

CITY OF ALBUQUERQUE



August 11, 2006

Jackie S. McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**Re: Samaha Townhouse Project, Grading and Drainage Plan
Engineer's Stamp dated 7-31-06 (K19/D45)**

Dear Ms. McDowell,

P.O. Box 1293

Based upon the information provided in your submittal dated 8-2-06, the above referenced plan is approved for Foundation Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne, E.I.
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: SAMAHA TOWNHOMES - TENNESSEE
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: K-19 / D45
WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 15 & 16, MESA VERDE ADDITION

CITY ADDRESS: 924 TENNESSEE STREET NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.
ADDRESS: 7820 BEVERLY HILLS AVE. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL
PHONE: (505) 828-2430
ZIP CODE: 87122

OWNER: KHALIL SAMAHA
ADDRESS: _____
CITY, STATE: ALBUQUERQUE, NM

CONTACT: KHALIL SAMAHA
PHONE: 480-7788
ZIP CODE: _____

ARCHITECT: MIGUEL TRUJILLO & ASSOC.
ADDRESS: 8504 SPAIN RD. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIGUEL TRUJILLO
PHONE: 821-5687
ZIP CODE: 87111

SURVEYOR: HARRIS SURVEYING, INC.
ADDRESS: 2412-D MONROE ST. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: ANTHONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

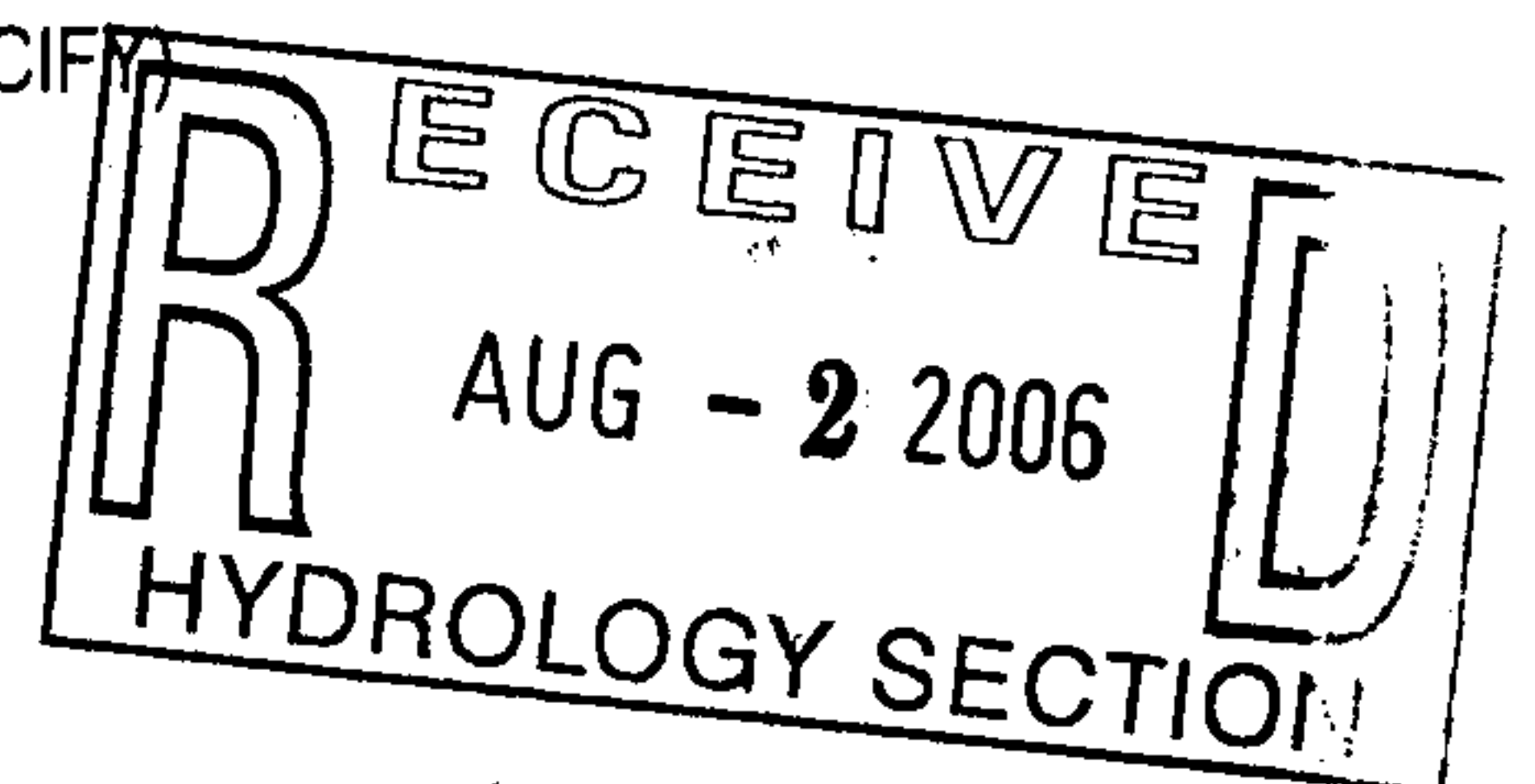
- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: _____ BY: _____

