

DRAINAGE INFORMATION SHEET

PROJECT TITLE: AFD #5 ZONE ATLAS/DRNG.FILE #: K-19/D86

LEGAL DESCRIPTION: Lots 9, 10 & 11, Kay Addition, Block 4.

CITY ADDRESS: 123 Dallas NE

ENGINEERING FIRM: Chavez Grieres

CONTACT: Jackie McDowell

ADDRESS: 4600 C Montgomery

PHONE: 881-7376

OWNER: City of Albuquerque

CONTACT: _____

ADDRESS: _____

PHONE: _____

ARCHITECT: Pugh & Assoc.

CONTACT: Toby Pugh

ADDRESS: 301 Gold Ave SW #202

PHONE: 242-7572

SURVEYOR: City of Albug.

CONTACT: LaMonte Urban

ADDRESS: _____

PHONE: _____

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

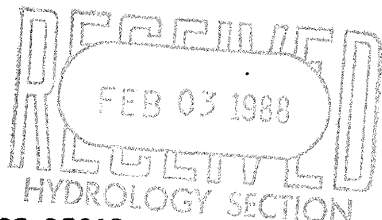
PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 2/1/88 2/3/88

BY: Jackie S. McDowell

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER

GENE ROMO

DEPUTY CAO
PUBLIC SERVICES

FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT

BILL MUELLER

February 8, 1988

Victor Chavez, P.E.
Chavez-Grieves Consulting Engineers
4600-C Montgomery Boulevard, NE
Albuquerque, New Mexico 87109

RE: DRAINAGE PLAN FOR ADDITION TO ALBUQUERQUE FIRE DEPARTMENT #5
(K-19/D86) ENGINEER'S STAMP DATED FEBRUARY 1, 1988

Dear Mr. Chavez:

Based on the information provided on your submittal of February 3, 1988,
the above referenced plan is approved for Building Permit.

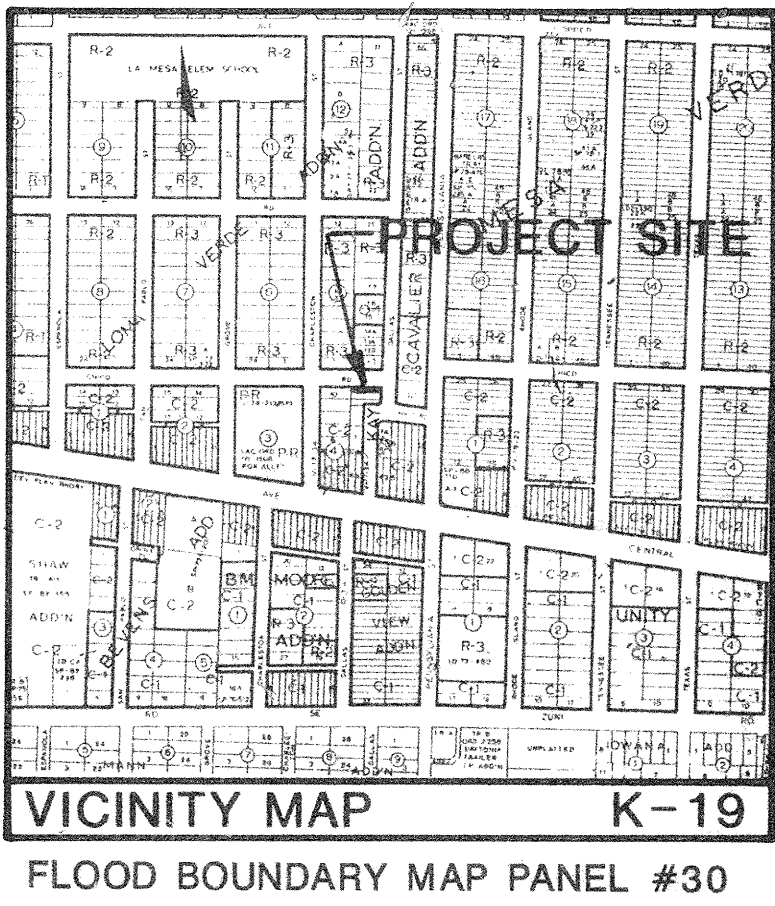
Please attach a copy of this plan to the construction sets prior to
sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at
768-2650.

