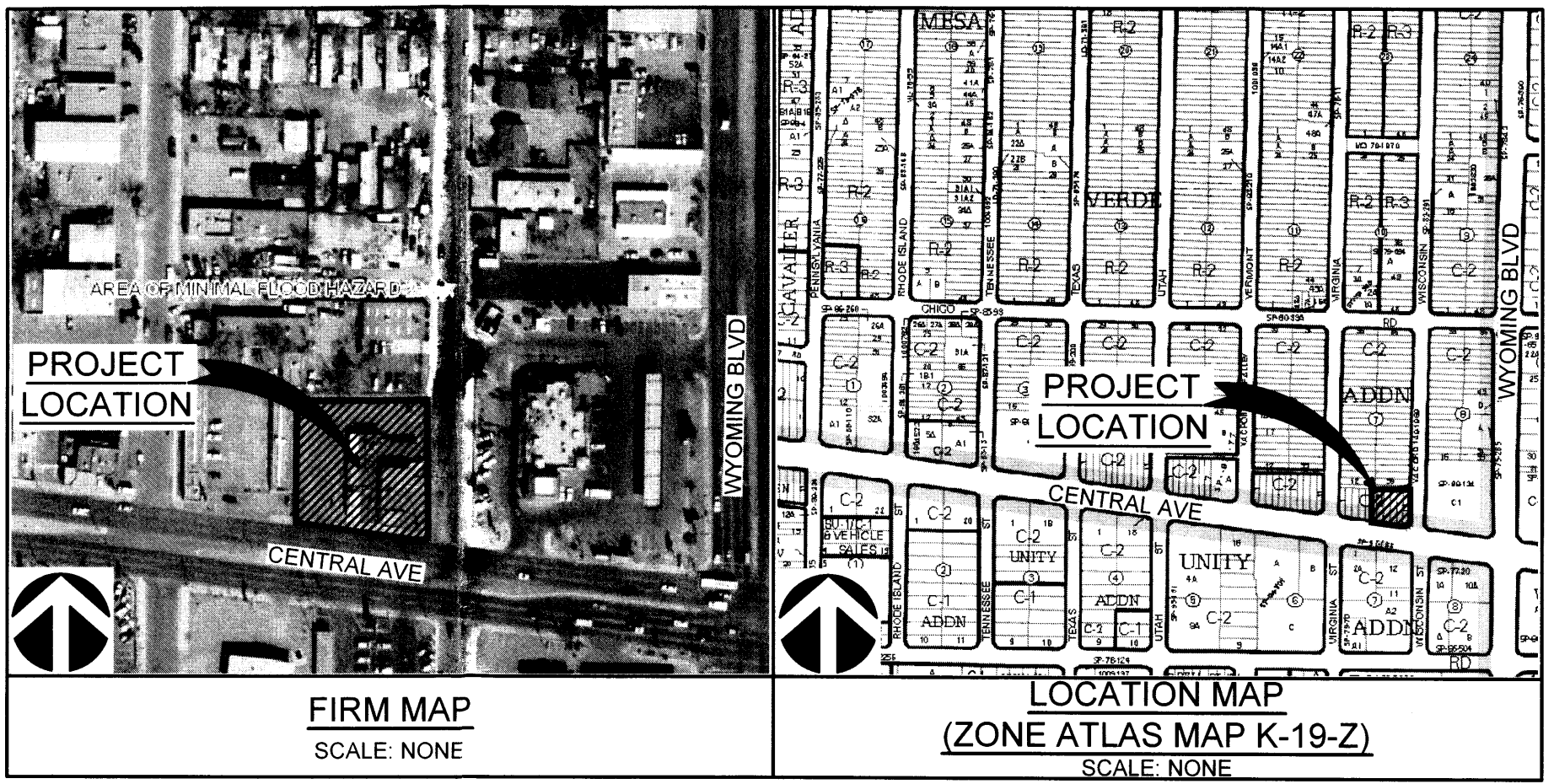
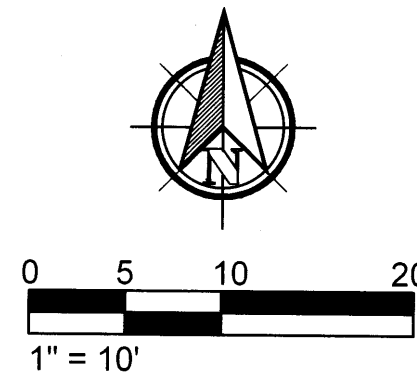


GRADING & DRAINAGE PLAN

Scale: 1" = 10'



DRAINAGE NARRATIVE

THIS SITE IS LOCATED ON THE NORTH WEST CORNER OF THE INTERSECTION AT WISCONSIN ST NE, AND CENTRAL AVE NE, IN ALBUQUERQUE, NM AND CONTAINS APPROXIMATELY 0.405 ACRES. THIS SITE IS LOCATED ON FIRM MAP NO. 35001, PANEL 0358 WHICH INDICATES THE ENTIRE SITE IS LOCATED IN ZONE X, AND THAT NO PORTION OF THE SITE IS LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

THE PRE DEVELOPED SITE HAS A BUILDING, SIDEWALKS AND PAVED PARKING LOT, WITH DRIVE WAY ACCESS TO BOTH WISCONSIN ST AND CENTRAL AVE. THE MAJORITY OF THE SITE IS COVERED WITH IMPERVIOUS AREA. THE HISTORIC DRAINAGE PATTERN HAS ROOF DRAINAGE AND PARKING LOT DRAINAGE SURFACE FLOWING TO THE ADJACENT STREETS AND THEN DIRECTED INTO THE LOCAL STORM DRAIN SYSTEM ALONG BOTH STREETS.

WITH THIS DEVELOPMENT, THE PARKING LOT WILL BE RESURFACED, AND THE PROPOSED BUILDING FOOT PRINT AND SIDEWALKS WILL CLOSELY MATCH THE PRE DEVELOPED POSITIONS, SIZE AND LAYOUT. THE HISTORIC DRAINAGE PATTERNS WILL BE PRESERVED. THE ADDITION OF AN ONSITE RETENTION PONDING AREA TO CAPTURE AND RETAIN THE "FIRST FLUSH" RUNOFF PER COA DRAINAGE ORDINANCE WILL BE LOCATED IN THE DEPRESSED LANDSCAPE AREAS ON THE WEST OF THE PARKING LOT, THE REMAINING VOLUME FROM THE 90TH PERCENTILE STORM EVENT (100 YEAR, 10 DAY) WILL MAINTAIN HISTORIC DRAINAGE PATTERNS AS DESCRIBED ABOVE IN THE PRE DEVELOPED CONDITIONS. (SEE CALCULATIONS)

KEYED NOTES

- CONSTRUCT 6" CONCRETE CURB. SEE DETAIL 6/C-3.
- CONSTRUCT CONCRETE SIDEWALK PER DETAILS 4 & 6/C-3.
- INSTALL ASPHALT PAVEMENT. SEE DETAIL 7/C-3.
- CONSTRUCT CONCRETE DRIVEPAD PER COA STD. DWG. 2425. SEE DETAIL 8/C-3.
- CONSTRUCT RETENTION PONDING AREA. TOP POND = 5387.0. BOTTOM POND = 5385.0. VOLUME PROVIDED FOR FIRST FLUSH = 515 CF STORAGE.
- CONSTRUCT ACCESSIBLE SIDEWALK RAMP. SEE DETAIL 3/C-3.
- REMOVE EXISTING DRIVE ENTRANCES AND SIDEWALKS AND CONSTRUCT NEW CONCRETE SIDEWALKS. MATCH NEW SIDEWALKS GRADES TO EXISTING BACK OF CURB GRADES ALONG WISCONSIN STREET AND CENTRAL AVENUE. ADD NEW CURB AND GUTTER WHERE NEEDED.
- PROVIDE 2' CURB CUT WITH 3' x 3' RIPRAP PAD FOR DRAINAGE TO PONDING AREA.
- ROOF LINE AND ROOF PARAPETS.
- ROOF DRAINS ARE INTERNAL TO WALLS AND SCOOPER OUT OF WALL AT GRADE LEVEL. DRAINS SHOWN AT ROOF LEVEL ARE FOR OVERFLOW.
- FIRST FLOOR EDGE OF BUILDING AT GRADE.

Can't drain directly onto sidewalk.

No ESC

DRAINAGE CALCULATIONS

Hydrology Calculations				
DPM - Volume 2, October 2008				
Section 22.2 Hydrology				
Precipitation Zone	3			
100 Year Storm Depth, P (360)	2.60			
100 Year Storm Depth, P (1440)	3.10			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.66	0.92	1.29	2.36
Peak Discharge Factors	1.87	2.60	3.45	5.02
Land Treatment Area	Acres	Existing	Allowable%	Proposed
Type "D" (Impervious, Roof, Drive way, Ect.)		0.401		0.400
Type "C" (Compacted Soil, Unpaved Parking)		0.004		0.000
Type "B" (Landscape Areas)		0.000		0.005
Type "A" (Undeveloped)		0.000		0.000
Total (Acres)		0.405		0.405
Excess Precipitation E (in)		2.35		2.34
Volume (360), acre-ft		0.079		0.079
Volume (1440), acre-ft		0.096		0.096
Q (360), cfs		2.027		2.021
Q (1440), cfs		1.885		1.880

ONSITE DRAINAGE RETENTION

FIRST FLUSH STORAGE REQUIRED BY COA HYDROLOGY:

PROVIDE STORAGE FOR FIRST FLUSH RUNOFF PER SECTION 22 OF DPM TABLE A-6 USE 0.1 - 0.44 = 0.34 IN

FIRST FLUSH (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)
THEREFORE 0.34/12 x 0.40 x 43560 = 494 CF

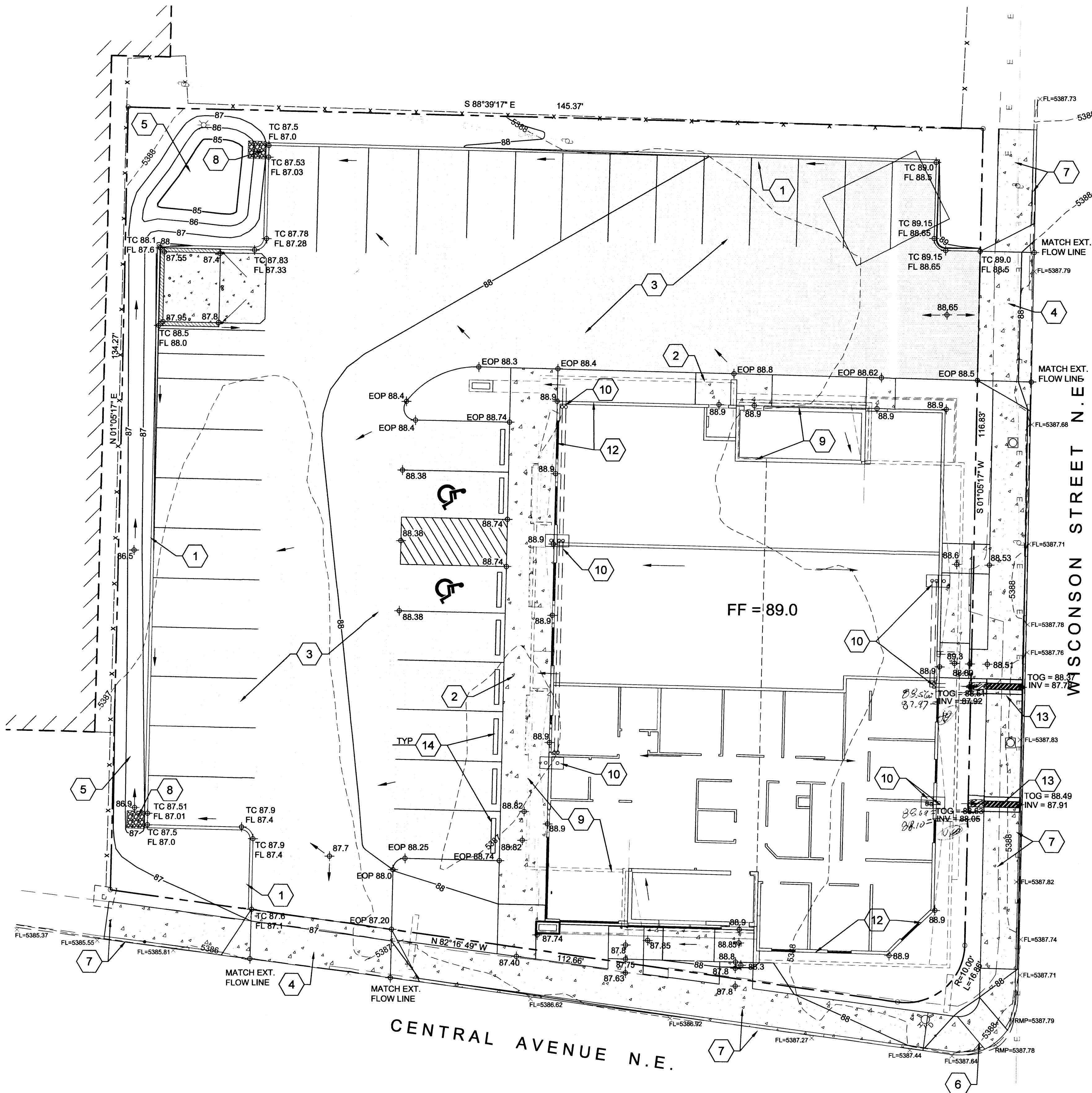
FIRST FLUSH PONDING AREA REQD. = 494 CF < 515 CF PROVIDED
(SEE NOTE 5)

ENGINEER'S STATEMENT

I, THE ENGINEER OF RECORD CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE AND THE EXISTING GRADES AND CONTOURS DEPICTED ON THIS PLAN MATCH WHAT PRESENTLY EXISTS AT THIS LOCATION.

