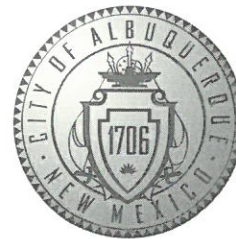


CITY OF ALBUQUERQUE



February 11, 2019

Rick Bennett, RA
RBA Architecture
1104 Park Ave SW
Albuquerque, NM 87102

**Re: Route 66 Plaza
8521 Central Ave NE
30-Day Temporary Certificate of Occupancy- Traffic Certification Only
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 5-17-16 (K19D043)
Certification dated 2-5-19

Dear Mr. Bennett

Based upon the information provided in your submittal received 2-5-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy based solely on the Traffic Certification dated 2-5-2019. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the Transportation Department must receive photos from the applicant including.

1. Please add bike rack per approved plan.
2. Please add wheel stops to the two ADA spaces.
3. Please send photos of corrections to PLNDRS@cabq.gov when requesting Final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

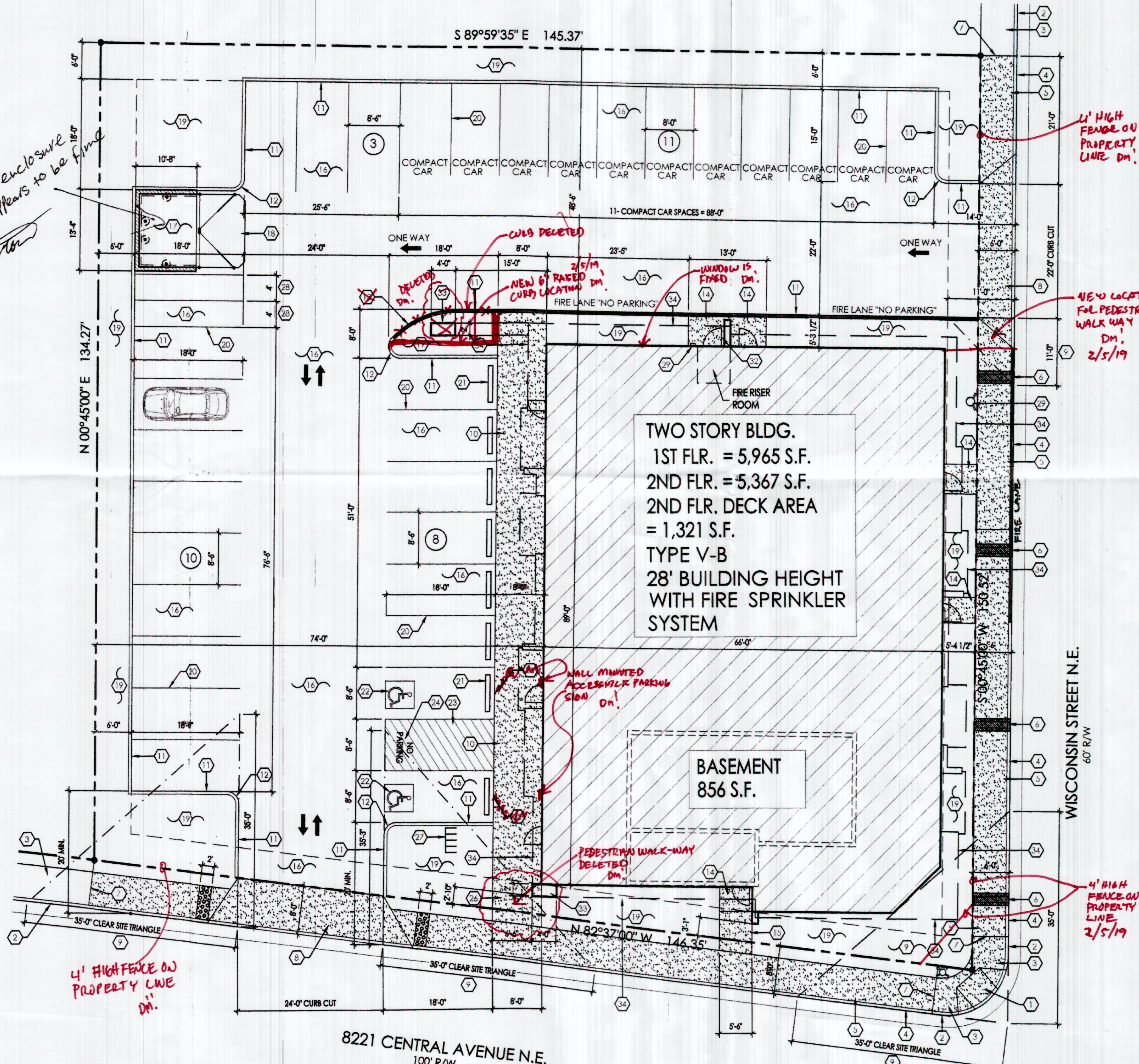
EG via: email
C: CO Clerk, File

ROUTE 66 PLAZA

8521 CENTRAL AVENUE NE

- GENERAL NOTES**
- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
 - C. PREVIOUS IDENTIFICATION SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - D. PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
 - E. FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT, G.C. TO PROVIDE KEY BOX. KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION, THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
 - F. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

Refuse enclosure location appears to be fine
Edli Keston

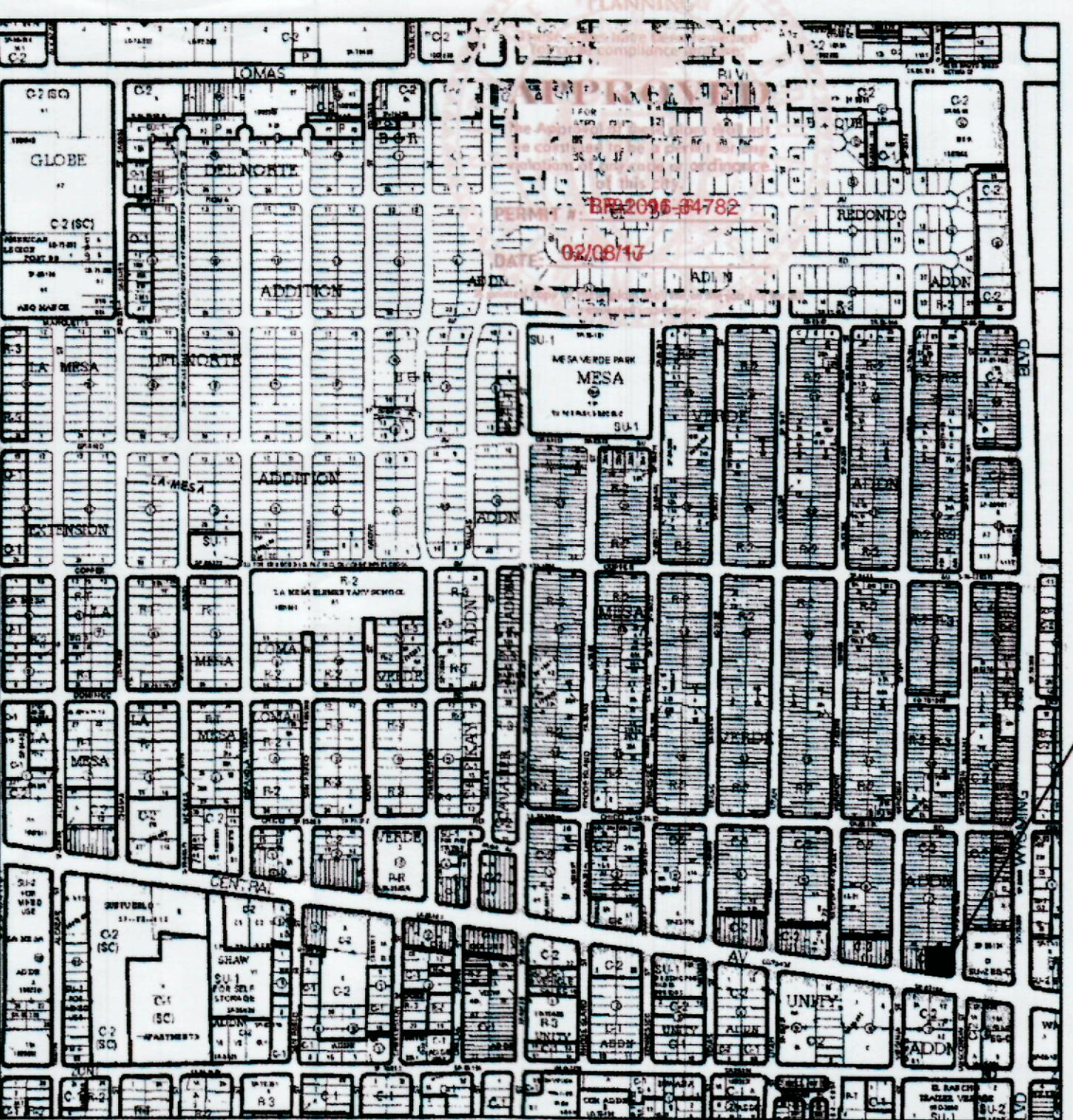
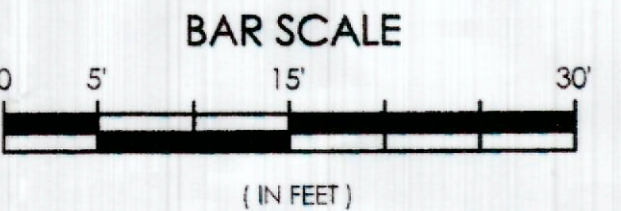


