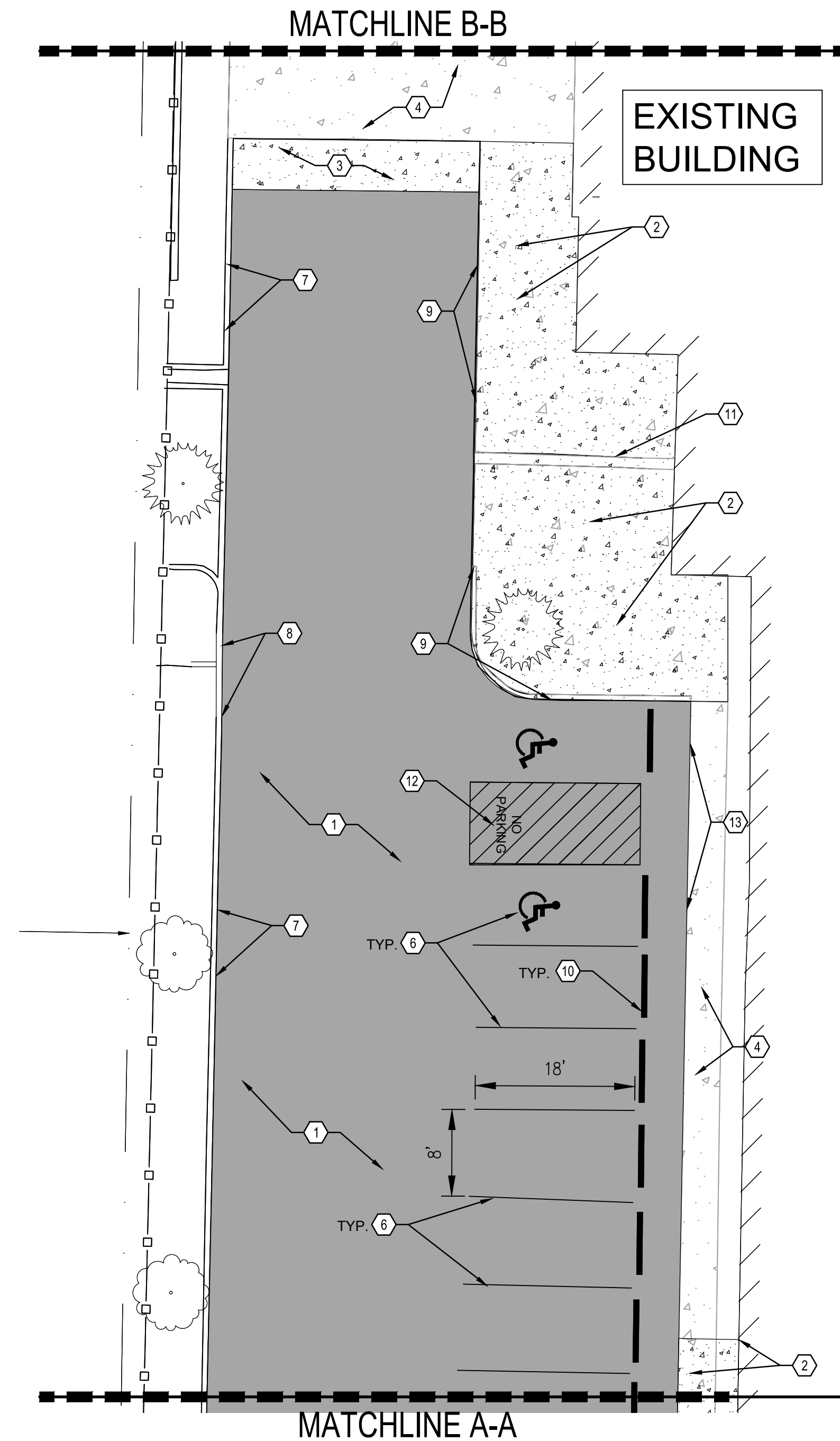
WHPacific
6501 Americas Pkwy NE, Suite 400
Albuquerque, NM 87110
505-247-0294 Fax 505-242-4845
www.whpacific.com