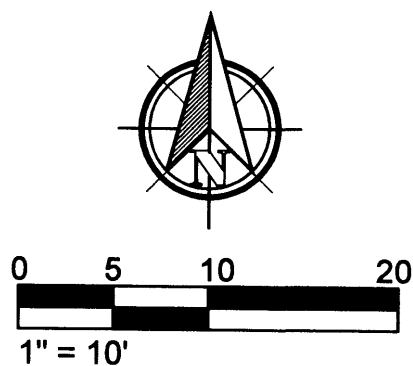
JAMES CRAIG HAGELGANTZ, NMPE #15559

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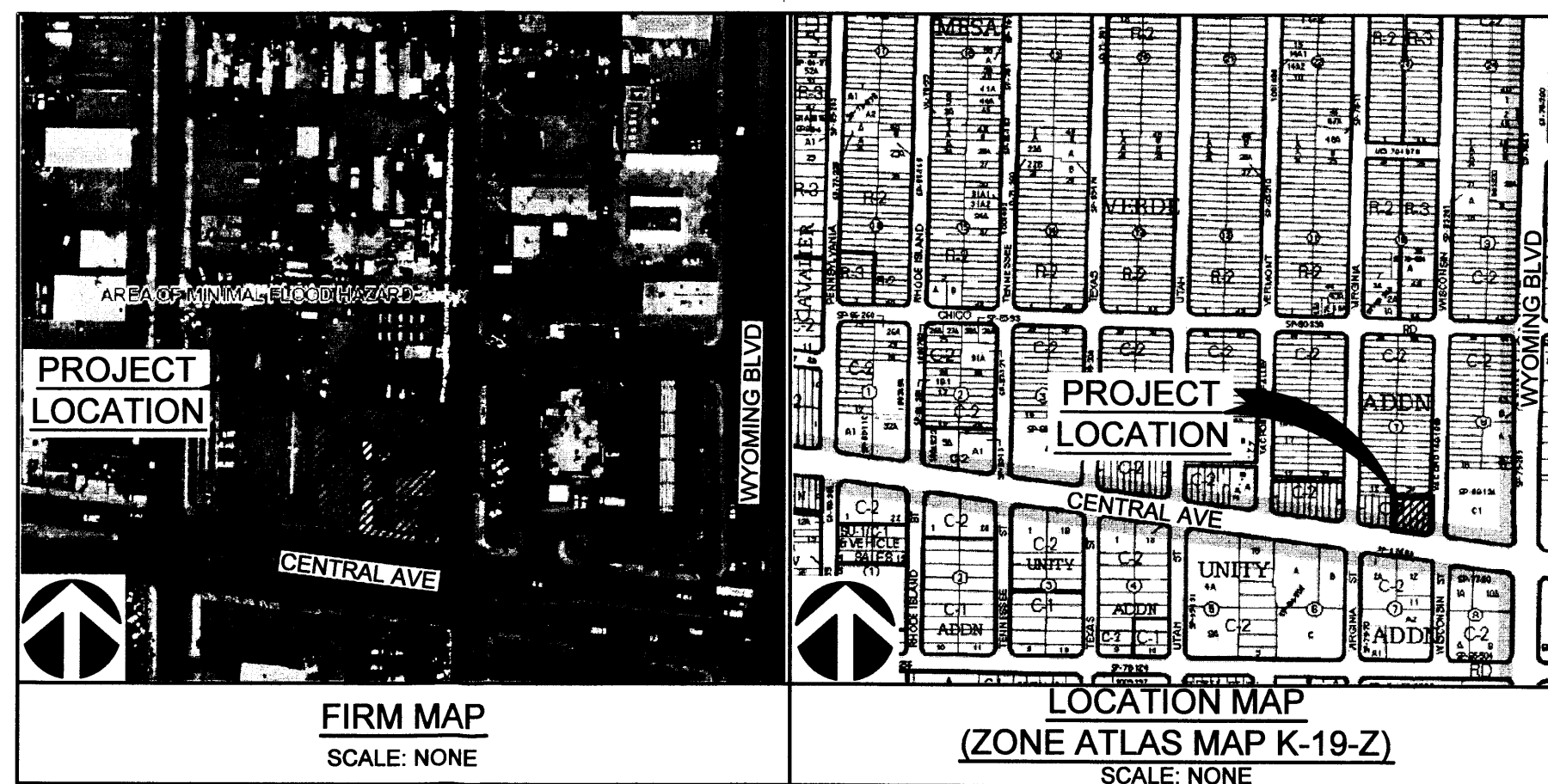
1 GRADING & DRAINAGE PLAN

Scale: 1" = 10'



ENGINEER'S STATEMENT

I, THE ENGINEER OF RECORD CERTIFY THAT I HAVE PERSONALLY VISITED THE SITE AND THE EXISTING GRADES AND CONTOURS DEPICTED ON THIS PLAN MATCH WHAT PRESENTLY EXISTS AT THIS LOCATION.
JAMES CRAIG HAGELGANTZ, NMPE #15559



DRAINAGE NARRATIVE

THIS SITE IS LOCATED ON THE NORTH WEST CORNER OF THE INTERSECTION AT WISCONSIN ST NE, AND CENTRAL AVE NE, IN ALBUQUERQUE, NM AND CONTAINS APPROXIMATELY 0.405 ACRES. THIS SITE IS LOCATED ON FIRM MAP NO. 35001, PANEL 0358 WHICH INDICATES THE ENTIRE SITE IS LOCATED IN ZONE X, AND THAT NO PORTION OF THE SITE IS LOCATED WITHIN A 100 YEAR FLOOD PLAIN.

THE PRE DEVELOPED SITE HAS A BUILDING, SIDEWALKS AND PAVED PARKING LOT, WITH DRIVE WAY ACCESS TO BOTH WISCONSIN ST AND CENTRAL AVE. THE MAJORITY OF THE SITE IS COVERED WITH IMPERVIOUS AREA. THE HISTORIC DRAINAGE PATTERN HAS ROOF DRAINAGE AND PARKING LOT DRAINAGE SURFACE FLOWING TO THE ADJACENT STREETS AND THEN DIRECTED INTO THE LOCAL STORM DRAIN SYSTEM ALONG BOTH STREETS.

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KEYED NOTES

1. CONSTRUCT 6" CONCRETE CURB. SEE DETAIL 6/C-4.
2. CONSTRUCT CONCRETE SIDEWALK PER DETAILS 4 & 6/C-4.
3. INSTALL ASPHALT PAVEMENT. SEE DETAIL 7/C-4.
4. CONSTRUCT CONCRETE DRIVEPAD PER COA STD. DWG. 2425. SEE DETAIL 8/C-4.
5. CONSTRUCT RETENTION PONDING AREA. TOP POND = 5387.0, BOTTOM POND = 5385.0. VOLUME PROVIDED FOR FIRST FLUSH = 515 CF STORAGE.
6. REMOVE EXISTING RAMP AND CONSTRUCT NEW ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP PER COA STD DETAIL 2440 & 2441. SEE DETAILS 3 & 5/C-4.
7. REMOVE EXISTING DRIVE ENTRANCES AND SIDEWALKS AND CONSTRUCT NEW CONCRETE SIDEWALKS. MATCH NEW SIDEWALKS GRADES TO EXISTING BACK OF CURB GRADES ALONG WISCONSIN STREET AND CENTRAL AVENUE. ADD NEW CURB AND GUTTER WHERE NEEDED.
8. PROVIDE 2' CURB CUT WITH 3' x 3' RIPRAP PAD FOR DRAINAGE TO PONDING AREA.
9. ROOF LINE AND ROOF PARAPETS.
10. ROOF DRAINS ARE INTERNAL TO WALLS AND SCOOPER OUT OF WALL 18" ABOVE FINISHED GRADE. SPLASH BLOCKS BELOW.
12. FIRST FLOOR EDGE OF BUILDING AT GRADE.
13. CONSTRUCT SIDEWALK CULVERT PER COA STD. DWG. 2236. SEE COA REQUIREMENTS FOR "SO-19" THIS SHEET.
14. INSTALL CONCRETE WHEEL STOPS. SEE DETAIL 9/C-4.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19")

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

STREET MAINTENANCE INSPECTOR APPROVAL _____

DRAINAGE CALCULATIONS

Hydrology Calculations DPM - Volume 2, October 2008 Section 22.2 Hydrology				
Precipitation Zone	3			
100 Year Storm Depth, P (360)	2.60			
100 Year Storm Depth, P (1440)	3.10			
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.66	0.92	1.29	2.36
Peak Discharge Factors	1.87	2.60	3.45	5.02
Land Treatment Area	Acres	Existing	Allowable%	Proposed
Type "D" (Impervious, Roof, Drive way, Etc.)	0.401			0.400
Type "C" (Compacted Soil, Unpaved Parking)	0.004			0.000
Type "B" (Landscape Areas)	0.000			0.005
Type "A" (Undeveloped)	0.000			0.000
Total (Acres)	0.405		0.405	
Excess Precipitation E (in)	2.35		2.34	
Volume (360), acre-ft	0.079		0.079	
Volume (1440), acre-ft	0.096		0.096	
Q (360), cfs	2.027		2.021	
Q (1440), cfs	1.885		1.880	

ONSITE DRAINAGE RETENTION

FIRST FLUSH STORAGE REQUIRED BY COA HYDROLOGY:

PROVIDE STORAGE FOR FIRST FLUSH RUNOFF PER SECTION 22 OF DPM
TABLE A-6 USE 0.1 - 0.44 = 0.34 IN

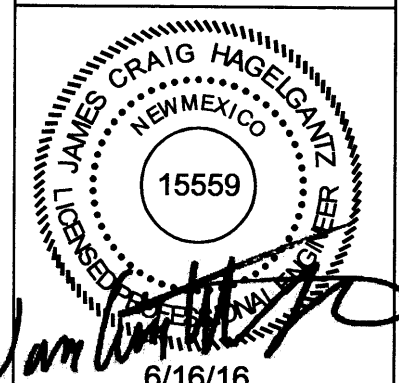
FIRST FLUSH (IN) APPLIED OVER IMPERVIOUS AREAS (ACRES)
THEREFORE 0.34/12 x 0.40 x 43560 = 494 CF
FIRST FLUSH PONDING AREA REQD. = 494 CF < 515 CF PROVIDED
(SEE NOTE 5)

LEGEND

-----6510-----	EXISTING INDEX CONTOUR
-----6509-----	EXISTING INTERIM CONTOUR
-----10-----	NEW INDEX CONTOUR
-----9-----	NEW INTERIM CONTOUR
+22.8	NEW SPOT ELEVATION
NEW CONCRETE	NEW CONCRETE
NEW ASPHALT PAVEMENT	NEW ASPHALT PAVEMENT
EXISTING BUILDING	EXISTING BUILDING
NEW BUILDING	NEW BUILDING
FF	FINISH FLOOR ELEVATION
DIRECTION OF FLOW	DIRECTION OF FLOW
EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING WATER METER	EXISTING WATER METER
EXISTING ELECTRIC LINE	EXISTING ELECTRIC LINE
EXISTING UTILITY POLE	EXISTING UTILITY POLE
EXISTING FENCE LINE	EXISTING FENCE LINE
EXISTING SIGN	EXISTING SIGN
EXISTING LIGHT POLE	EXISTING LIGHT POLE