TWO STORY BLDG.
1ST FLR. = 5,965 S.F.
2ND FLR. = 5,367 S.F.
2ND FLR. DECK AREA
= 1,321 S.F.
TYPE V-B
28' BUILDING HEIGHT
WITH FIRE SPRINKLER
SYSTEM

BASEMENT
856 S.F.

SITE DATA:
ZONING: C-2
LEGAL DESCRIPTION:
LOTS 6, 7, 8, 9, 10 AND 11, BLOCK 7 AND
S.W. PORTION OF A VACATED ALLEY MESA VERDE ADDITION
CITY OF ALBUQUERQUE, NM, BERNALILLO COUNTY

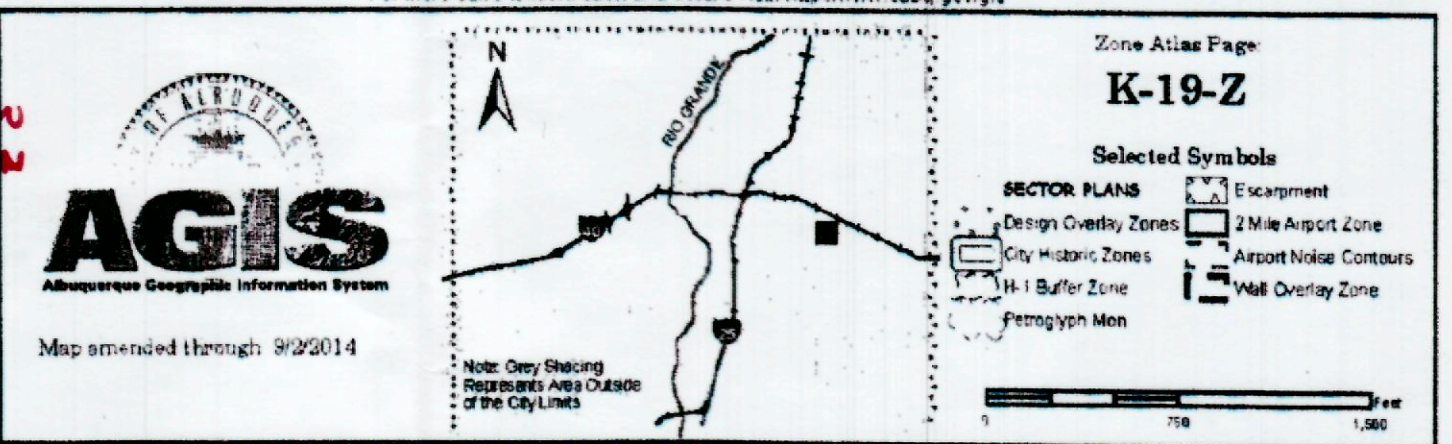
SITE PLAN
SCALE: 1"=10'-0"



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED
5/25/16

SITE



VICINITY MAP - K-19-Z
N.T.S.