Jackie S. McDowell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



ATTACHMENT NO. 1

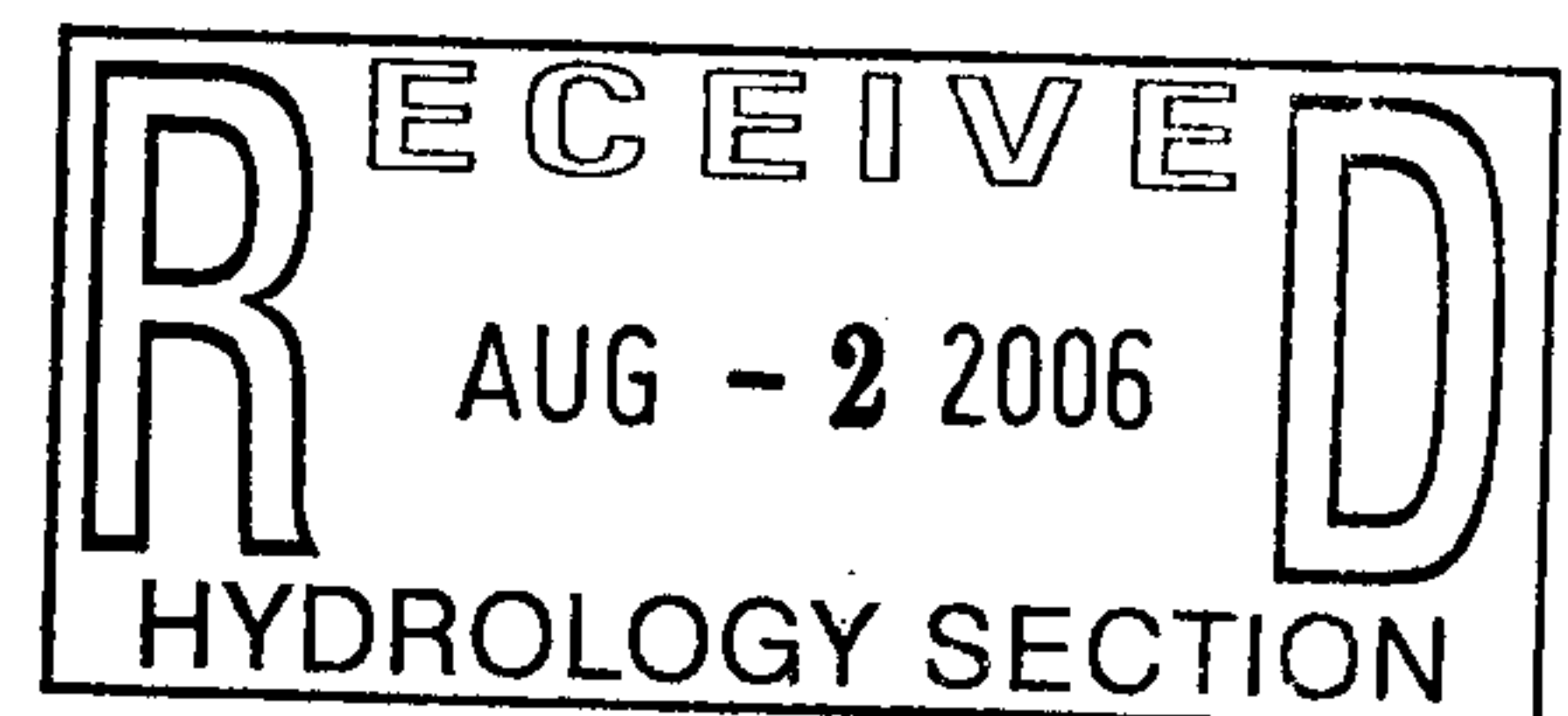
SUPPLEMENTAL CALCULATIONS

FOR

SAMAHA – TOWNHOUSE PROJECT

LOTS 15 & 16, MESA VERDE ADDITION

GRADING & DRAINAGE PLAN



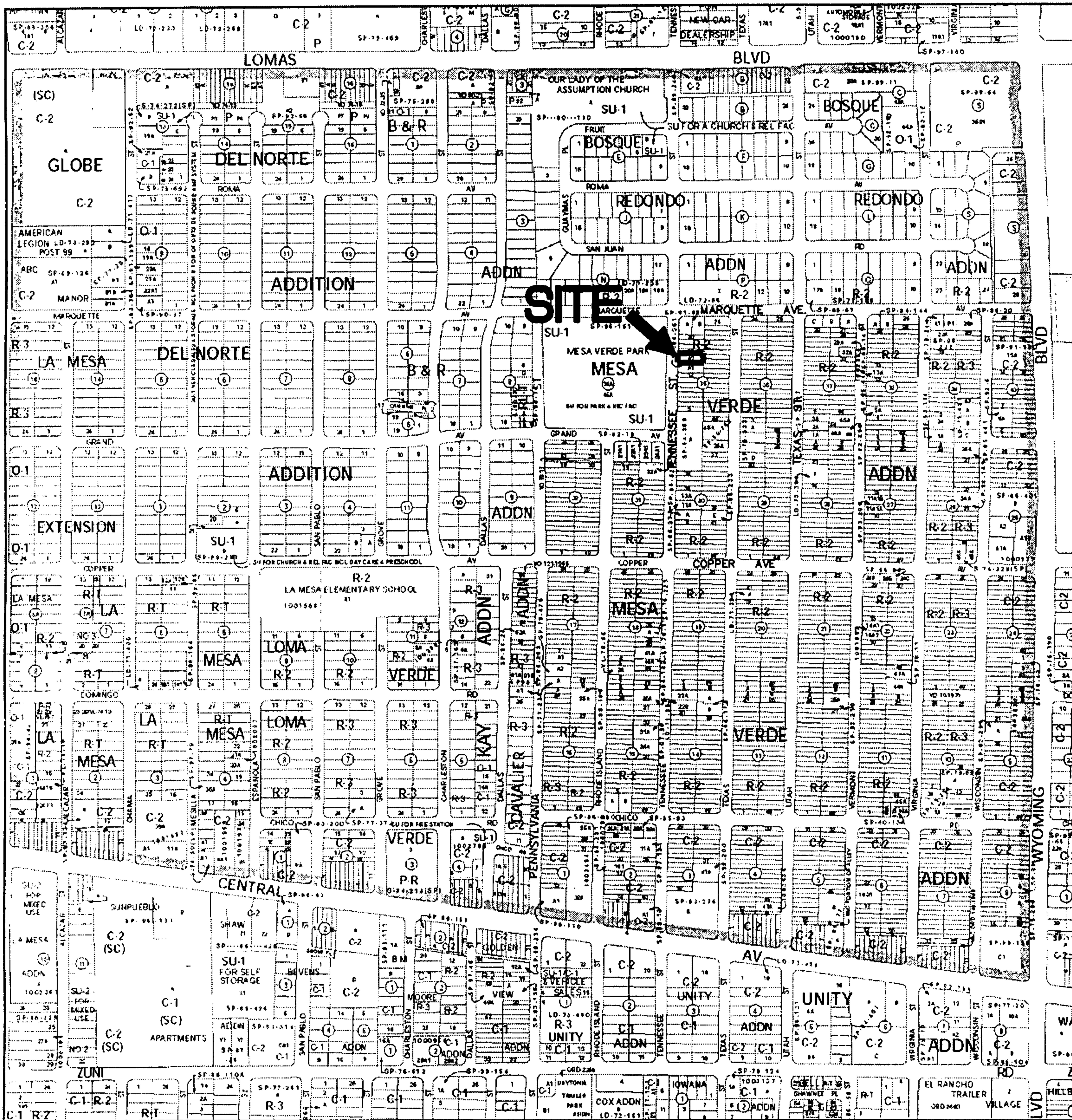
I, Jackie S. McDowell, Registered Professional Engineer,
No. 10903, hereby certify that I have prepared the attached
calculations.


Jackie S. McDowell, P.E.

