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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
PUBLIC SERVICES
FRANK MARTINEZ

DEPUTY CAO
PLANNING/DEVELOPMENT
BILL MUELLER

May 19, 1988

Chris Weiss, P.E.
Weiss-Hines Engineering
1100 Alvarado, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR WISCONSIN STREET APARTMENTS
(K-19/D89) REVISION BLOCK DATED MAY 13, 1988

Dear Mr. Weiss:

Based on the information provided on your resubmittal of May 13, 1988,
the above referenced plan is approved for Building Permit.

Please be advised that a separate permit is required for construction
within the City right-of-way. The contractor must have a copy of this
approved letter when applying for his excavation permit.

Please attach a copy of this plan to the construction sets prior to
sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at
768-2650.

Cordially,

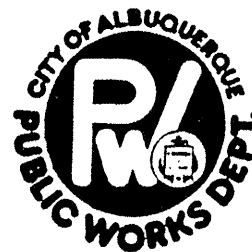
Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

BJM/bsj

xc: Becky Sandoval

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT



INTER-OFFICE CORRESPONDENCE

May 23, 1988

ENGINEERING GROUP

TO: Tom Aragon, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Group/PWD *FJA*

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
WISCONSIN STREET APARTMENTS (K-19/D89) WISCONSIN STREET, NE

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the S.O. #19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. #19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: WISCONSIN APTS. ZONE ATLAS/DRAINAGE FILE # K-19/089LEGAL DESCRIPTION: LOT 34A, BLOCK 26, MESA VERDE ADDITION

CITY ADDRESS: _____

ENGINEERING FIRM: Weiss-Hines Engineering, Inc. CONTACT: STEVE CLARKADDRESS: 1100 Alvarado N.E. PHONE: 266-3444

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☐ NO☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

DRB. NO. _____

EPC NO. _____

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAIN PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☒ Resubmittal

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☒ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY
APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVALDATE SUBMITTED: 5-13-88BY: Weiss-Hines Eng. Inc.

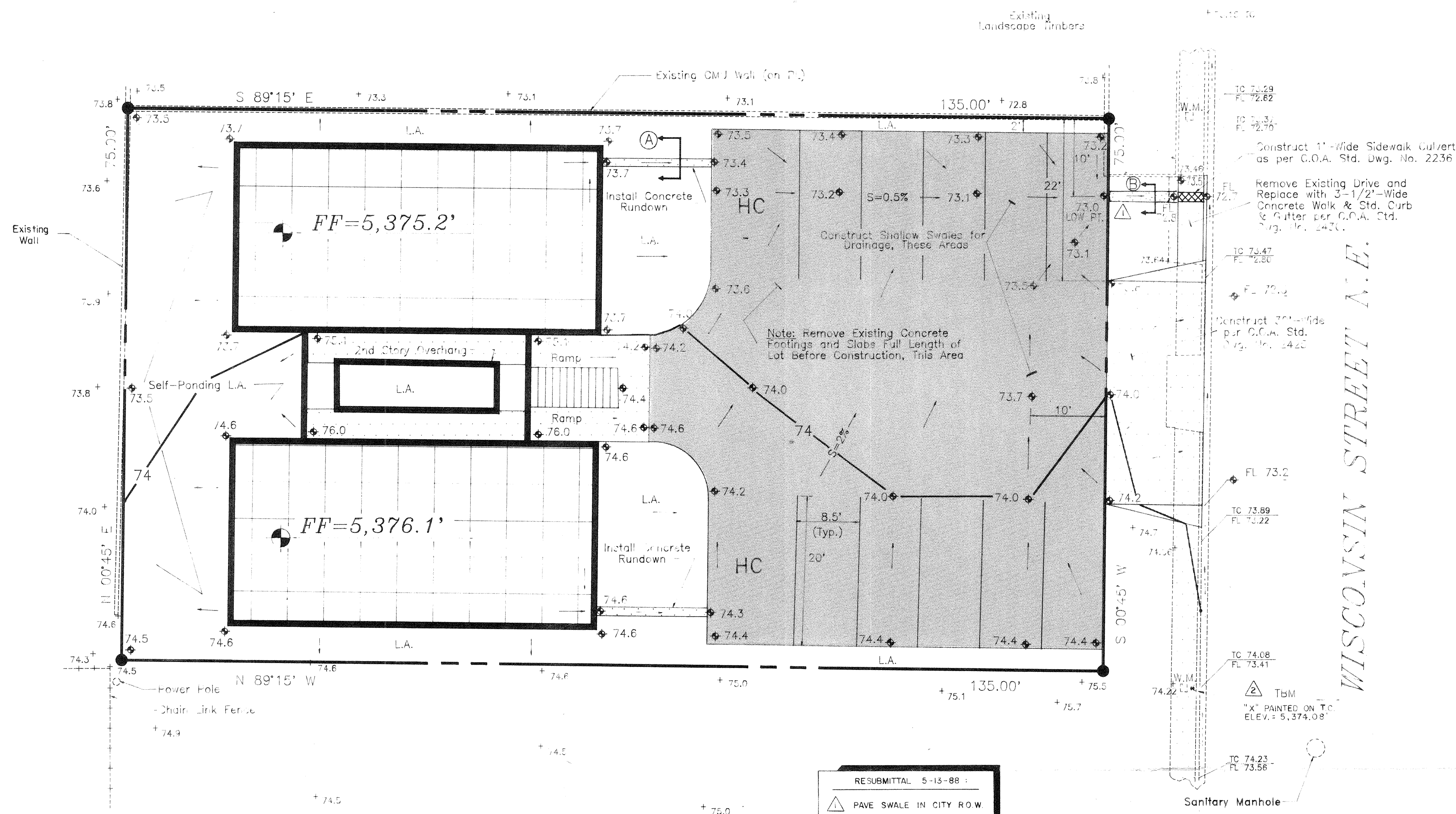
OTHER _____ (SPECIFY):