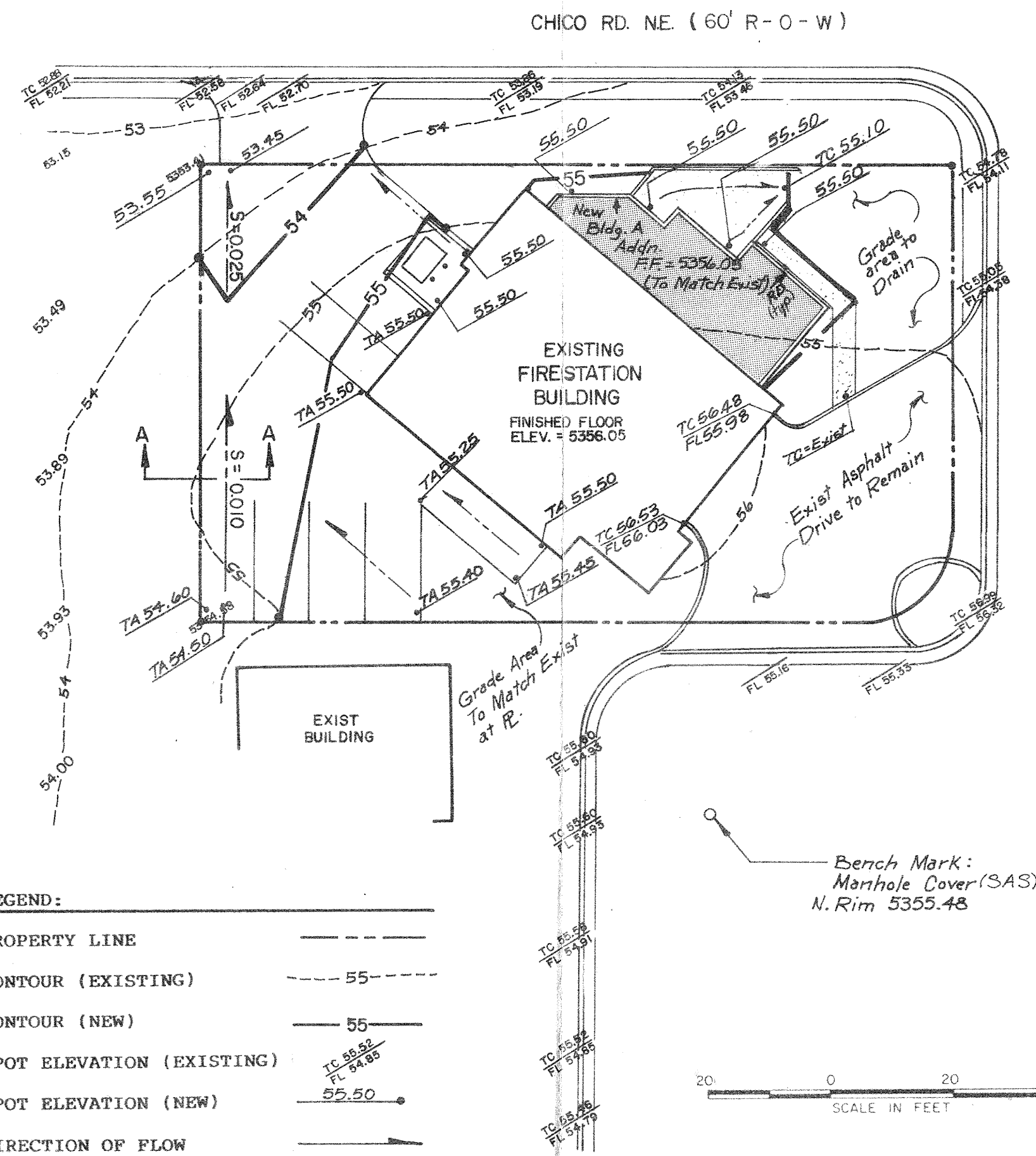
Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj



FLOOD HAZARD BOUNDARY MAP / PANEL NO. 30



GRADING AND DRAINAGE PLAN

1"=20'

DRAINAGE PLAN

APD #5 BUILDING ADDITION

LOCATION AND EXISTING CONDITION:

The site is located at the southwest corner of the intersection of Chico Road and Dallas Street NE containing approximately 0.2106 acres. The site is currently developed and slopes from the center building location to bounding streets. According to FEMA Flood Maps dated October, 1983, Chico Road and Dallas Street are in 100 year flood zones. This flood zone may have been eliminated with the construction of storm sewer system #205-02A. The construction of system #203-02A will eliminate flooding in these streets.

The existing finished floor elevation of the building is approximately 2.8 feet higher than the flow line elevation in Chico Road.

PROPOSED CONDITION:

Proposed development of the site includes a 695 square foot addition to the existing building with associated parking and landscaping. Additional runoff due to the new development will not be controlled since the amount is negligible.

CALCULATIONS:

Area = 0.2106 acres
I = 2.35 in./hr. Plate 22.2 D-2
6-hour, 100-year rainfall = 2.2 in. Plate 22.2 D-1
i = (2.35) (2.2) = 5.17 in./hr.