ROUTE 66 PLAZA - LIVE/WORK DEVELOPMENT
SITE PLAN & PROJECT INFORMATION
8521 CENTRAL AVE. ALBUQUERQUE, NM
PROJECT #1611

REVISION DATE



6/16/16

RBA
ARCHITECTURE
DESIGN
15559

DATE

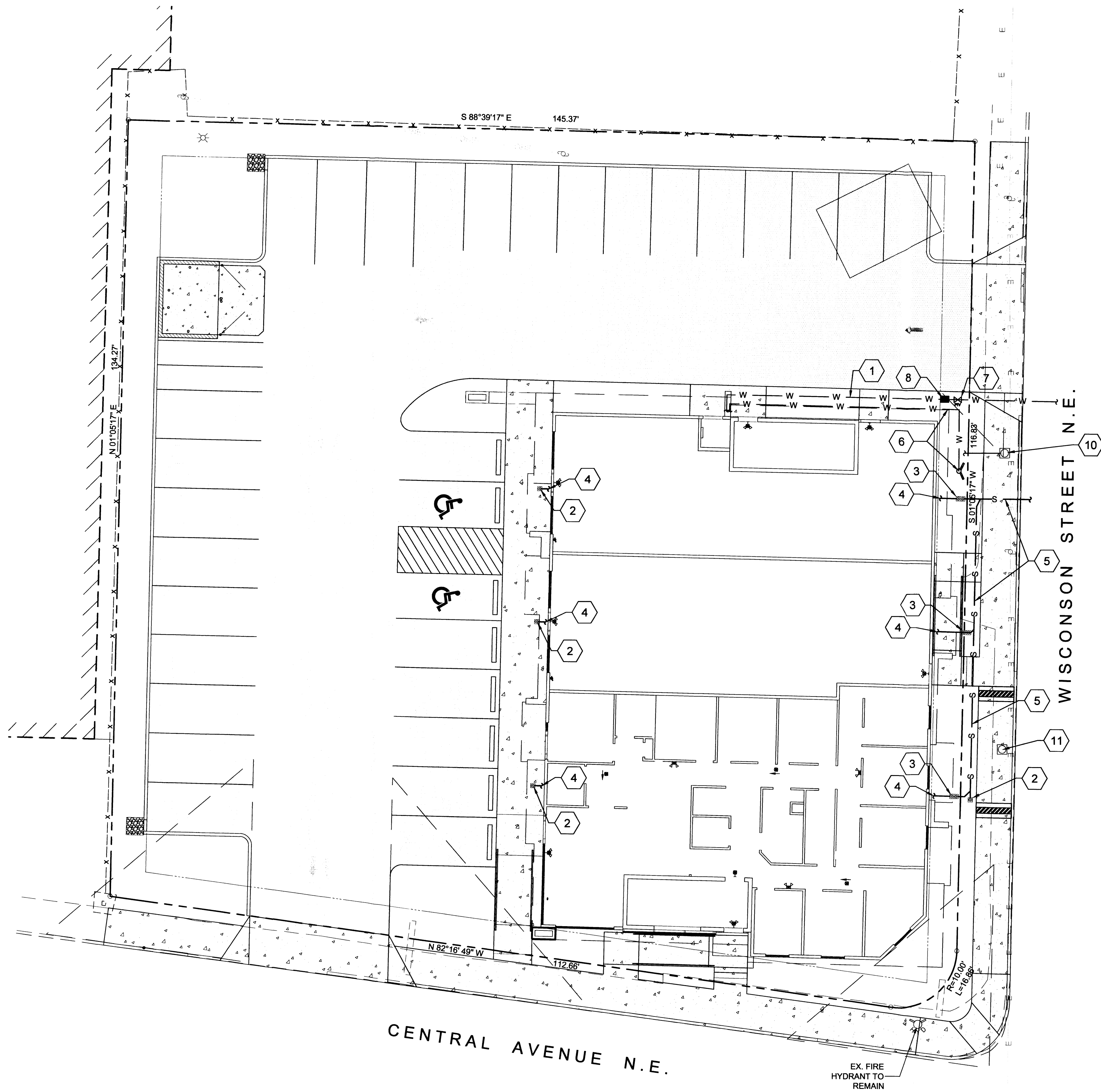
06-16-2016

SHEET NUMBER

C-1

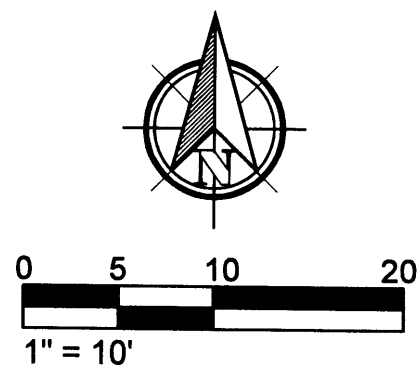


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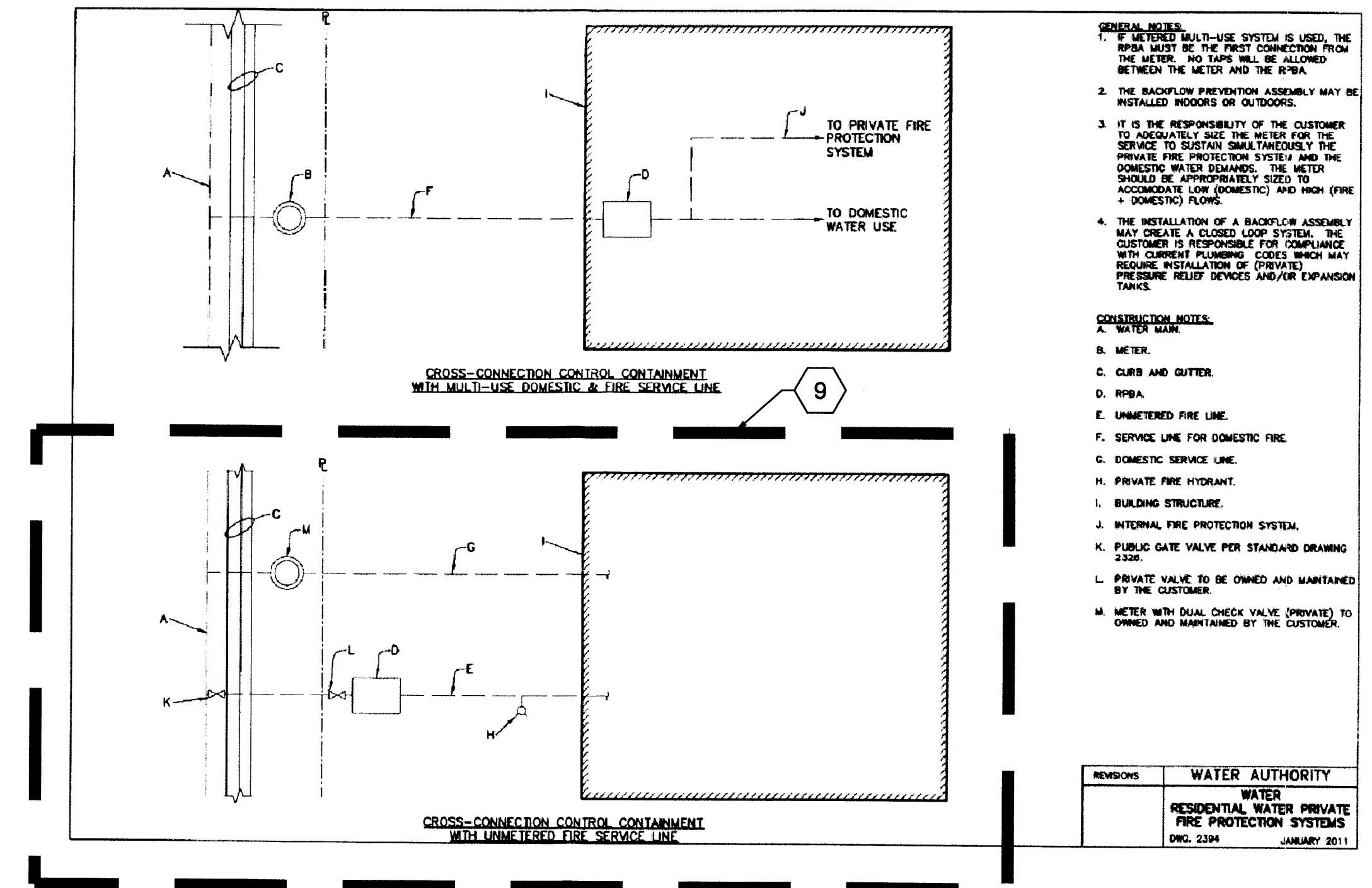
1 SITE PLAN

Scale: 1" = 10'



KEYED NOTES

1. CONSTRUCT 80 LF 4" FIRE SERVICE LINE.
2. INSTALL NEW SINGLE CLEANOUT.
3. INSTALL NEW DOUBLE CLEANOUT.
4. CONSTRUCT NEW 4" SANITARY SEWER LATERAL WITH CLEANOUT. SEE PLUMBING PLANS FOR CONTINUATION.
5. CONSTRUCT NEW 6" SANITARY SEWER LATERAL. IF MINIMUM SLOPE OF PROPOSED LATERAL CANNOT MEET THE EXISTING SERVICE LINE INVERT, CONNECT NEW SERVICE LINE DIRECTLY TO EXISTING COA SAS IN WISCONSIN STREET PER COA STD DWG 2125.
6. CONSTRUCT 40 LF 4" LINE FROM REMOTE FIRE DEPARTMENT CONNECTION.
7. INSTALL 4" PIV ON FIRE LINE.
8. INSTALL 4" RBPA ON FIRE SERVICE LINE (OMIT IF PROVIDED AND LOCATED WITHIN FIRE RISER ROOM BY FIRE PROTECTION ENGINEER).
9. DOMESTIC WATER AND FIRE SYSTEM WATER SPLIT PER COA DWG 2394 - REFER TO C.C.C.C. MULTI-USE DOMESTIC AND FIRE SERVICE LINE.
10. INSTALL NEW 2" WATER METER PER COA STD DWG 2363 & CONNECT TO BUILDING. RESIZE/REPLACE WATER SERVICE LINES TO STREET AS REQUIRED. SEE PLUMBING PLANS FOR CONTINUATION.
11. REMOVE EXISTING WATER METER.



- GENERAL NOTES:**
1. IF A MULTI-USE SYSTEM IS USED, THE RBPA MUST BE THE FIRST CONNECTION FROM THE METER. NO TAPS WILL BE ALLOWED BETWEEN THE METER AND THE RBPA.
 2. THE BACKFLOW PREVENTION ASSEMBLY MAY BE INSTALLED INDOORS OR OUTDOORS.
 3. IT IS THE RESPONSIBILITY OF THE CUSTOMER TO ADEQUATELY SIZE THE METER FOR THE SERVICE TO SUSTAIN SIMULTANEOUSLY THE PRIVATE FIRE PROTECTION SYSTEM AND THE DOMESTIC WATER DEMANDS. THE METER SHOULD BE APPROPRIATELY SIZED TO ACCOMMODATE LOW (DOMESTIC) AND HIGH (FIRE + DOMESTIC) FLOWS.
 4. THE INSTALLATION OF A BACKFLOW ASSEMBLY MAY CREATE A CLOSED LOOP SYSTEM. THE CUSTOMER IS RESPONSIBLE FOR COMPLIANCE WITH CURRENT PLUMBING CODES WHICH MAY REQUIRE INSTALLATION OF PRIVATE FIRE SERVICE RELIEF DEVICES AND/OR EXPANSION TANKS.
- CONSTRUCTION NOTES:**
- A. WATER MAIN
B. METER
C. CURB AND GUTTER
D. RBPA
E. UNMETERED FIRE LINE
F. SERVICE LINE FOR DOMESTIC FIRE
G. DOMESTIC SERVICE LINE
H. PRIVATE FIRE HYDRANT
I. BUILDING STRUCTURE
J. INTERNAL FIRE PROTECTION SYSTEM
K. PUBLIC GATE VALVE PER STANDARD DRAWING 2394
L. PRIVATE VALVE TO BE OWNED AND MAINTAINED BY THE CUSTOMER
M. METER WITH DUAL CHECK VALVE (PRIVATE) TO OWNED AND MAINTAINED BY THE CUSTOMER

REVISIONS	WATER AUTHORITY
	WATER
	RESIDENTIAL WATER PRIVATE
	FIRE PROTECTION SYSTEMS
	DWG. 2394
	JANUARY 2011

LEGEND

- | | |
|--|---------------------------------|
| | NEW CONCRETE SIDEWALK |
| | NEW ASPHALT PAVEMENT |
| | EXISTING BUILDING |
| | NEW BUILDING |
| | FINISH FLOOR ELEVATION |
| | EXISTING SANITARY SEWER MANHOLE |
| | EXISTING SANITARY SEWER LINE |
| | NEW SANITARY SEWER LINE |
| | NEW SANITARY SEWER CLEANOUTS |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER METER |
| | NEW WATERLINE |
| | EXISTING ELECTRIC LINE |
| | EXISTING UTILITY POLE |
| | EXISTING FENCE LINE |
| | EXISTING SIGN |
| | EXISTING LIGHT POLE |

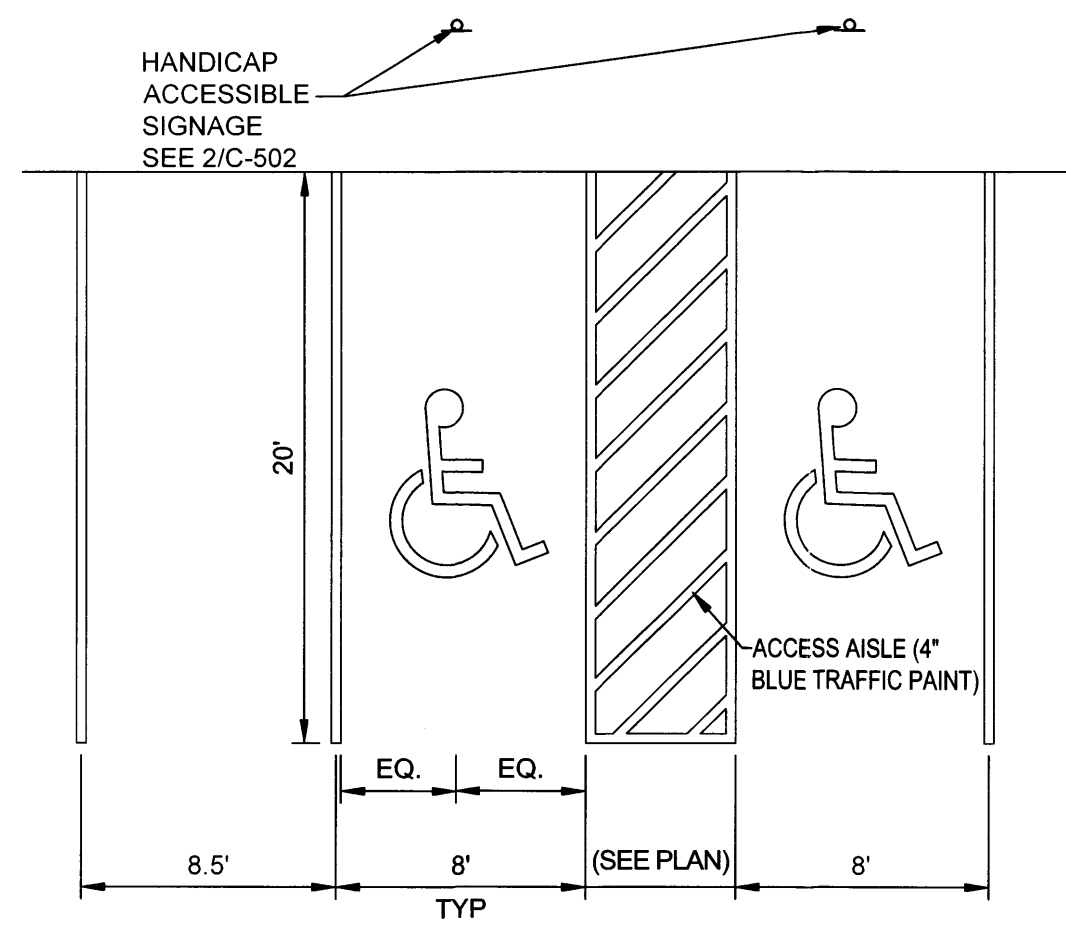
ROUTE 66 PLAZA - LIVEWORK DEVELOPMENT
SITE PLAN & PROJECT INFORMATION
8521 CENTRAL AVE. ALBUQUERQUE, NM
PROJECT #1611

REVISION DATE
6/16/16
RBA ARCHITECTURE DESIGN 1100 New Ave. SW Albuquerque, NM 87102 www.rba1.com
DATE 06-16-2016
SHEET NUMBER C-2