REV. 10/85

10

DATE RECEIVED _____

BY _____

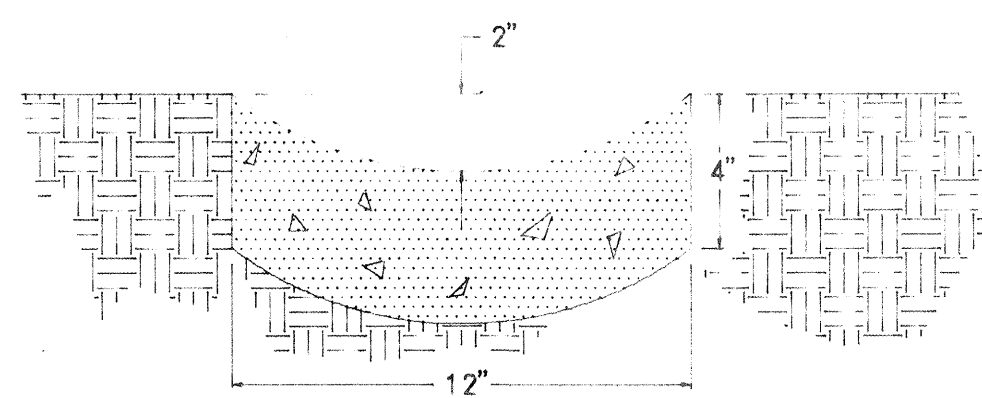


RESUBMITTAL 5-13-88
 PAVE SWALE IN CITY R.O.W.
 PAINT T.C. FOR TBM
 Chris Weiss 5-13-88
 CHRIS WEISS, P.E. DATE

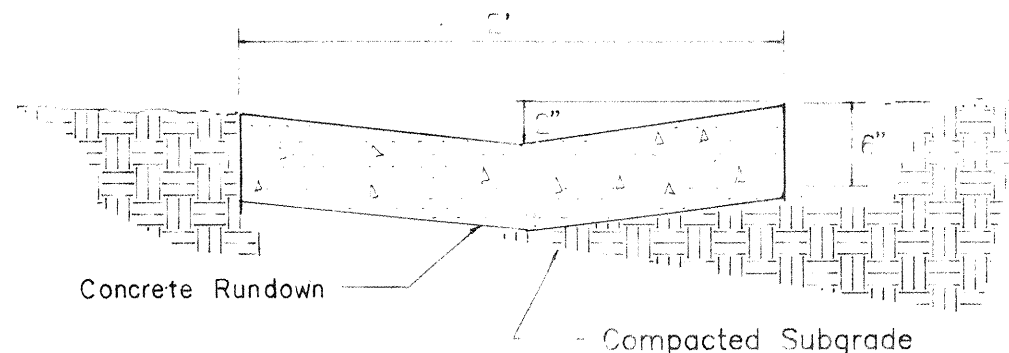
SCALE: 1" = 10'

LEGEND

	Sidewalk, Curb & Gutter (Existing, Proposed)
	Proposed Asphalt
	Building (Existing, Proposed)
	Property Line
	Existing Spot Elevations
	Proposed Spot Elevation
	Existing Contour
	Proposed Contour
	Surface Flow Direction (Existing, Proposed)
	Top of Grade Wall (< 18" High)
	Top of Retaining Wall (> 18" High)
	Top of Asphalt
	Top of Curb
	Flow Line
	Finished Floor
	Landscaped Area



SECTION A
Concrete runaway



SECTION B
Concrete runaway

NOTICE TO CONTRACTOR

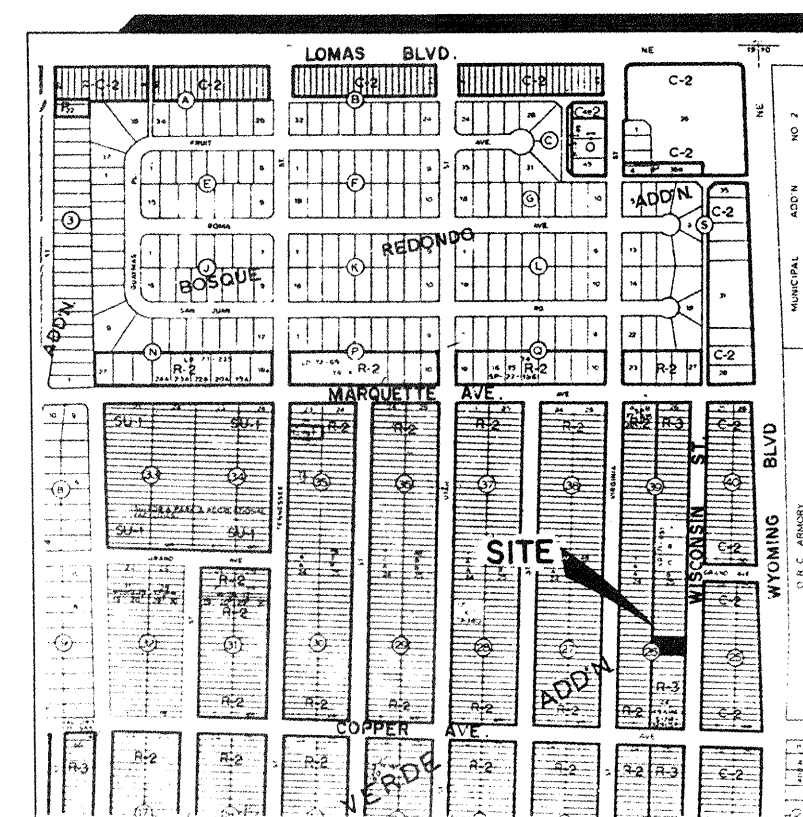
1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with Albuquerque Interim Standard Specifications for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved within a minimum amount of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for sidewalk culvert/drain.
8. Proof of acceptance will be required prior to sign off for Certificate of Occupancy (C.O.).