SHAW ADDITION



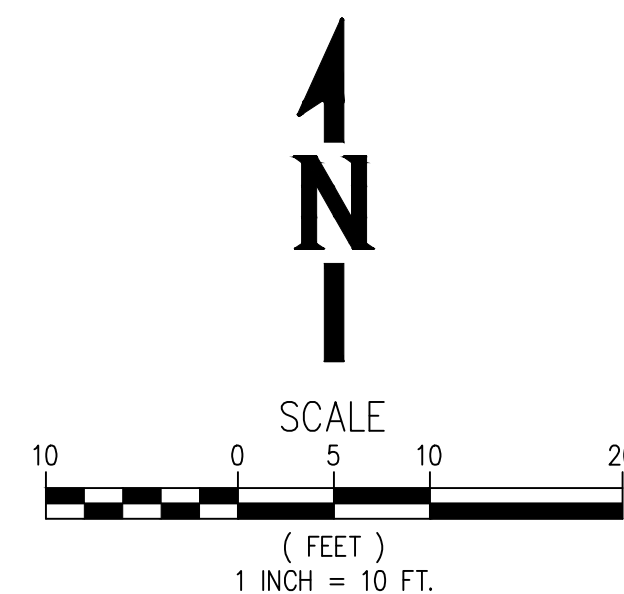
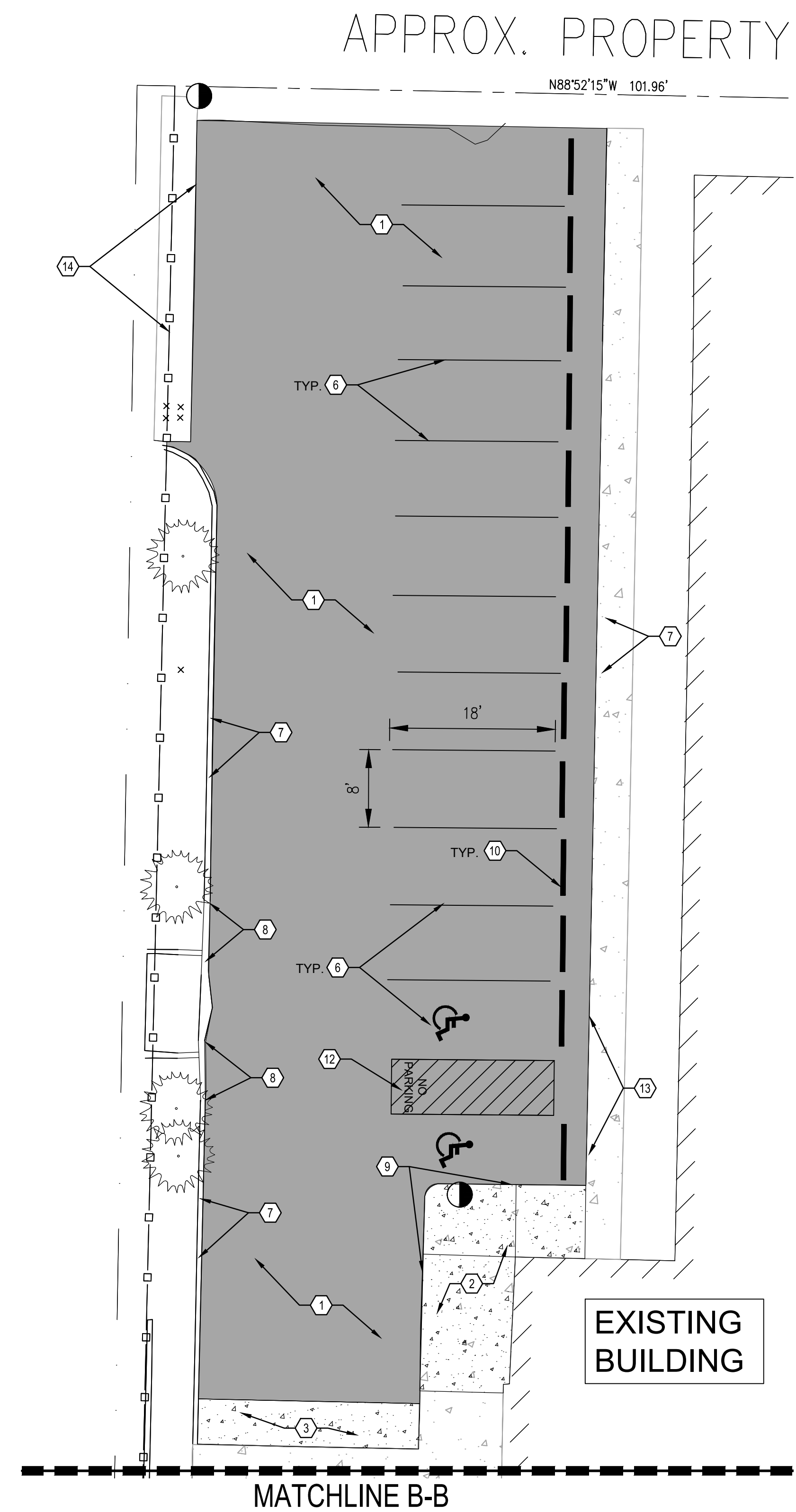
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 6526.011		Zone Map No. K - 19 - Z	Sheet 8	Of 10



1. ALL DIMENSIONS ARE SHOWN TO FACE OF CURB, EDGE OF SIDEWALK, CORNER OF BUILDINGS & EDGE OF FENCE UNLESS OTHERWISE NOTED.