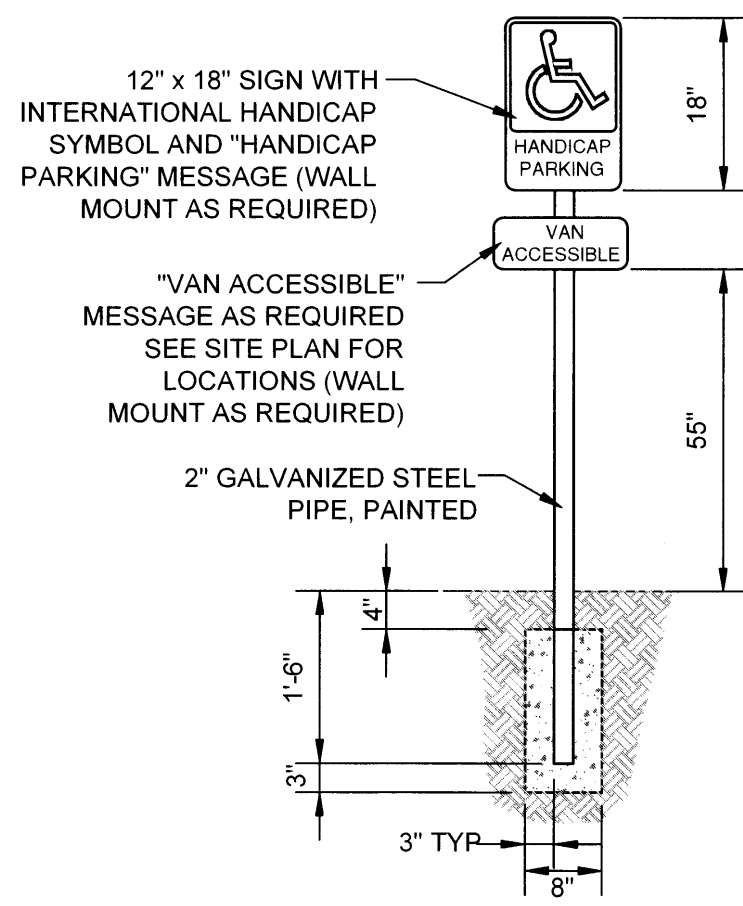


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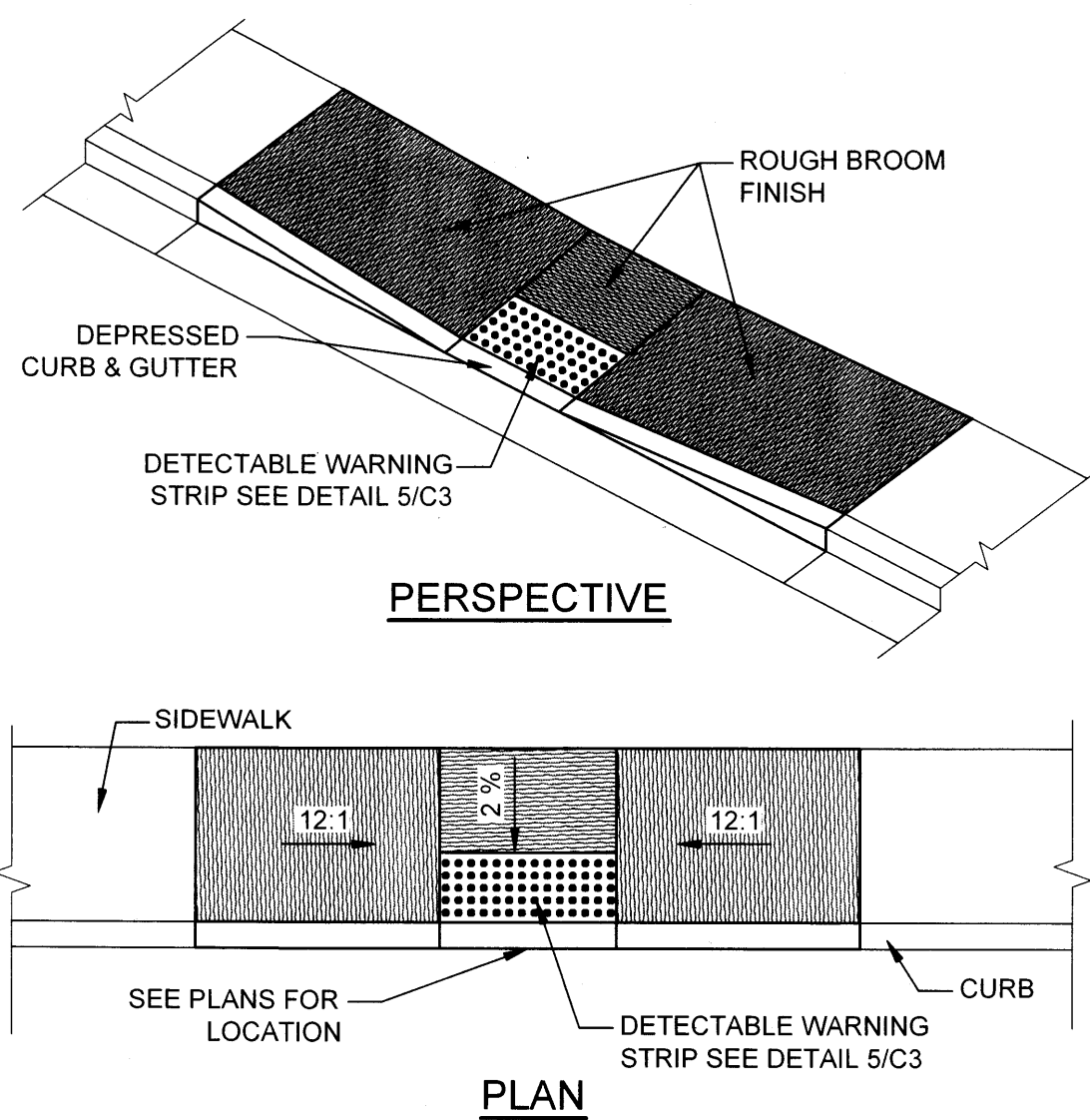




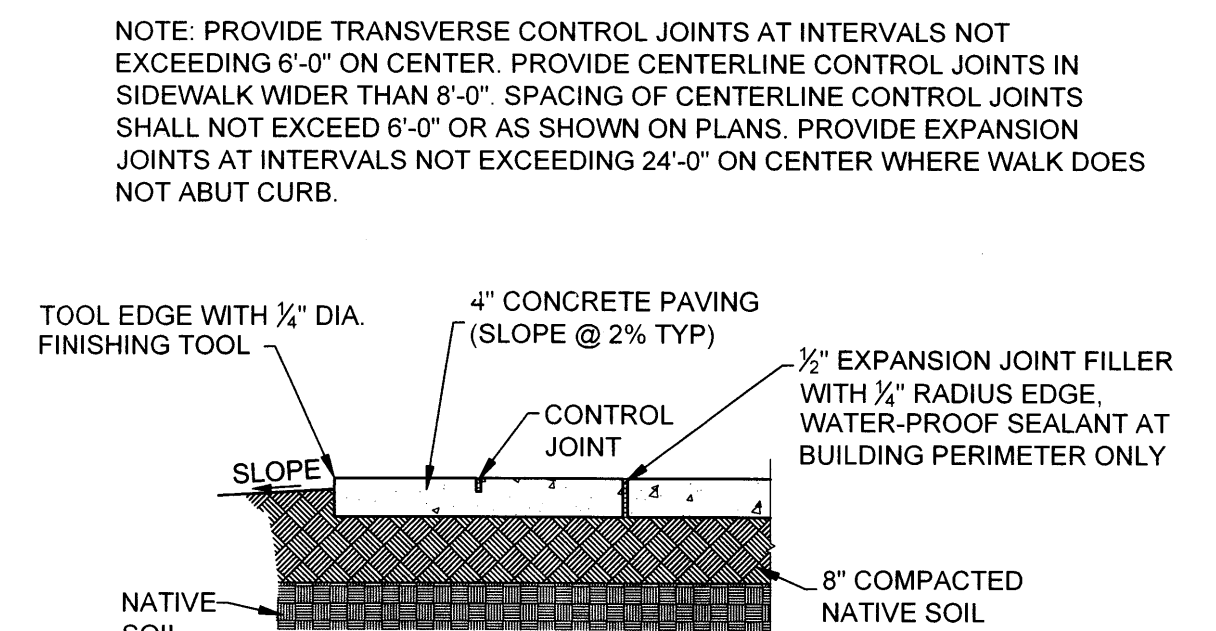
1 HANDICAP ACCESSIBLE PARKING LAYOUT PLAN Scale: NTS



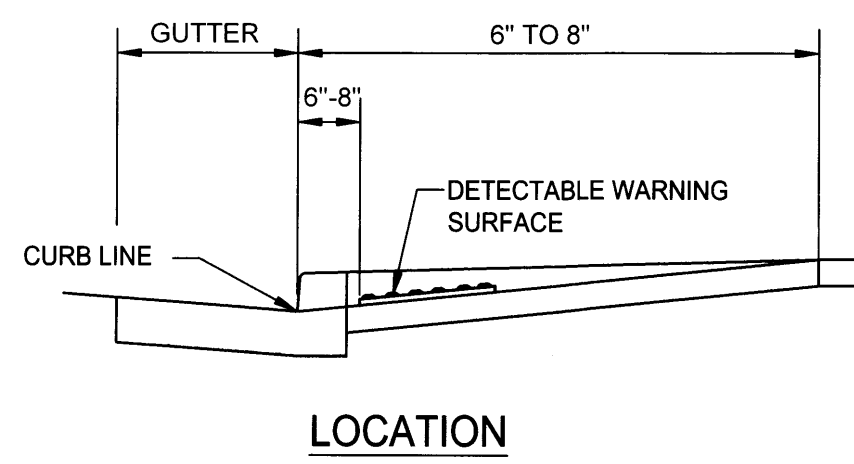
2 HANDICAP ACCESSIBLE PARKING SIGN Scale: NTS



3 SIDEWALK RAMP Scale: NTS



4 SIDEWALK SECTION Scale: NTS

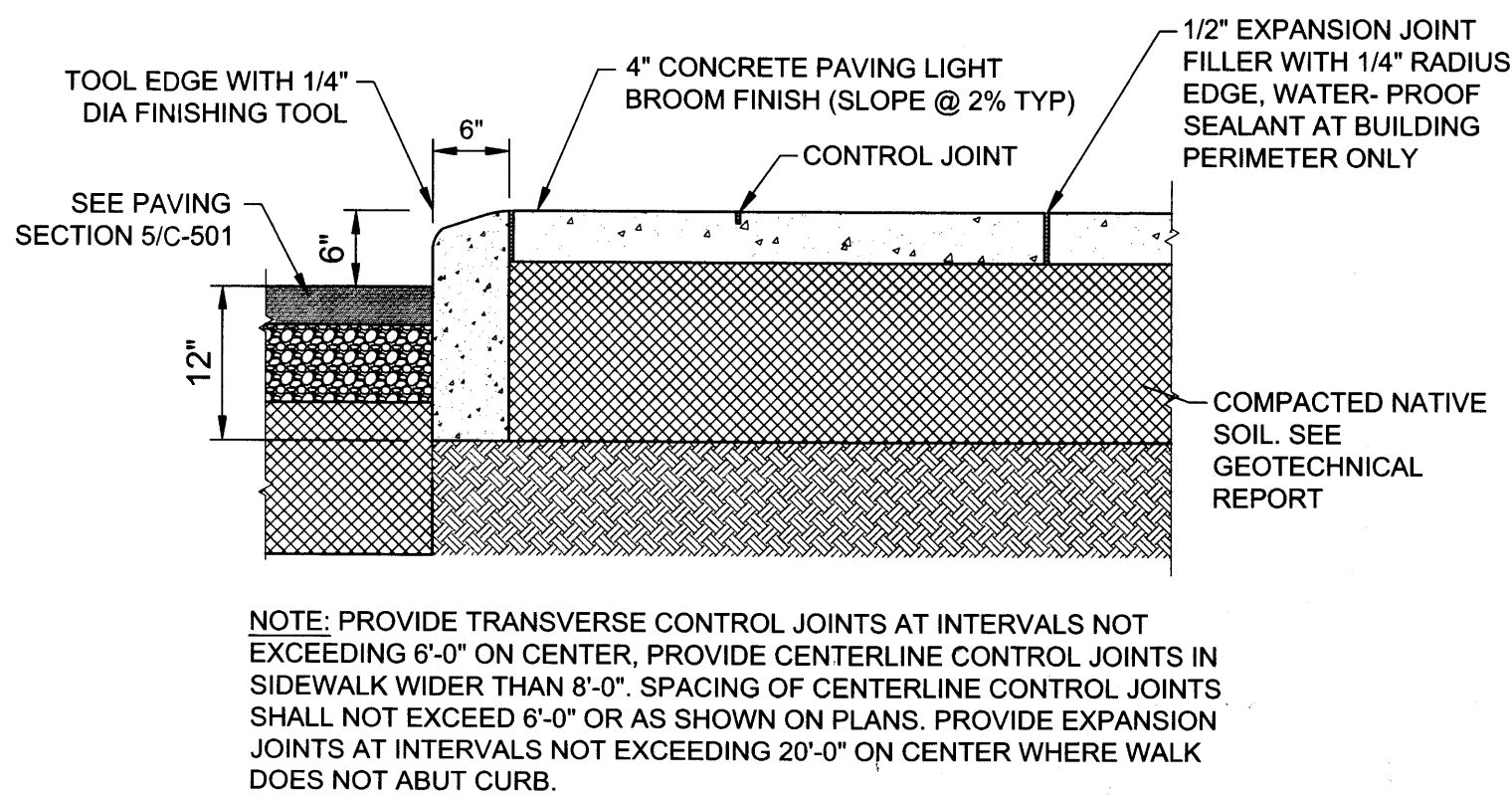


DEFINITIONS:
DETECTABLE WARNINGS: A SURFACE FEATURE BUILT IN OR APPLIED TO WALKING SURFACES OR OTHER ELEMENTS TO WARN OF HAZARDS ON A CIRCULATION PATH TO AID PERSONS WITH VISUAL IMPAIRMENTS.