- KEYED NOTES**
- EXISTING ACCESSIBLE CONCRETE CURB RAMP TO REMAIN.
 - EXISTING RAISED CONCRETE CURB AND GUTTER TO REMAIN.
 - EXIST. CONC. SIDEWALK.
 - REMOVE EXIST. CONC. CURB AND GUTTER AND CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
 - REMOVE EXIST. CONC. SIDEWALK AND CONSTRUCT NEW 6' WIDE CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430.
 - NEW 12" WIDE SIDEWALK CULVERT PER C.O.A. DWG. 2236.
 - NEW SIDEWALK TRANSITION PER C.O.A. STD. DWG. 2432.
 - REMOVE EXIST. CURB CUT AND BUILD NEW CURB CUT AND DRIVE PAD PER C.O.A. STANDARD DRAWING 2425, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
 - 4" THICK CONCRETE SIDEWALK WITH CONC. TURNDOWN, TOP OF CONC. SIDEWALK AND ASPHALT PAVING TO BE FLUSH. SLOPE SIDEWALK 1/4" FT. AWAY FROM BUILDING.
 - 6" HIGH CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 - 2'-0" RADIUS.
 - 15'-0" RADIUS.
 - 4" THICK CONCRETE STOOP AT EXIT DOOR, REF: 1ST FLOOR PLAN.
 - 4" THICK CONCRETE SIDEWALK.
 - REMOVE EXIST. ASPHALT PAVING AND INSTALL NEW ASPHALT PAVING OVER BASE COURSE, REF: GRADING AND DRAINAGE PLAN.
 - DUMPSTER ENCLOSURE, REF: AS-2.0.
 - 6" THICK CONCRETE SLAB AND APRON AT DUMPSTER ENCLOSURE, REF: AS-2.0.
 - LANDSCAPING AREA, REF: LANDSCAPING PLAN AND GRADING AND DRAINAGE PLAN.
 - 2' WIDE PAINTED PARKING STRIPE PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAILS.
 - CONCRETE WHEEL STOP, TYPICAL.
 - HANDICAP SYMBOL PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAILS.
 - PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAIL.
 - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
 - HANDICAP ACCESSIBLE SIGNAGE PER C.O.A. REQUIREMENTS, REF: AS-2.0 FOR DETAILS.
 - 6'-0" WIDE MIN. PEDESTRIAN PATH-WAY/SIDEWALK PER C.O.A. REQUIREMENTS.
 - BICYCLES RACK, FOR FIVE BICYCLES MIN. REF: AS-2.0 FOR DETAIL.
 - TWO MOTORCYCLE PARKING REQUIRED, SIGNAGE PER C.O.A. REQUIREMENTS.
 - G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM. MOUNT BOX 5'-0" HIGH A.F.F.
 - FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITHIN 100 FEET OF FIRE HYDRANT.
 - PREMIS ID TO BE 12 INCH HIGH NUMERALS, 1" STROKE ON A CONTRASTING BACKGROUND.
 - FIRE RISER ROOM WITH SIGNAGE "FIRE RISER ROOM".
 - FRAMED COLUMN WITH STUCCO, REF: PLANS.
 - DASHED LINE DENOTES: 2ND FLOOR ABOVE, REF: PLANS.