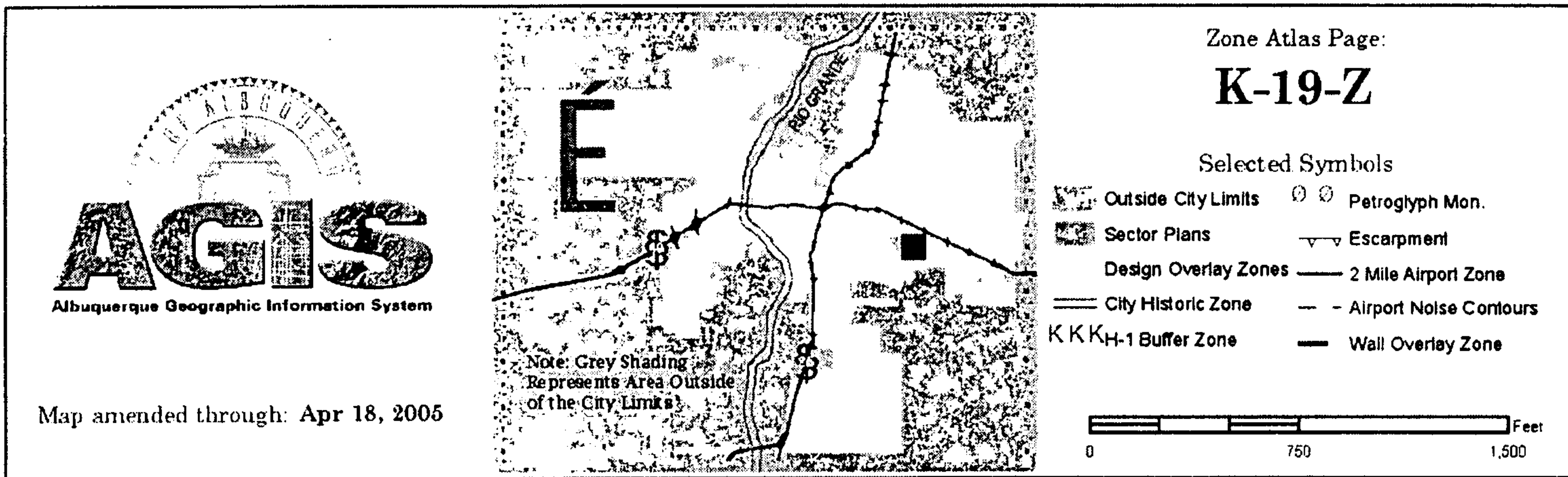
 7-31-06

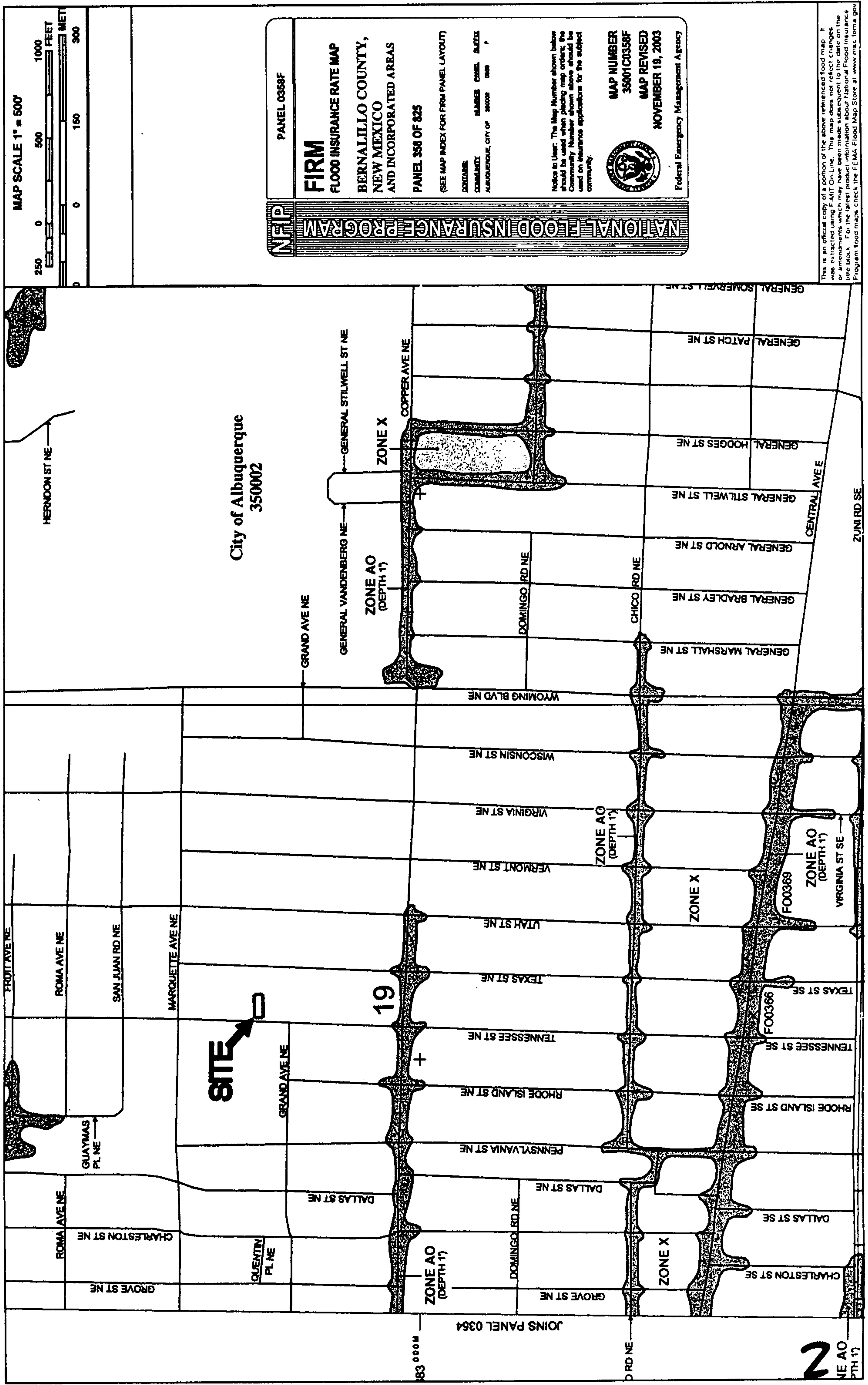
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For more current information and more details visit: <http://www.cabq.gov/gis>