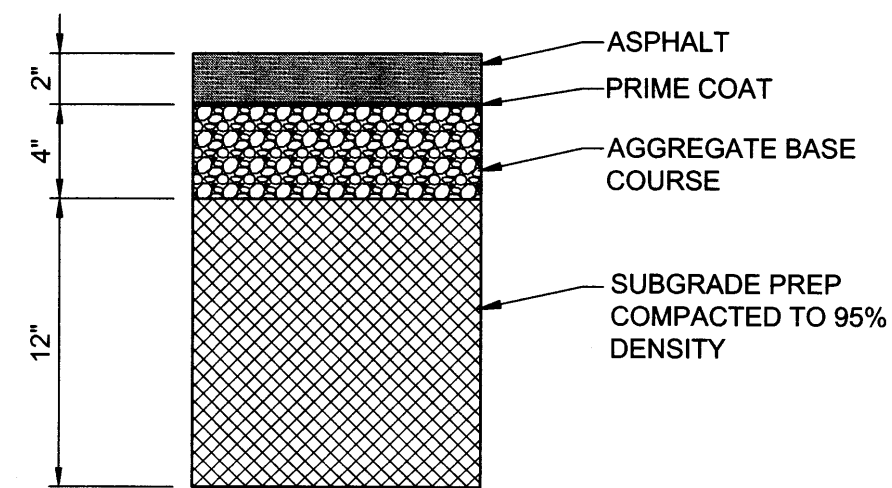
CURB LINE: A LINE AT THE FACE OF THE CURB THAT MARKS THE TRANSITION BETWEEN THE SIDEWALK AND THE GUTTER OR ROADWAY.

- LOCATION:**
1. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE A CURB RAMP OR LANDING CONNECTS TO A CROSSWALK AND/OR PEDESTRIAN ROUTE CROSSING A ROADWAY.
 2. DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE CURB LINE.
 3. MEDIAN AND REFUGE ISLANDS SHALL HAVE DETECTABLE WARNINGS. DETECTABLE WARNINGS AT CUT THROUGH ISLANDS SHALL BE SEPARATED BY A 24 INCH (610 MM) MINIMUM LENGTH OF WALKWAY WITHOUT WARNINGS. EXCEPTION: DETECTABLE WARNINGS SHALL NOT BE REQUIRED ON CUT THROUGH ISLANDS WHERE THE CROSSINGS ARE CONTROLLED BY SIGNALS AND ARE TIMED FOR FULL CROSSING ON MEDIANS LESS THAN 7 FEET WIDE.

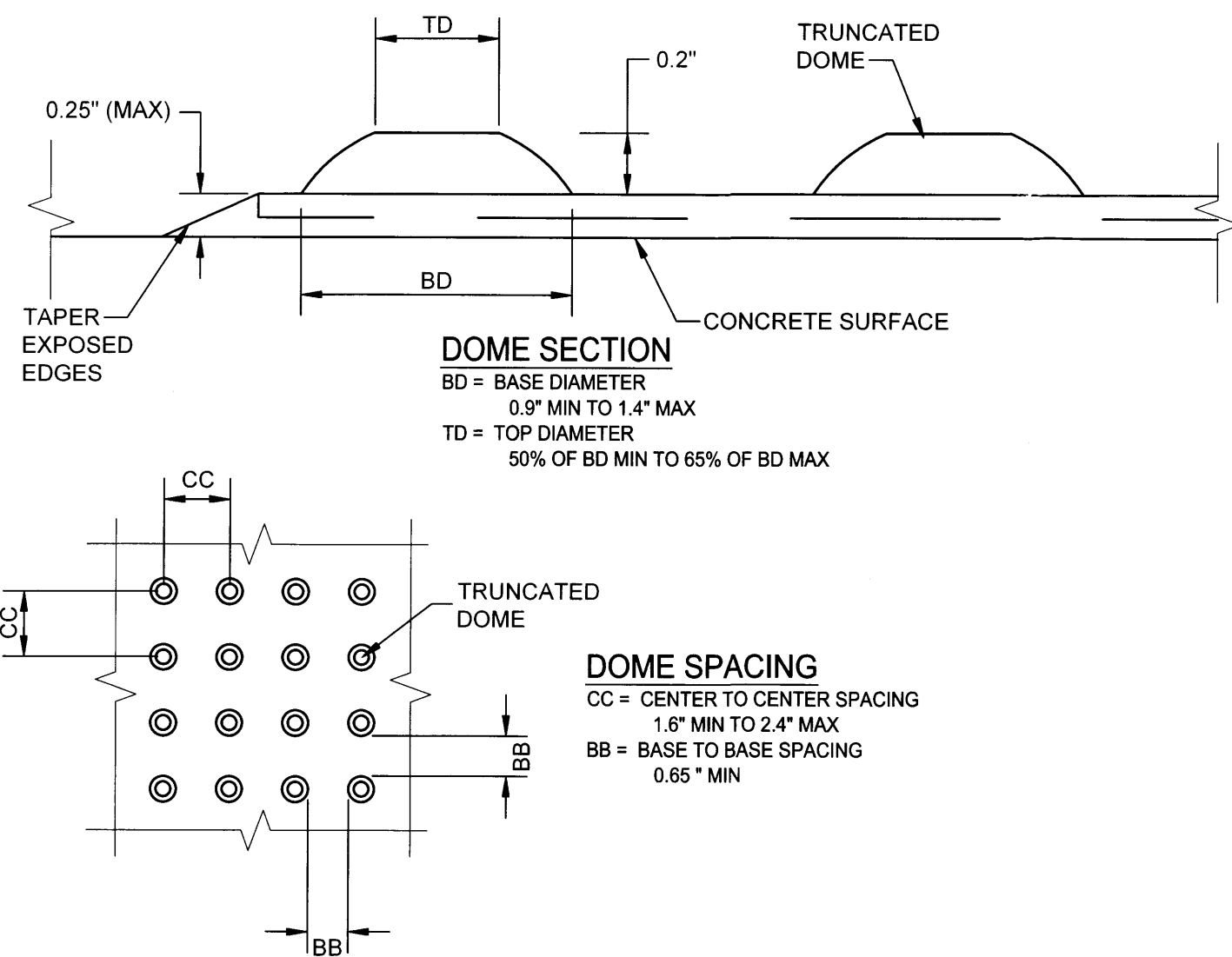
- NOTES:**
1. DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION OR RECONSTRUCTION OF STREETS, CURBS OR SIDEWALKS BY ALL PUBLIC AGENCIES AND BY ALL PRIVATE ORGANIZATIONS CONSTRUCTING FACILITIES FOR PUBLIC USE.
 2. SIDEWALK RAMP ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 3. THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.
 4. ALL PRODUCTS USED FOR DETECTABLE WARNING SURFACES SHALL BE ON THE DEPARTMENT'S APPROVED PRODUCT LIST.



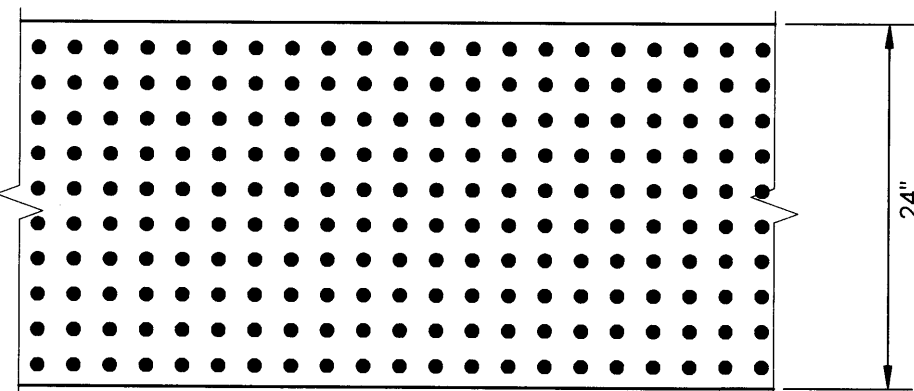
6 CURB/SIDEWALK DETAIL Scale: NTS



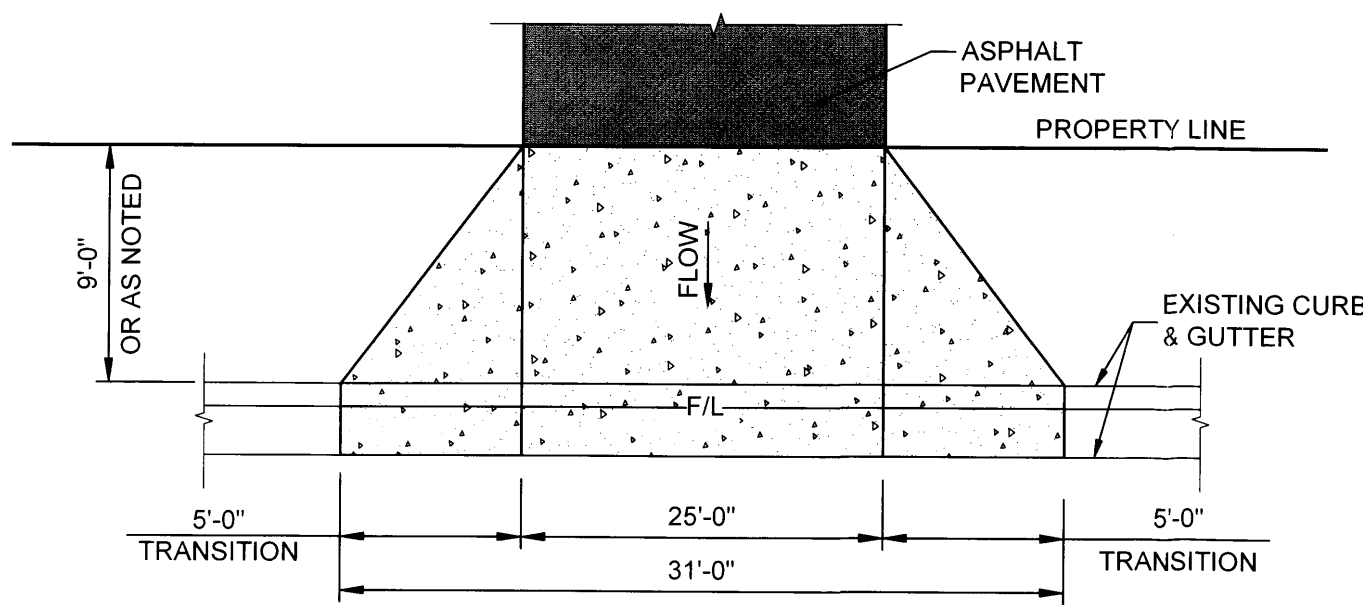
7 PAVEMENT SECTION Scale: NTS



5 DETECTABLE WARNING SURFACE Scale: NTS



DOME ALIGNMENT
DETECTABLE WARNING SURFACES SHALL EXTEND 24" MIN. IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB RAMP, LANDING, OR TRANSITION. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE CROSSWALK TO PERMIT WHEELS TO ROLL BETWEEN DOMES.



8 DRIVEPAD DETAIL Scale: NTS

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ROUTE 66 PLAZA - LIVE/WORK DEVELOPMENT
SITE PLAN & PROJECT INFORMATION
8521 CENTRAL AVE. ALBUQUERQUE, NM
PROJECT #1611

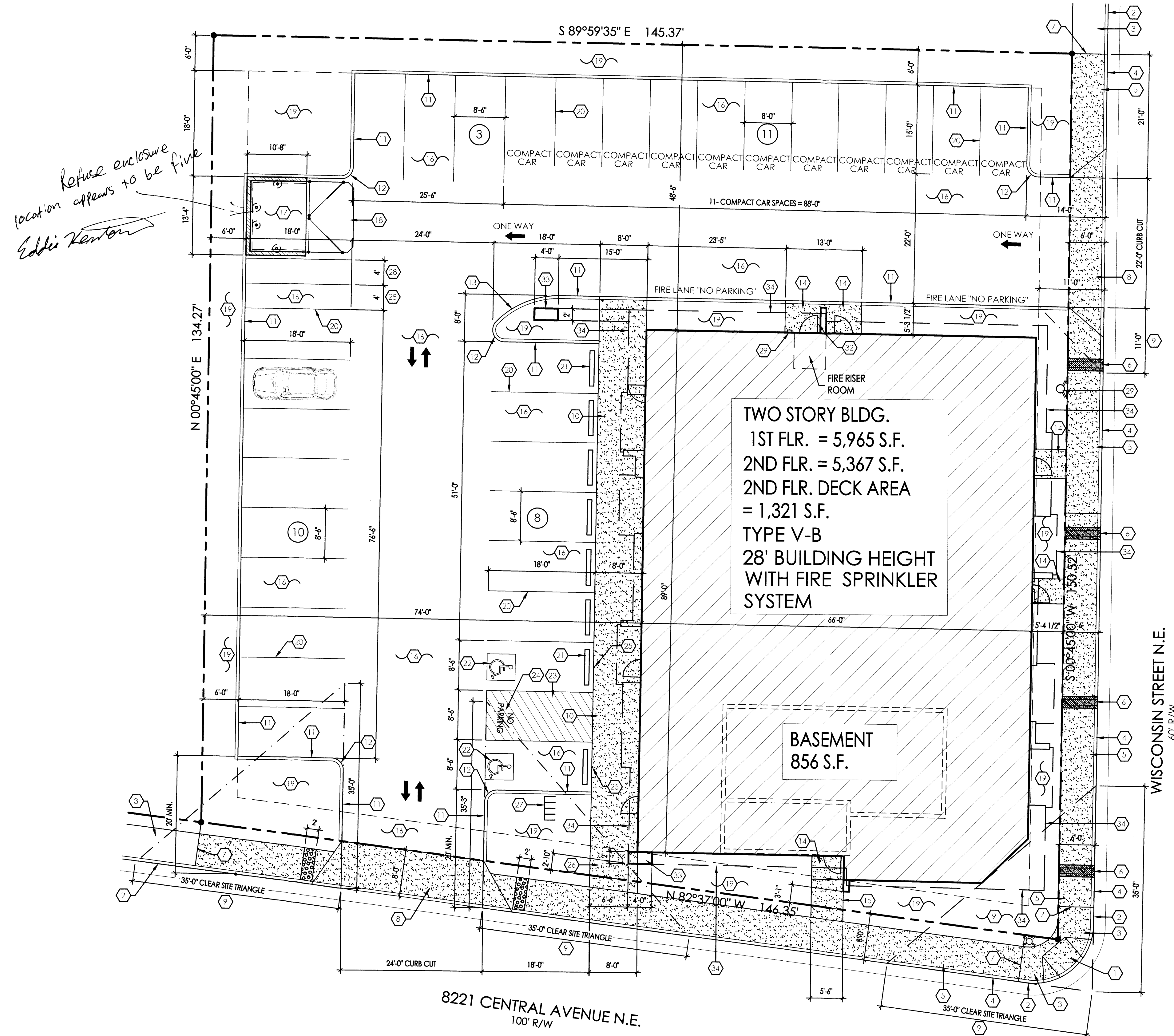
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DATE	06-16-2016
SHEET NUMBER	C-3

ROUTE 66 PLAZA

8521 CENTRAL AVENUE NE

GENERAL NOTES

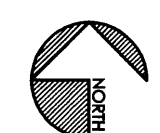
- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMIS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH X 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C., SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
- FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT, G.C. TO PROVIDE KEY BOX. KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION, THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.