PARKING CALCULATIONS	
OFFICE STREET PARKING REQUIRED:	
DENTAL: 5 SPACES FOR EACH DOCTOR; 1 DOCTOR = 5 SPACES	
RETAIL: 1 PER 200 S.F.; 2,671 S.F. = 14 SPACES	
APARTMENTS: 1 PER BATH; 6 APARTMENTS WITH 2 BATHS EACH = 12 SPACES	
TOTAL PARKING REQUIRED: 31 SPACES (2 H.C. ACCESSIBLE SPACES)	
TOTAL PARKING PROVIDED: 2 H.C. SPACES + 18 REGULAR SPACES + 11 COMPACT CAR SPACES = 31 TOTAL PARKING SPACES	
MOTORCYCLE PARKING REQUIRED:	
31 TOTAL OFF STREET PARKING REQUIRED:	
26-50 SPACES = 2 MOTORCYCLE PARKING SPACES REQUIRED, 2 PROVIDED	
BICYCLE PARKING REQUIRED:	
RESIDENTIAL USE: 1 SPACE FOR EACH 2 DWELLING UNITS:	
6 DWELLING UNITS = 3 BICYCLE PARKING SPACES	
NON-RESIDENTIAL USE: 1 SPACE FOR EACH 20 REQUIRED PARKING SPACES:	
31 PARKING SPACES = 2 BICYCLE PARKING SPACES	
5 BICYCLE PARKING SPACES REQUIRED, 5 PROVIDED	

ROUTE 66 PLAZA - LIVE/WORK DEVELOPMENT
SITE PLAN & PROJECT INFORMATION
8521 CENTRAL AVE. ALBUQUERQUE, NM
PROJECT #1611

REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
05/17/16
REGISTERED ARCHITECT

RBA
ARCHITECTS
P.C.
1800 10th Avenue, NE
Albuquerque, NM 87102
505.243.1111
www.rbaarchitects.com

DATE
05-17-2016

SHEET NUMBER
AS-1.0



February 5, 2019

Re: Route 66 Plaza
8521 ~~8221~~ Central Ave, NE, Alb. NM
BP-2016-34782
Engineer's/Architect's stamp dated: 05/17/2016

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA # 1240, of The Firm of Rick Bennett Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, and with Architect's stamp dated 05/17/2016. Please note: the owner/contractor made changes to the site beyond the architects control.

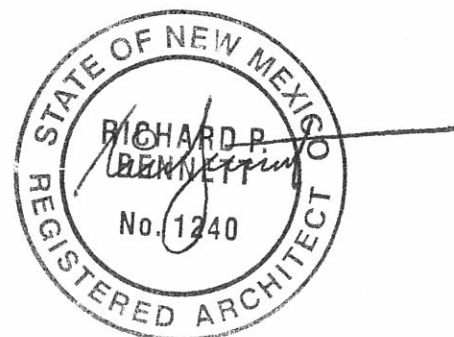
The changes to the approved T.C.L. by the owner/contractor have been Redline onto the original approved Traffic Circulation Layout document by **Rick Bennett Architect**. I further certify that I have personally visited the project site on February 03, 2018 and have determined by visual inspection that the Redline data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for the Dentist Office located in Suite 101 at Route 66 Plaza, 8221 Central Ave. NE 87108, Lots 6, 7, 8, 9, 10, 11, Mesa Verde Addition, Bernalillo County, Albuquerque, New Mexico.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Date: 02/05/2019

Sincerely,

Rick Bennett, Architect





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Route 66 Plaza **Building Permit #:** BP-2016-34782 **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 6, 7, 8, 9, 10, 11 Block 7 and portion of vacated alley, Mesa Verde Addition
City Address: 8521 Central Ave Ne

Applicant: William Gardner **Contact:** Will Gardner
Address: 904 Copperhead Ct NE, Albuquerque, NM 87113
Phone#: 505-507-2669 **Fax#:** _____ **E-mail:** wcgardner1@gmail.com

Other Contact: RBA Architecture Planning Design **Contact:** Darby Miera
Address: 1104 Park Ave SW
Phone#: 505-242-1859 **Fax#:** _____ **E-mail:** darby@rba81.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 02/05/2019 **By:** Darby Miera

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____