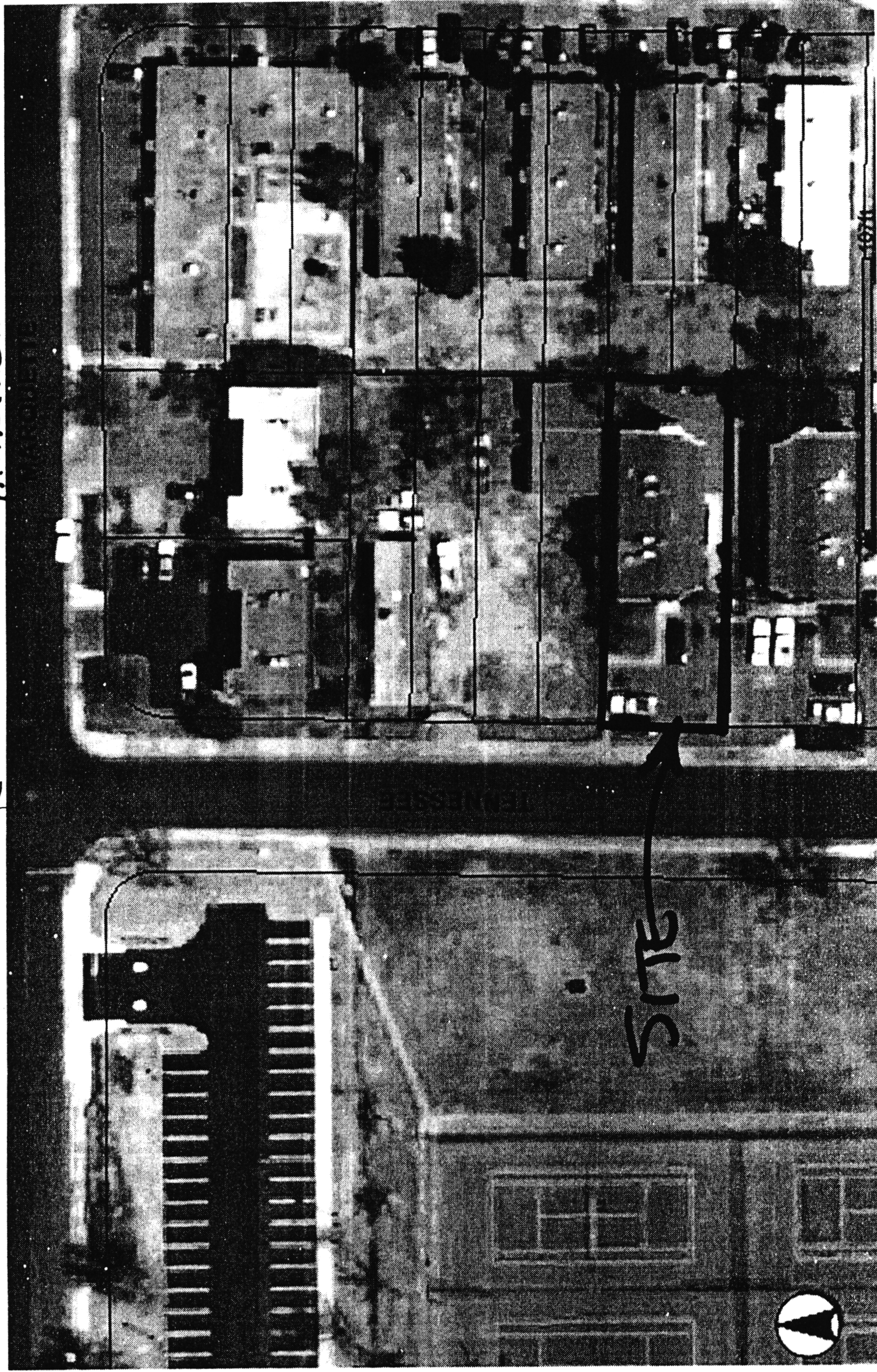




AN

MARQUETTE

30 JAN 1971



2004 AGIS
AERIAL PHOTO

SURVEY NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. 72-1197.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ON RECORD DRAWINGS AND FIELD SURVEY. UTILITIES SHOWN HEREON ARE NOT TO BE CONSIDERED AS A GUARANTEE OF LOCATION OR DEPTH. UTILITIES SHOWN HEREON ARE NOT TO BE CONSIDERED AS A GUARANTEE OF LOCATION OR DEPTH. UTILITIES SHOWN HEREON ARE NOT TO BE CONSIDERED AS A GUARANTEE OF LOCATION OR DEPTH.
4. THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Townhomes are proposed for the subject property with associated access, parking and landscaping.

EXISTING CONDITIONS:

Presently the 0.16 acre site has recently been cleared from dense building on pavement clutter. The site is bounded on the north, east, and south by residential lots and on the west