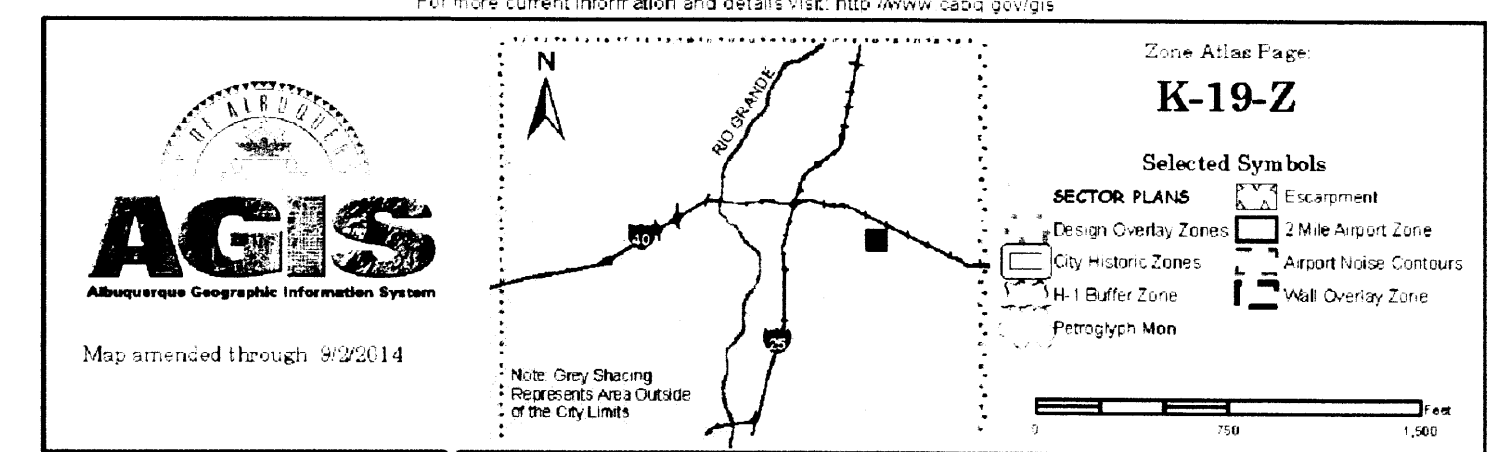
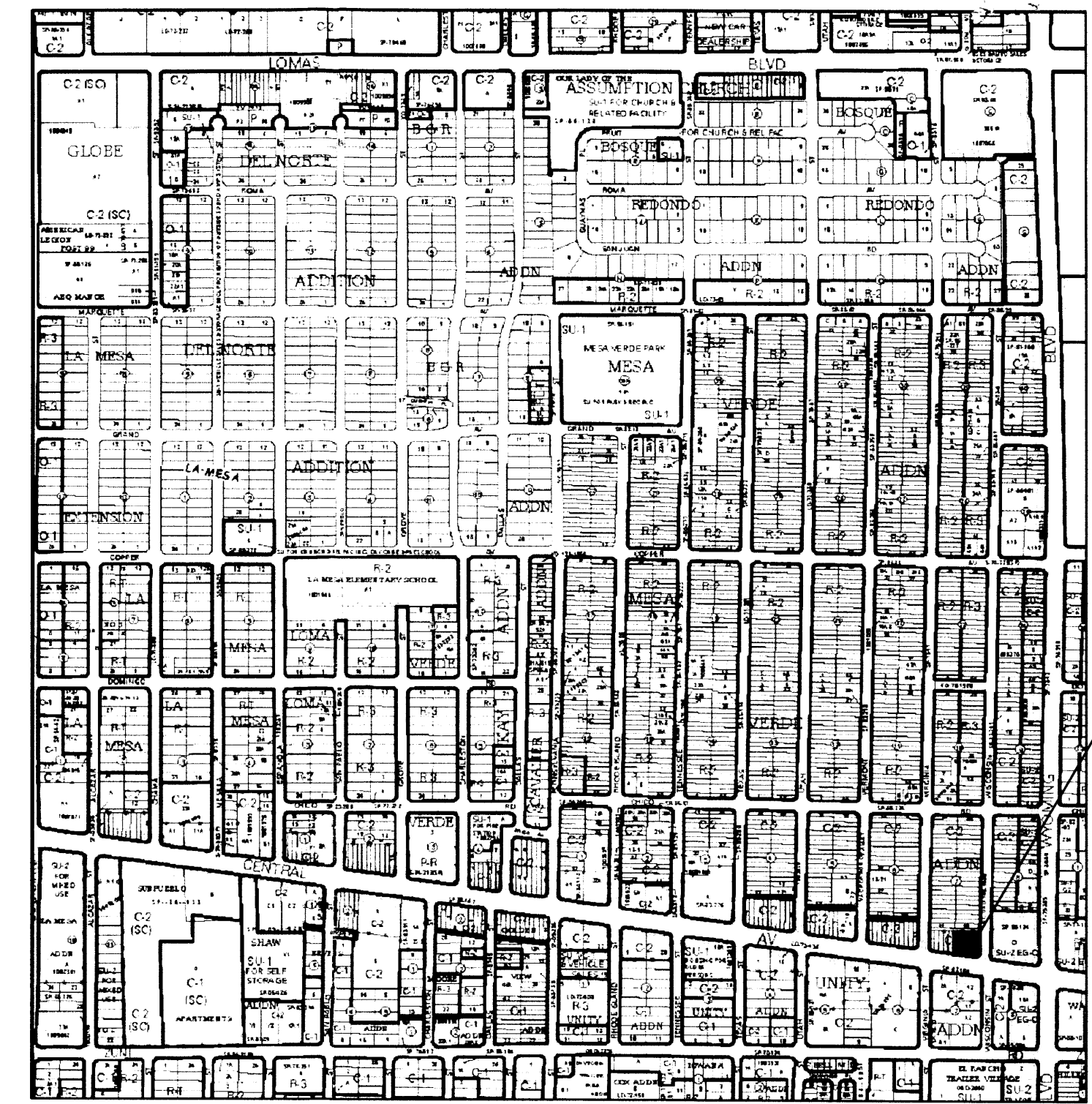
SITE DATA:

ZONING: C-2

LEGAL DESCRIPTION:
LOTS 6, 7, 8, 9, 10 AND 11, BLOCK 7 AND
S.W. PORTION OF A VACATED ALLEY MESA VERDE ADDITION
CITY OF ALBUQUERQUE, NM, BERNALILLO COUNTY



A SITE PLAN
SCALE: 1"=10'-0"



VICINITY MAP - K-19-Z

KEYED NOTES

- EXISTING ACCESSIBLE CONCRETE CURB RAMP TO REMAIN.
- EXISTING RAISED CONCRETE CURB AND GUTTER TO REMAIN.
- EXIST. CONC. SIDEWALK.
- REMOVE EXIST. CONC. CURB AND GUTTER AND CONSTRUCT NEW RAISED CONCRETE CURB AND GUTTER PER C.O.A. STANDARD DRAWING 2415A.
- REMOVE EXIST. CONC. SIDEWALK AND CONSTRUCT NEW 6' WIDE CONCRETE SIDEWALK PER C.O.A. STANDARD DWG. 2430.
- NEW 12" WIDE SIDEWALK CULVERT PER C.O.A. DWG. 2236.
- NEW SIDEWALK TRANSITION PER C.O.A. STD. DWG. 2432.
- REMOVE EXIST. CURB CUT AND BUILD NEW CURB CUT AND DRIVE PAD PER C.O.A. STANDARD DRAWING 2425, REF: GRADING AND DRAINAGE PLANS. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA. NOTE: ANY WORK WITHIN PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS.
- 4" THICK CONCRETE SIDEWALK WITH CONC. TURNDOWN, TOP OF CONC. SIDEWALK AND ASPHALT PAVING TO BE FLUSH, SLOPE SIDEWALK 1/4" FT. AWAY FROM BUILDING.
- 6" HIGH CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
- 2'-0" RADIUS.
- 15'-0" RADIUS.
- 4" THICK CONCRETE STOOP AT EXIT DOOR, REF: 1ST FLOOR PLAN.
- 4" THICK CONCRETE SIDEWALK.
- REMOVE EXIST. ASPHALT PAVING AND INSTALL NEW ASPHALT PAVING OVER BASE COURSE, REF: GRADING AND DRAINAGE PLAN.
- DUMPSTER ENCLOSURE, REF: AS-2.0.
- 6" THICK CONCRETE SLAB AND APRON AT DUMPSTER ENCLOSURE, REF: AS-2.0.
- LANDSCAPING AREA, REF: LANDSCAPING PLAN AND GRADING AND DRAINAGE PLAN.
- 2' WIDE PAINTED PARKING STRIPE PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAILS.
- CONCRETE WHEEL STOP, TYPICAL.
- HANDICAP SYMBOL PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAILS.
- PAINTED STRIPE HANDICAP ACCESSIBLE AISLE PER C.O.A. STANDARDS, REF: AS-2.0 FOR DETAIL.
- "NO PARKING" IN CAPITAL LETTERS, 12" HIGH X 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACES. (66-1-4.1.B NMSA 1978).
- HANDICAP ACCESSIBLE SIGNAGE PER C.O.A. REQUIREMENTS, REF: AS-2.0 FOR DETAILS.
- 6'-0" WIDE MIN. PEDESTRIAN PATH-WAY/SIDEWALK PER C.O.A. REQUIREMENTS.
- BICYCLES RACK, FOR FIVE BICYCLES MIN. REF: AS-2.0 FOR DETAIL.
- TWO MOTORCYCLE PARKING REQUIRED, SIGNAGE PER C.O.A. REQUIREMENTS.
- G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM, MOUNT BOX 5'-0" HIGH A.F.F.
- FIRE DEPARTMENT CONNECTION (FDC) LOCATION, NOTE: FDC LOCATION TO BE WITHIN 100 FEET OF FIRE HYDRANT.
- PREMIS TO BE 12 INCH HIGH NUMERALS, 1" STROKE ON A CONTRASTING BACKGROUND.
- FIRE RISER ROOM WITH SIGNAGE "FIRE RISER ROOM".
- FRAMED COLUMN WITH STUCCO, REF: PLANS.
- DASHED LINE DENOTES: 2ND FLOOR ABOVE, REF: PLANS.

PARKING CALCULATIONS

OFFICE STREET PARKING REQUIRED:

DENTAL: 5 SPACES FOR EACH DOCTOR; 1 DOCTOR = 5 SPACES
RETAIL: 1 PER 200 S.F.; 2,671 S.F. = 14 SPACES
APARTMENTS: 1 PER BATH; 6 APARTMENTS WITH 2 BATHS EACH = 12 SPACES
TOTAL PARKING REQUIRED: 31 SPACES (2 H.C., ACCESSIBLE SPACES)
TOTAL PARKING PROVIDED: 2 H.C. SPACES + 18 REGULAR SPACES + 11 COMPACT CAR SPACES = 31 TOTAL PARKING SPACES

MOTORCYCLE PARKING REQUIRED:

31 TOTAL OFF STREET PARKING REQUIRED:
26-50 SPACES = 2 MOTORCYCLE PARKING SPACES REQUIRED, 2 PROVIDED

BICYCLE PARKING REQUIRED:

RESIDENTIAL USE: 1 SPACE FOR EACH 2 DWELLING UNITS;
6 DWELLING UNITS = 3 BICYCLE PARKING SPACES
NON-RESIDENTIAL USE: 1 SPACE FOR EACH 20 REQUIRED PARKING SPACES;
31 PARKING SPACES = 2 BICYCLE PARKING SPACES
5 BICYCLE PARKING SPACES REQUIRED, 5 PROVIDED

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signature: [Signature]
Date: 3/25/16