1. CONSTRUCT 2" OF ASPHALT PAVEMENT ON TOP OF EXISTING PULVERIZED ASPHALT MATERIAL PER DETAIL 1, SHEET 8.
2. CONSTRUCT CONCRETE SIDEWALK TO MEET ADA ACCESS TO BUILDING PER C.O.A STANDARD DETAIL 2430, SHEET 10.
3. CONSTRUCT 5" WIDE BY 6" THICK REINFORCED CONCRETE DRIVEPAD FOR EXISTING OVERHANG ROOF DRAIN EROSION PROTECTION.
4. EXISTING CONCRETE SIDEWALK TO REMAIN & PROTECTED THROUGH CONSTRUCTION.
5. REPAIR & PLACE SEAL JOINTS TO EXISTING CRACKED CONCRETE SIDEWALK, CONTRACTOR TO FIELD VERIFY LOCATIONS.
6. INSTALL STRIPING TO MATCH EXISTING CONDITION.
7. RE-STRIPE EXISTING FIRE LANE STRIPING ALONG EXISTING HEADER CURB.
8. REPLACE SECTION OF HEADER CURB PER DETAIL 2415, SHEET 10.



9. CONSTRUCT NEW TURNED DOWN SIDEWALK EDGE PER
DETAIL 1, SHEET 10.
10. RESET EXISTING PRE-CAST CONCRETE BUMPER,
CONTRACTOR TO VERIFY LOCATION.
11. 12" SIDEWALK CULVERT PER C.O.A STANDARD DETAIL
2236, SHEET 10.
12. INSTALL NEW ADA STRIPING WITH CROSS HATCHING AND
THE WORDS "NO PARKING" AT THE BOTTOM OF THE
ACCESS AISLE LOCATED BY THE BACK TIRE. LETTERS TO
BE 12" HIGH BY 2" AT A MINIMUM.
13. INSTALL NEW ADA SIGNS ON EXISTING POST TO
CONFORM TO THE CURRENT STANDARDS. SIGNS SHALL
HAVE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE
AND/OR TOWING."
14. EXISTING CONCRETE DRIVEWAY & GATE TO REMAIN &
PROTECTED THROUGH CONSTRUCTION.



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ENGINEERS' SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES					
		NO.	DATE	COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO STATE PLANE COORDINATES—CENTRAL ZONE, NAD 83, TO OBTAIN TRUE STATE PLANE COORDINATES; MULTIPLY THE COORDINATES HEREON BY THE PROJECT AVERAGE COMBINED GROUND TO GRID FACTOR OF CF= 99962526. ELEVATIONS ARE REFERRED TO SEA LEVEL, NAD 88 AND HAVE BEEN ADJUSTED TO THE C.O.A. CONTROL STATION "7"—K19".			
				CONTRACTOR			
				WORK ORDER NO.			
				INSPECTED BY			
				ACCEPTANCE BY			
				DRAWINGS CORRECTED BY			
				MICRO-FILM INFORMATION			
DESIGNED BY	MJL/BOZ	DATE	04-17-2019	RECORDED BY			
DRAWN BY	MJL/BOZ	DATE	04-17-2019	DATE			
CHECKED BY	RB	DATE	04-17-2019	NO.			
				(PUBLISHED ELEV = 5325.99', MEAS. ELEV = 5326.03' WITH GPS). NORTHING = 1487246.843, EASTING = 1538441.1			

		<div>CITY OF ALBUQUERQUE</div> <div>DEPARTMENT OF MUNICIPAL DEVELOPMENT</div> <div>ON-CALL ENGINEERING SERVICES</div>			
TITLE: <div>ZUNI PARKING LOT REPAVING PROJECT</div> <div>PAVING PLAN – EAST PARKING LOT</div>					
Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.
					Mo./Day/Yr.
City Project No.		Zone Map No.		Sheet	Of
6526.011		K - 19 - Z		9	10