by Tennessee Street. The site is level in the center and slopes 3 feet to the west at the FEMA Map Panel No. 358, the site is not located in a 100-year floodplain. A negligible amount of runoff enters the site from the east.

PROPOSED CONDITIONS:

As shown by the plan, the buildings are located within the eastern portion of the property. On site flows will drain from the buildings away to the west to Tennessee Street. All roof drainage will discharge from the roof to the property and continue to flow to existing flow patterns.

Supplemental calculations (Attachment No. 1) have been provided to the City of Albuquerque Hydrology Department.

CALCULATIONS:

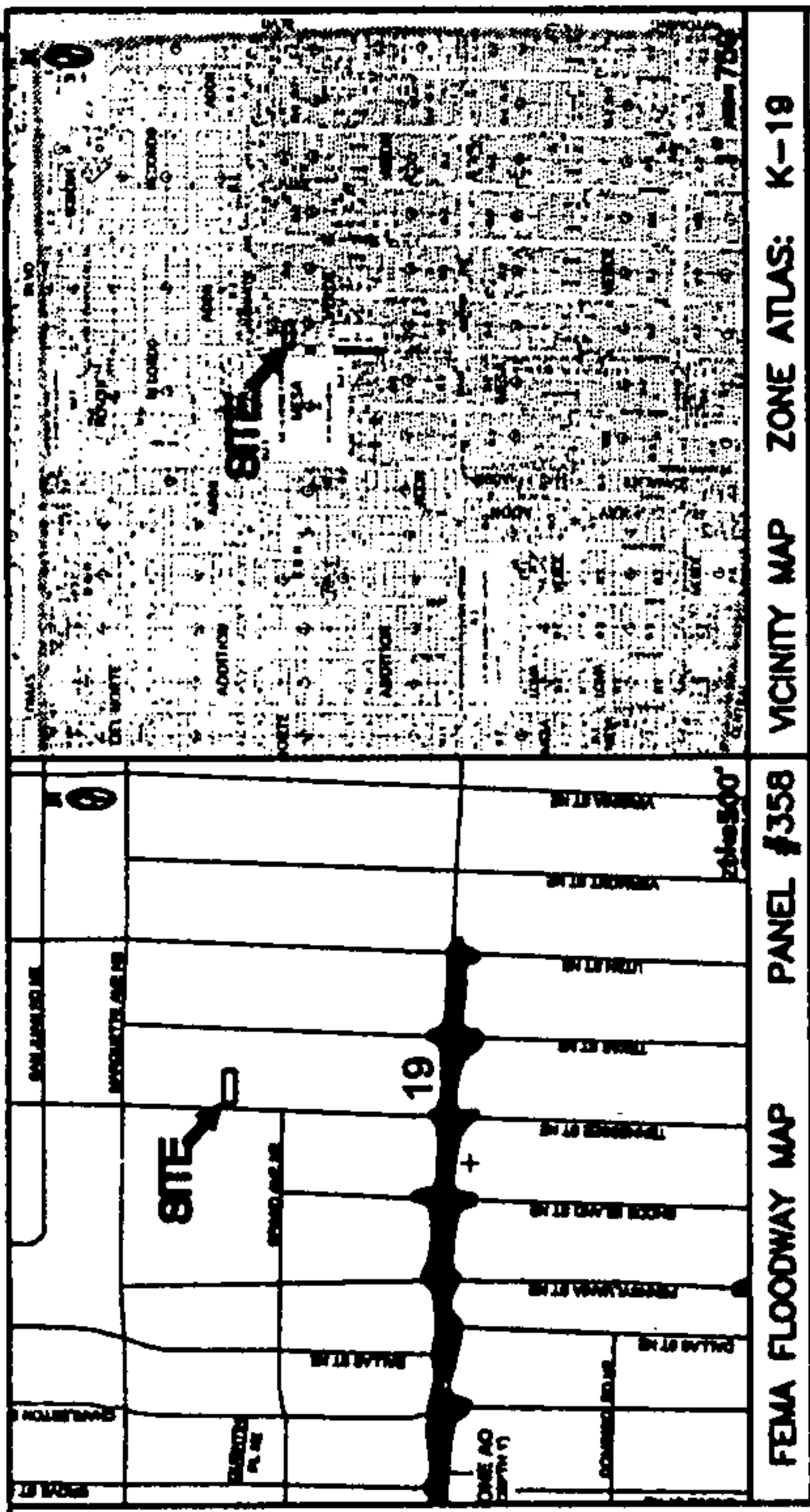
The calculations shown hereon define the 100 year/8 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernadillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