SITE

ROUTE 66 PLAZA - LIVE/WORK DEVELOPMENT
SITE PLAN & PROJECT INFORMATION
8521 CENTRAL AVE. ALBUQUERQUE, NM
PROJECT #1611

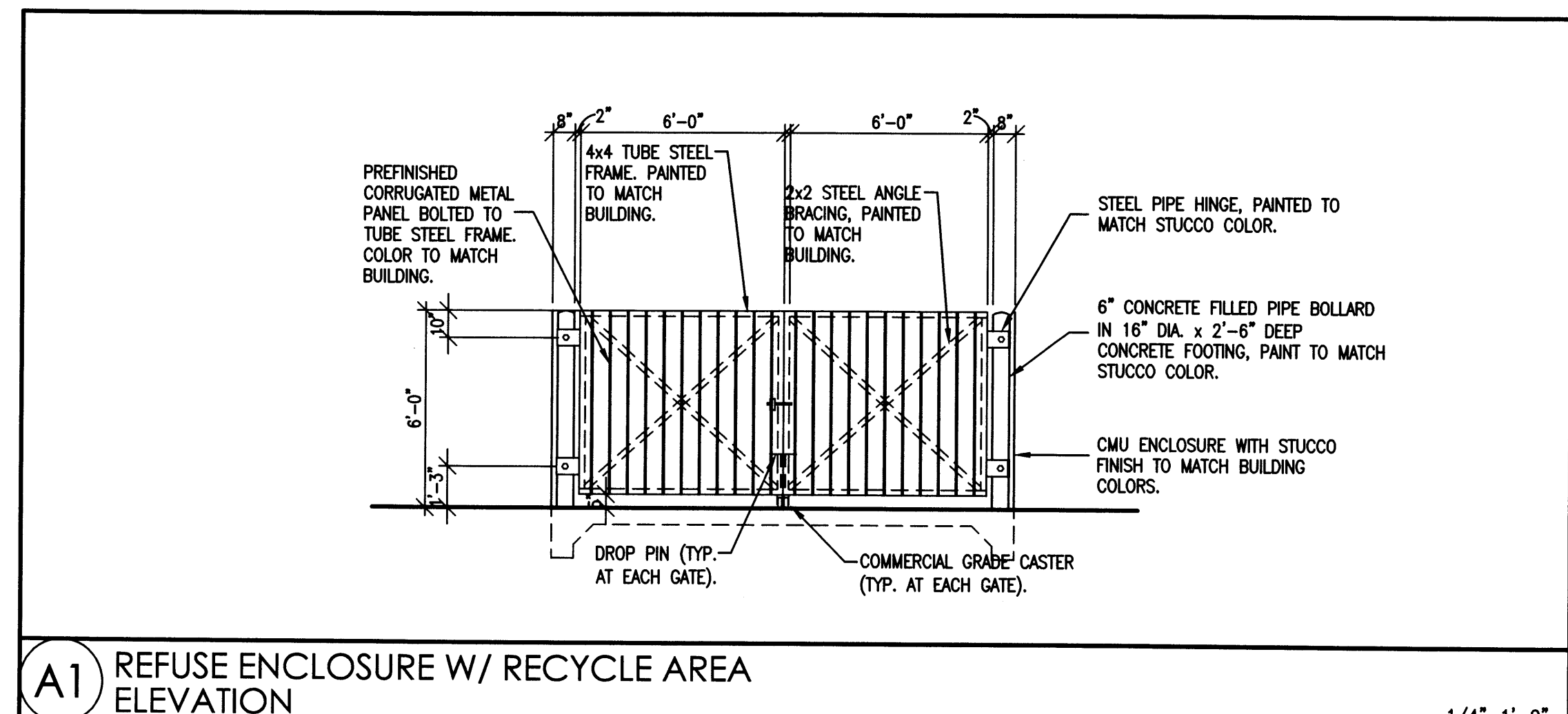
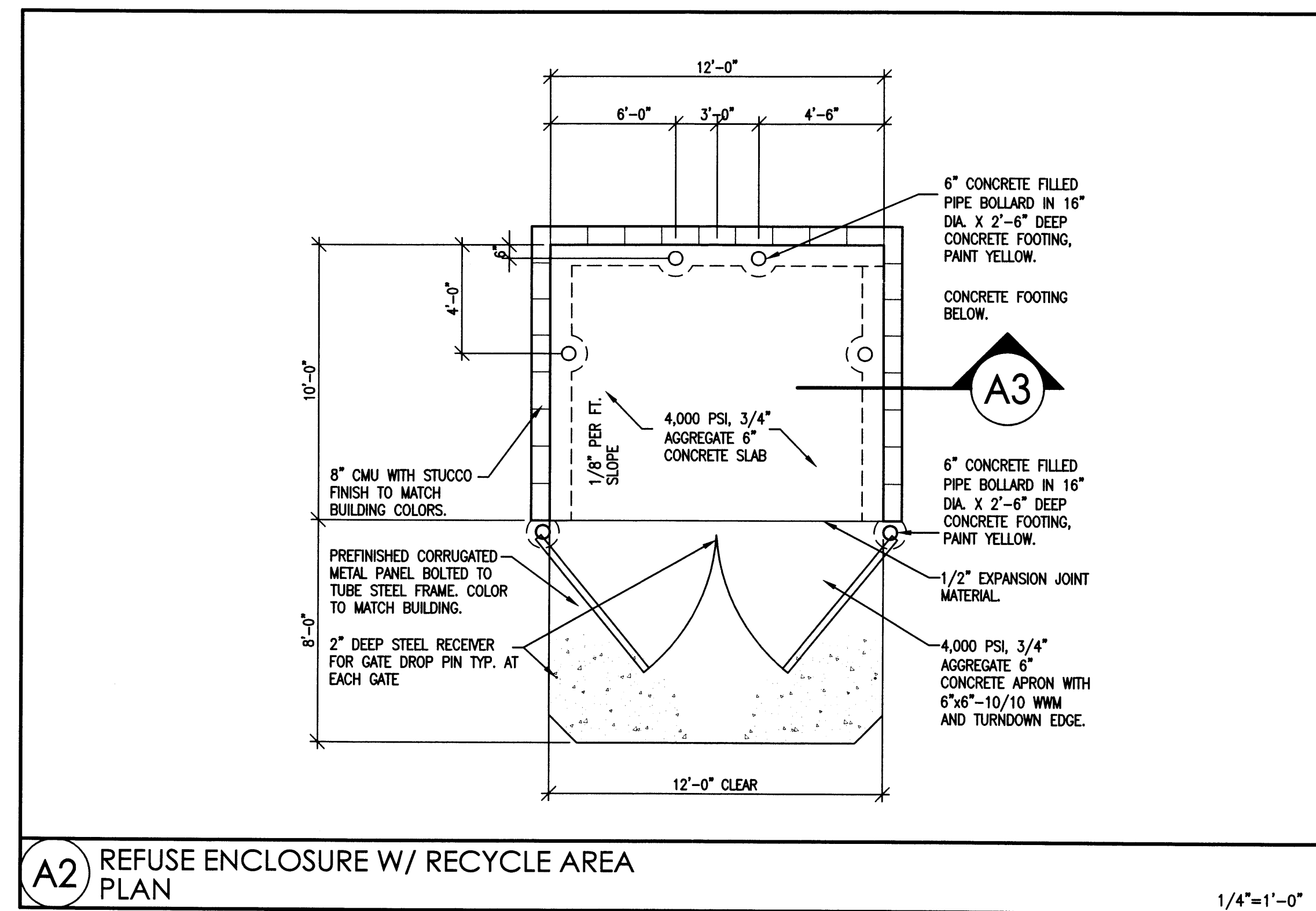
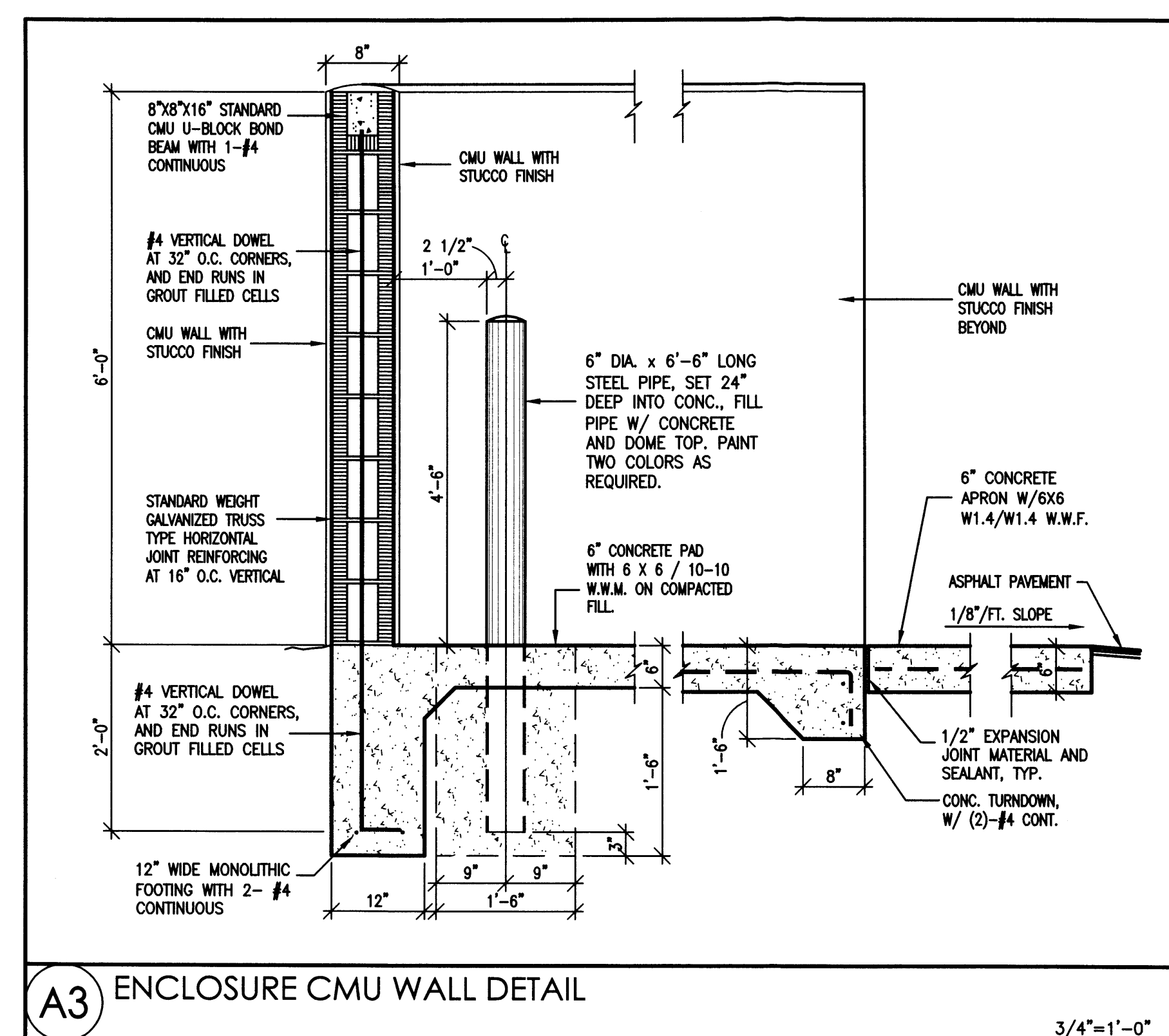
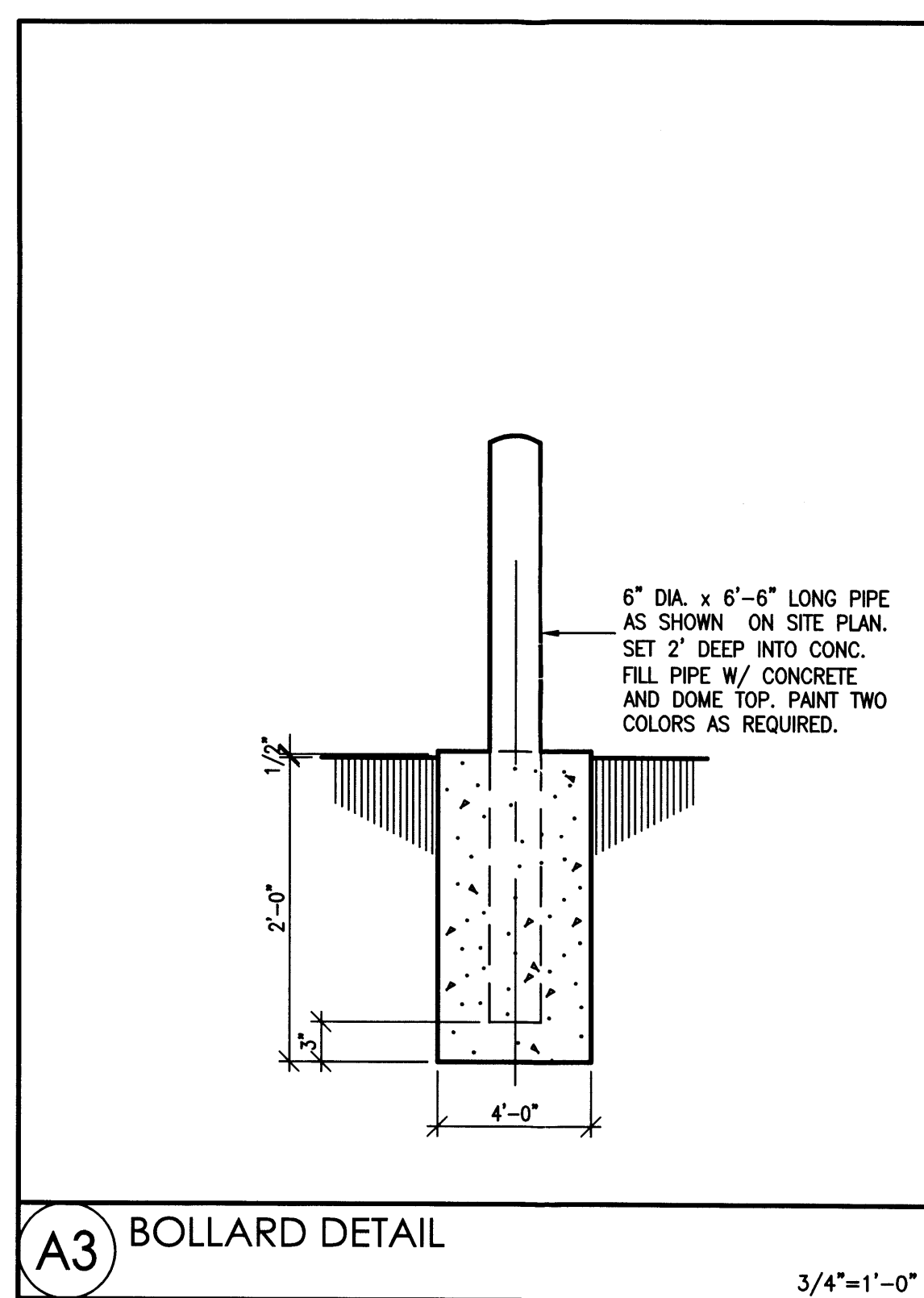
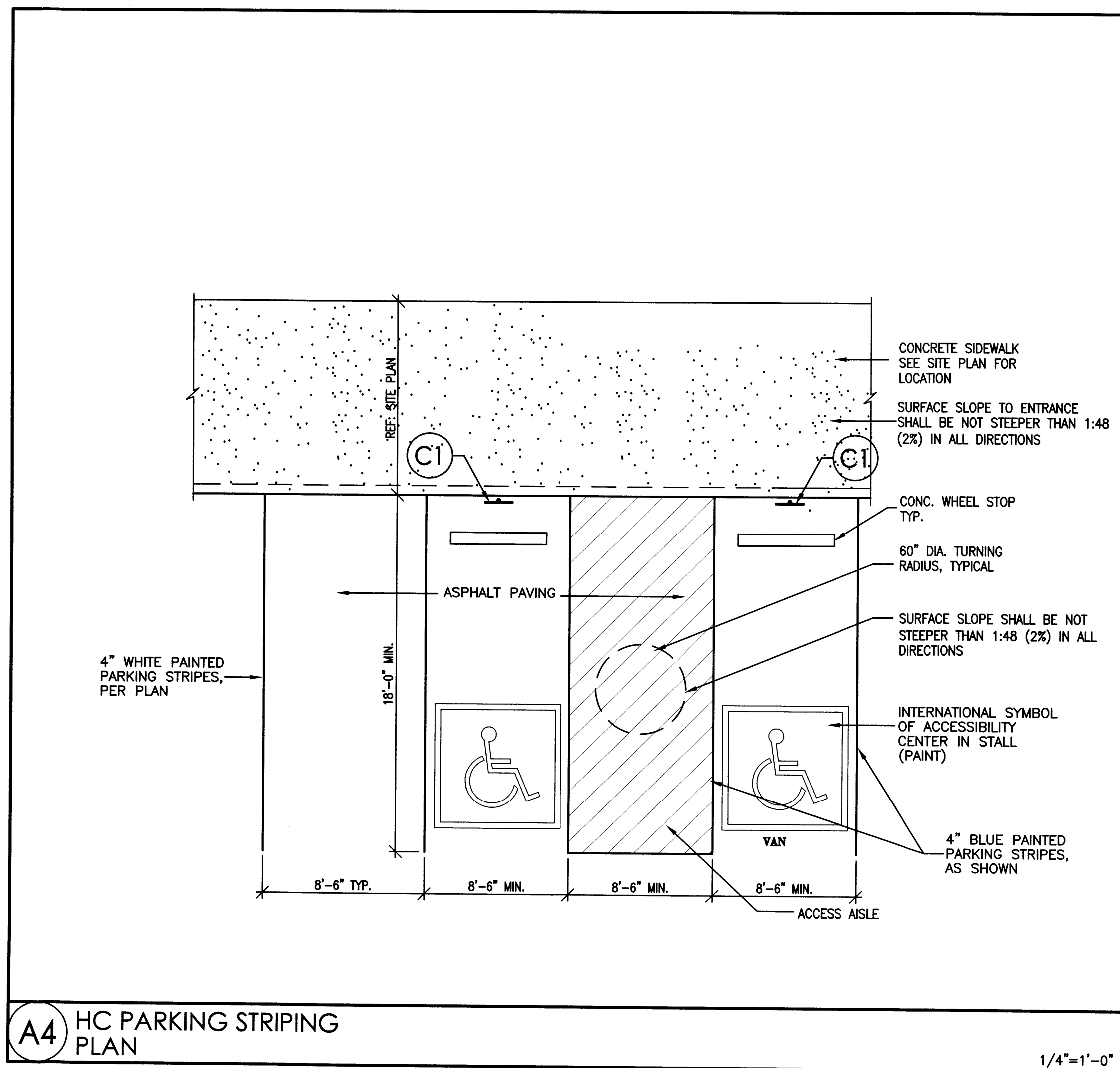
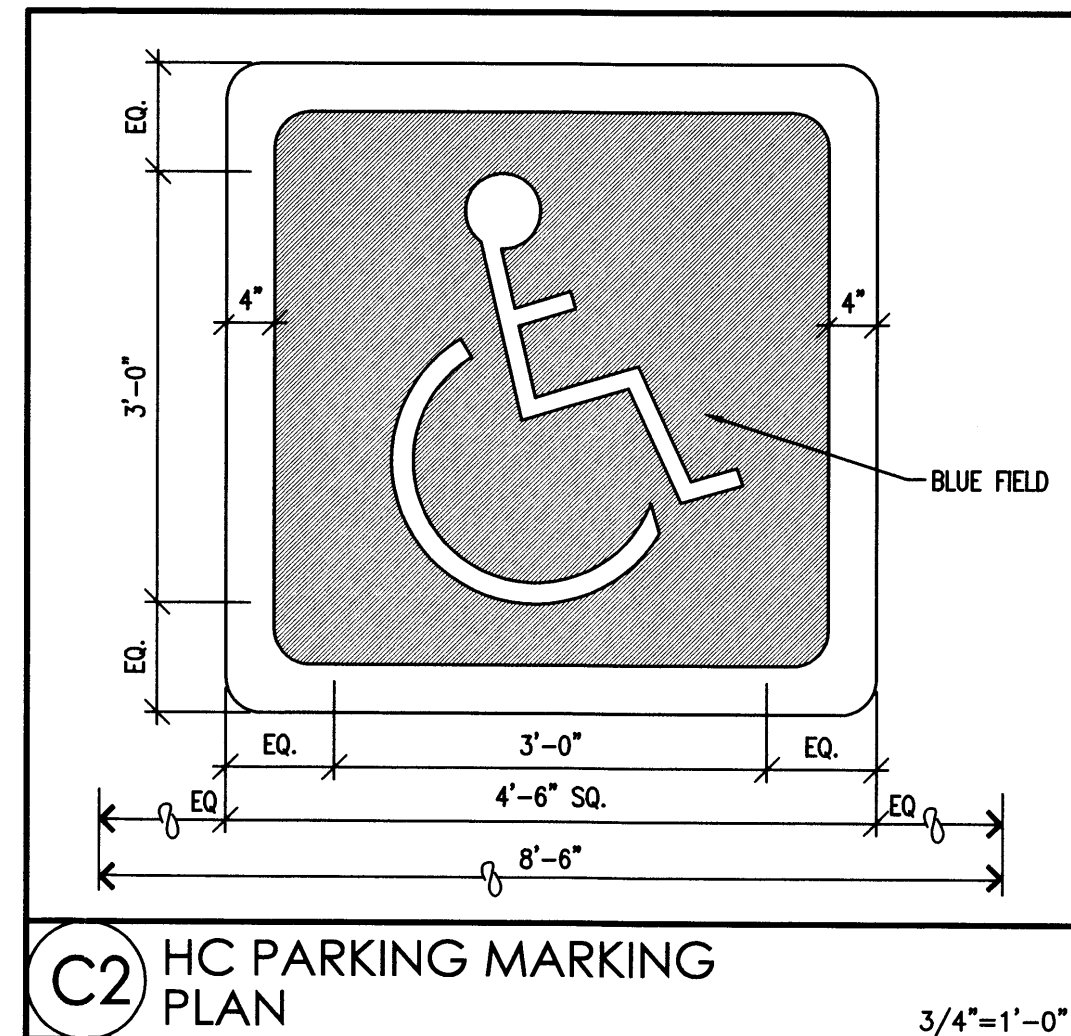
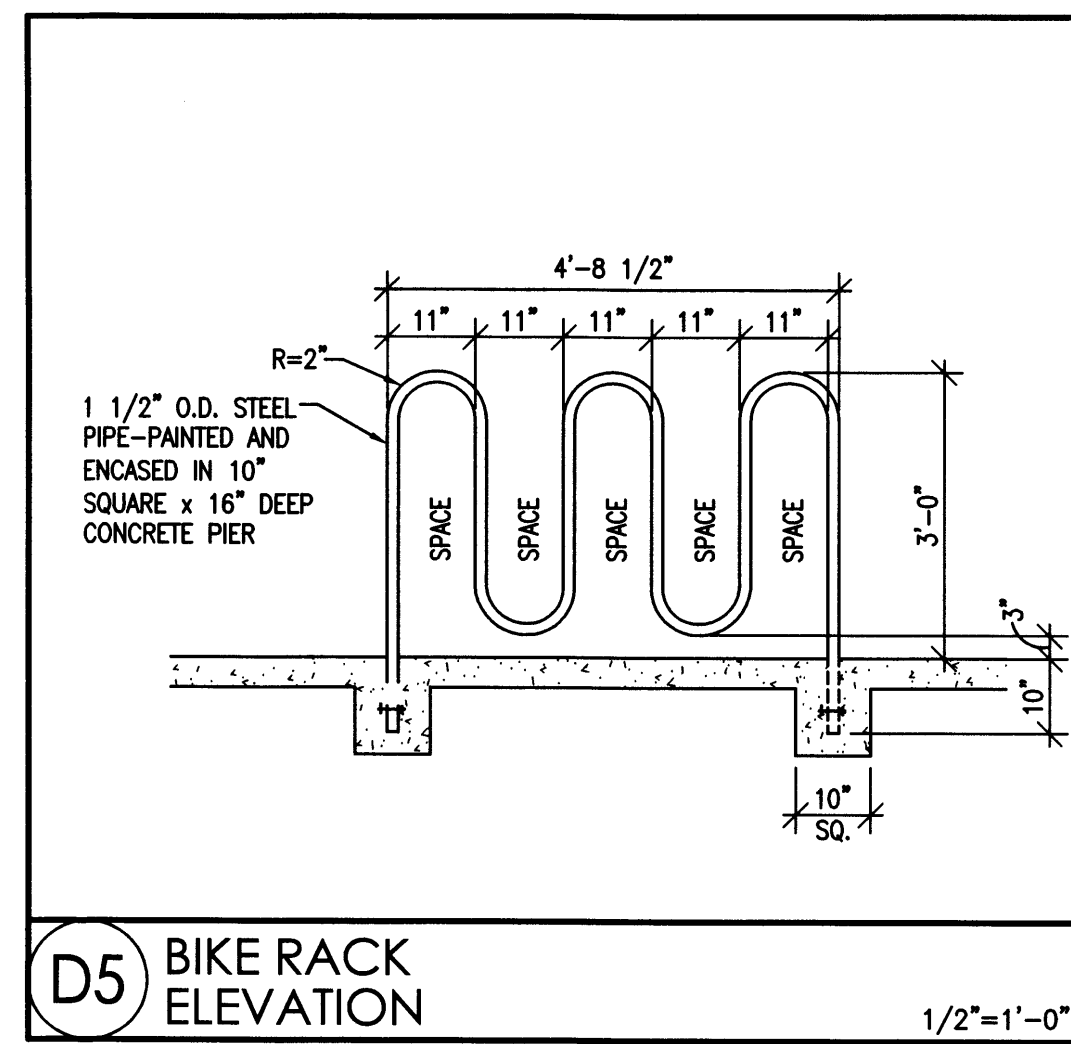