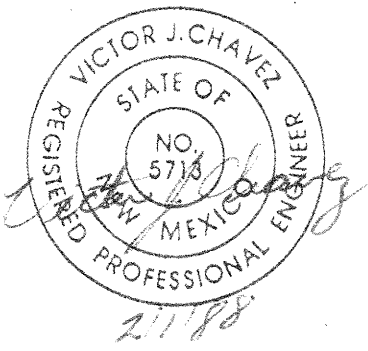
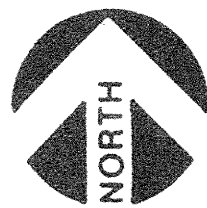
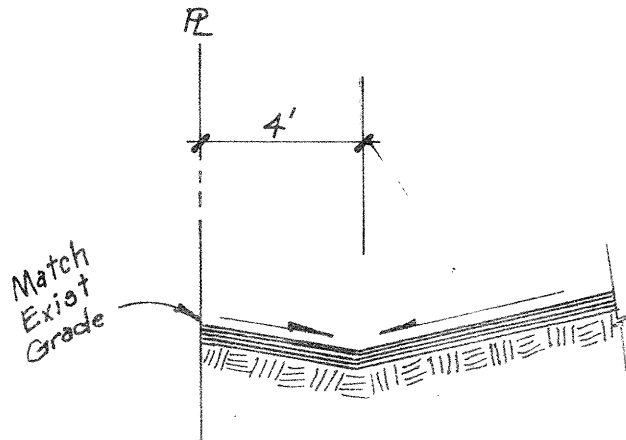
EXISTING ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	0.03	0.03	
Gravel/Dirt Parking	0.85	0.08	0.07	
Roofs	0.90	0.06	0.05	
Lawns & Landscaping	0.25	0.04	0.01	
Undeveloped	0.40	0	0	
TOTAL		0.21	0.16	0.76
Q(100) = (0.76)(5.17)(0.2106) = 0.83 cfs				
Q(10) = (0.657)(0.83) = 0.54 cfs				
CN = 88 Plate 22.2 C-2				
Direct Runoff = 1.3 in. Plate 22.2 C-4				
V(100) = (1.3)(0.2106)(43560)/12 = 994 cu. ft.				
V(10) = (0.657)(994) = 653 cu. ft.				

PROPOSED ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	0.11	0.10	
Roofs	0.90	0.07	0.06	
Lawns & Landscaping	0.25	0.03	0.01	
Undeveloped	0.40	0	0	
TOTAL		0.21	0.17	0.81

Q(100) = (0.81)(5.17)(0.2106) = 0.88 cfs
Q(10) = (0.657)(0.88) = 0.58 cfs
CN = 92 Plate 22.2 C-3
Direct Runoff = 1.4 in. Plate 22.2 C-4
V(100) = (1.4)(0.2106)(43560)/12 = 1070 cu. ft.
V(10) = (0.657)(1070) = 703 cu. ft.



NOTICE TO CONTRACTOR:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986" (COA STDN).
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEEPENED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- CURB AND GUTTER SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL PROVIDE 12" SUB-GRADE PREPARATION UNDER ALL NEW PAVEMENT, CURBS AND GUTTERS, VALLEY GUTTERS AND CONCRETE FILLETS.
- WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT, AND MATCH NEW TO EXISTING.

BENCH MARK:

ACS BM "6-K19, 1974" THE STATION IS LOCATED ON THE WEST MEDIAN OF THE INTERSECTION OF CENTRAL AVENUE AND PENNSYLVANIA STREET. THE STATION IS A BRASS CAP SET IN CONCRETE IN THE GROUND AT THE MEDIAN NOSE. THE NAVD 1929 DATUM ELEVATION = 5358.443 FEET.

SURVEY INFORMATION:

SURVEY INFORMATION PROVIDED BY THE CITY OF ALBUQUERQUE CHIEF CITY SURVEYOR, LA MONTE J. URBAN.

LEGAL DESCRIPTION:

LOTS 9, 10 AND 11 OF THE KAY ADDITION.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect whether the Project for which they are made is executed or not. The Drawings and Specifications shall not be used on other Projects, for additions to this Project, or for completion of this Project by others, except by agreement in writing and with appropriate compensation to the Architect.

PUGH & ASSOCIATES, AIA
ARCHITECTURE AND PLANNING
301 GOLD AVENUE SW, SUITE 202 / P.O. BOX 1247
ALBUQUERQUE, NEW MEXICO 87103 (505) 242-7572

DATE
REVISIONS

SHEET OF