PROPERTY ADDRESS:

924 Tennessee Street

TOPOGRAPHY:

Topographic information provided by Harris Surveying, Inc. dated June 2006.

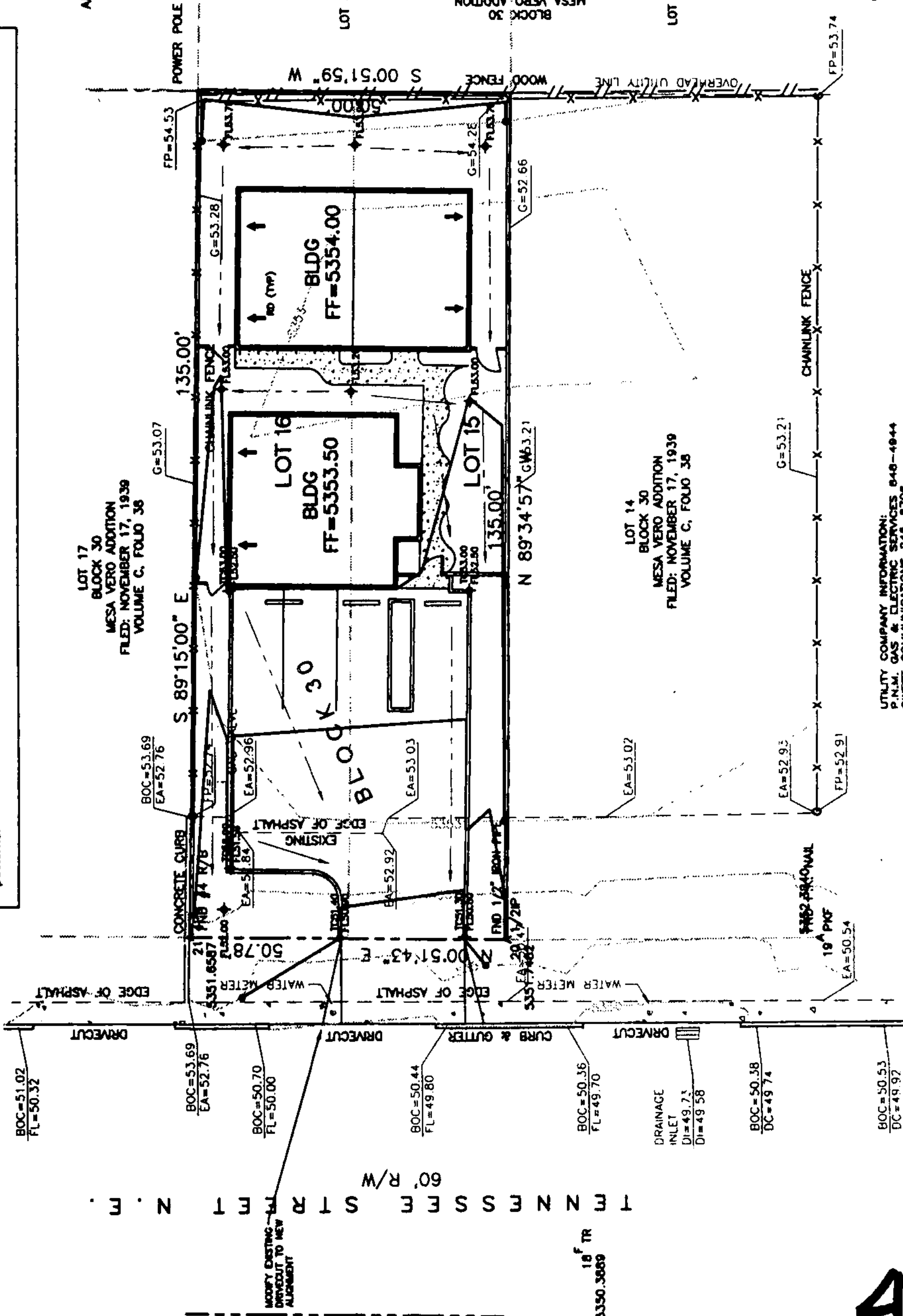
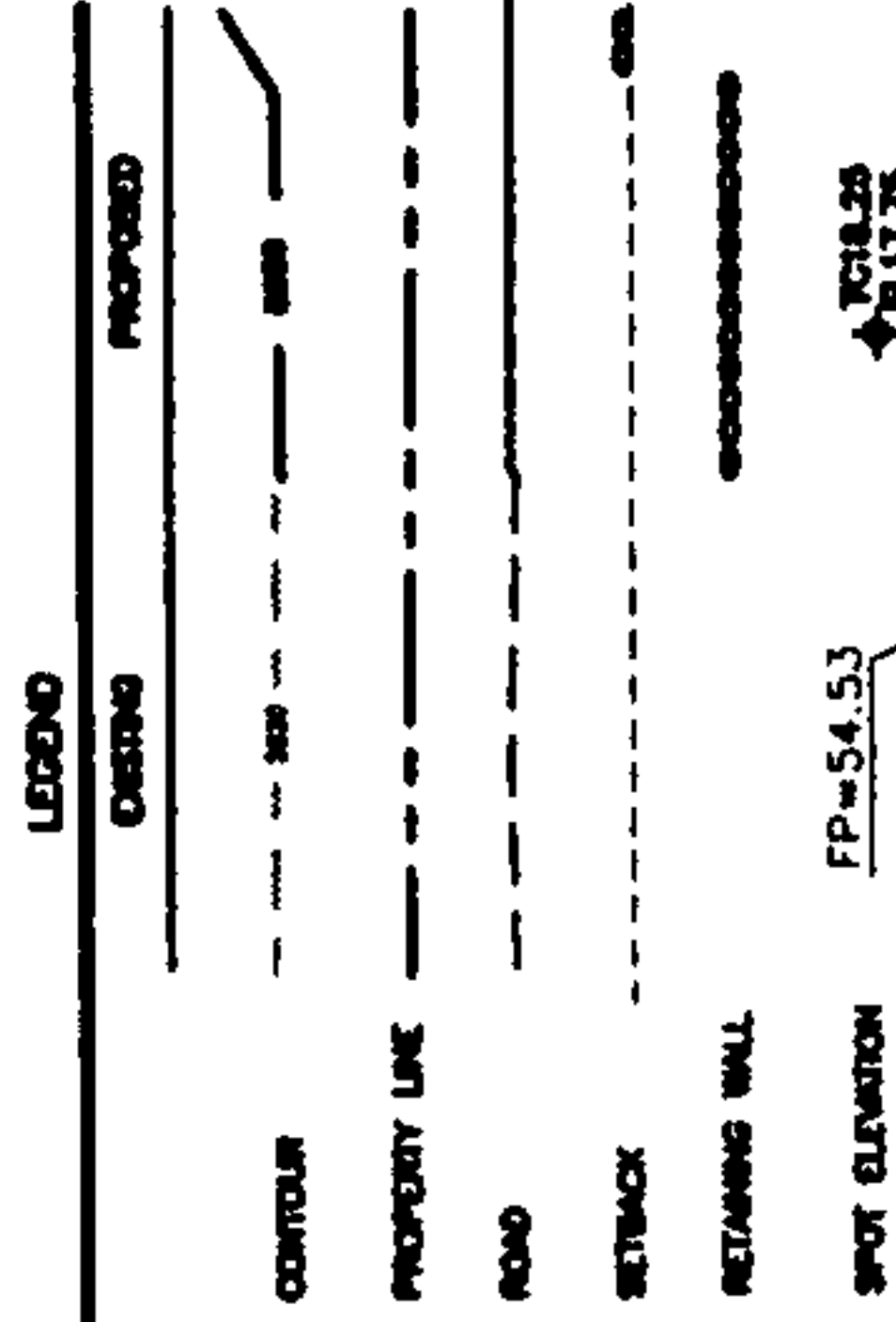


FEMA FLOODWAY MAP PANEL #358 VICINITY MAP ZONE ATLAS: K-19

LOTS 15 & 16

BLOCK 30
MESA VERDE ADDITION

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ADDRESS: 424 TENNESSEE STREET NE



7-31-06



GRAPHIC SCALE



UTILITY COMPANY INFORMATION:
GAS & ELECTRIC SERVICES 848-4844
CABLE TELEVISION 243-8706
COMCAST CABLE 781-6273

CITY OF ALBUQUERQUE, BERNALILLO COUNTY	NEW MEXICO
LOTS 15 & 16, BLOCK 30	MESA VERDE ADDITION
SAMANA - TOWNHOUSE PROJECT GRADING & DRAINAGE	
McDowell Engineering Inc.	
Drawn by: JAM	Checked by: JAM
Scale: 1" = 10' - 0"	Date: JULY 2006
Sheet: 1	of 1

31-Jul-06

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$$7 * \text{SQR}((N * N) + (5 * N))$$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.01	0.06
Treatment C	0.00	0.00
Treatment D	0.15	0.10
Total (acres) =	0.16	0.16

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.03	0.02	0.02	0.01	0.01	0.01
Volume (cubic feet) =	1,318	1,057	830	623	487	336

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.03	0.16	0.01	0.07	0.00	0.01
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.75	0.50	0.51	0.34	0.31	0.20
Total Q (cfs) =	0.78	0.66	0.52	0.41	0.31	0.22

FREE DISCHARGE - DECREASED RUNOFF

McDowell Engineering, Inc.