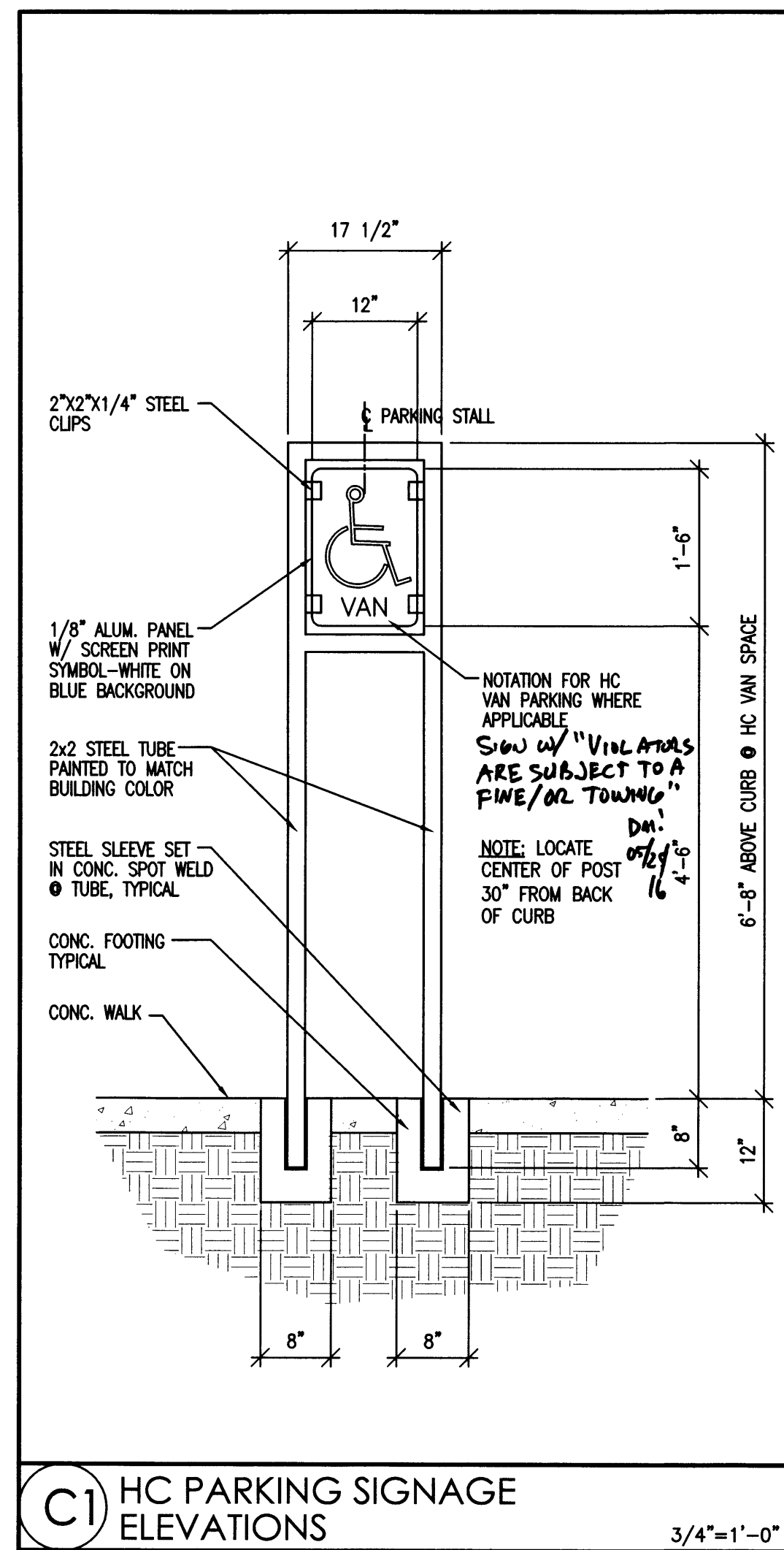
REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
05/17/16
REGISTERED ARCHITECT

RBA
REGISTERED ARCHITECT
1800 1ST AVENUE N.W.
ALBUQUERQUE, NM 87102
(505) 263-1111
www.rba-architect.com

DATE
05-17-2016

SHEET NUMBER
AS-1.0



ROUTE 66 PLAZA
SITE DETAILS
ALBUQUERQUE, NEW MEXICO
PROJECT #1613

REVISION DATE
DATE
05-17-2016
SHEET NUMBER
AS-2.0