7820 Beverly Hills Ave. NE

Albuquerque, NM 87122

Tele: 505-828-2430

Fax: 505-821-4857

LETTER OF TRANSMITTAL

TO:

Brad Bingham

CSA - Hydrology

DATE:

8-1-06

PROJ. #:

RE:

SANATA TOWNHOMES PROJECT

WE ARE SENDING YOU: ☒ Attached ☐ Under Separate Cover via delivery the following items:

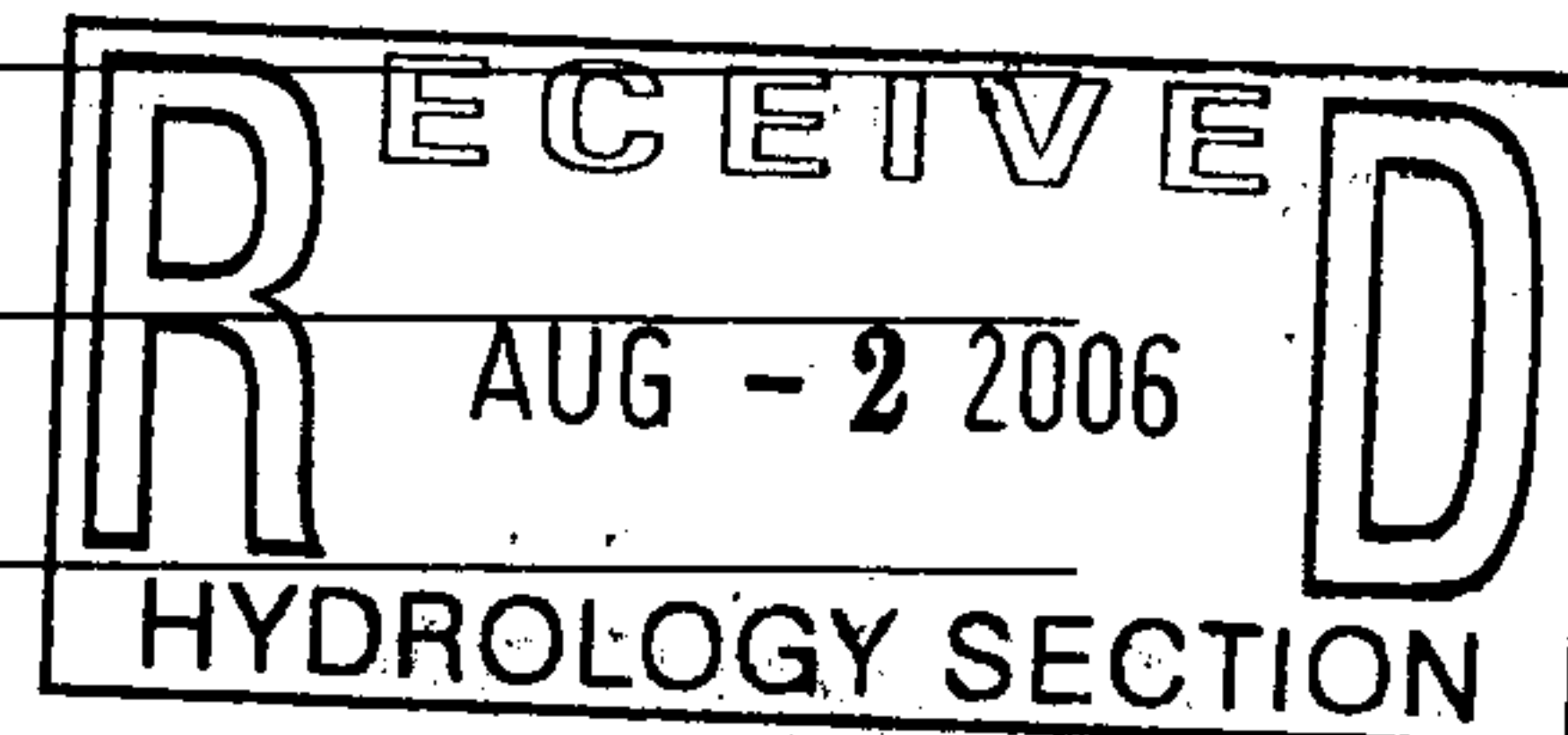
COPIES	DATE	DESCRIPTION
<u>1</u>	<u>7/31</u>	<u>Grading & Drainage Plan w/</u>
		<u>Attachment No. 1 - Calculations</u>
<u>1</u>		<u>Information Sheet w/ \$150⁰⁰ Fee</u>

THESE ARE TRANSMITTED as check below:

☒ For Approval ☐ For Your Use ☐ As Requested ☐ For Review & Comment

☐ Other _____

REMARKS: _____



COPY TO:

for / owner

SIGNED:

Jackie S. McDowell

Jackie S. McDowell, P.E.

If enclosures are not as noted, kindly notify us at once.