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

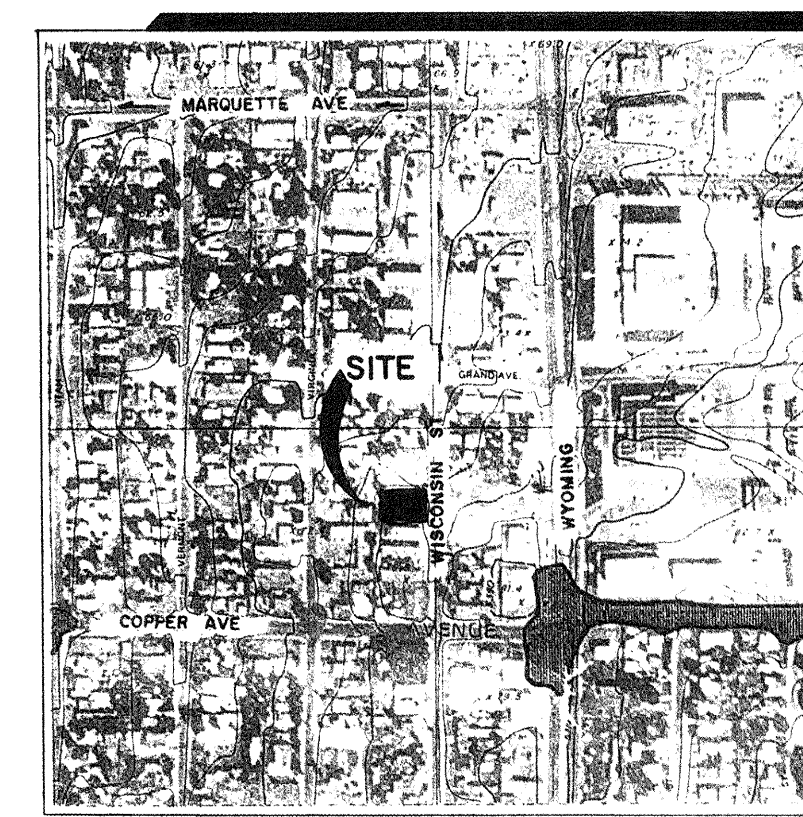
DESIGN APPROVAL: *Chris Weiss* 5/19/88 Date

INSPECTION APPROVAL: Construction Section Date

ACCEPTANCE: Construction Section/Permits Date



VICINITY MAP K-19



FLOOD HAZARD MAP

SCOPE:

The proposed improvements are comprised of two four-plex apartment buildings (2,500 SF total), a 4,000 SF asphalt parking area and associated walks and landscaped areas.

The present site is unimproved vacant land sloping at less than 1% from the front (Wisconsin Street N.E.) west to the back of the property. A concrete block wall sits on the north and west property lines. Several concrete footing and slab remnants are scattered across the site.

The intent of this plan is to show:

- a) Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- b) The extent of proposed site improvements, including buildings, walks and pavement.
- c) The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City requirements for drainage management.
- d) The relationship of onsite improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

DRAINAGE PLAN CONCEPT:

Sufficient downstream capacity in the City's storm sewer system was determined during a predesign conference with City Hydrology. Free discharge of storm flows into Wisconsin Street N.E. is allowed. The site will drain from southwest to northeast and discharge through a concrete sidewalk culvert into the street near the northeast corner of the property.

GENERAL NOTES:

LEGAL: Lot 34-A, Block 26, Mesa Verde Addition, Albuquerque, New Mexico.

SURVEYOR: Gordon J. Douglas & Associates, 126 Washington S.E., Albuquerque, New Mexico, April, 1988.

B.M.: ACS Brass Cap '2-119' located in the northwest quadrant of the intersection of Lomas Blvd. and Utah Street N.E. Elevation = 5,350.124'.

T.B.M.: "X" painted on top of curb near southeast corner of property. Elevation = 5,374.08'.

SOILS: Per SCS Soil Survey for Bernalillo County (Map 31), the soil type is TgB (Tijeras gravelly fine sandy loam) and is classified as Hydrologic Soil Type 'B'.

FLOOD HAZARD: Per FEMA Flood Boundary Map (Panel 30), the site is not located in a flood hazard zone.

OFF-SITE DRAINAGE: No significant flows from the developed properties to the north, west or south affect the site. Wisconsin Street N.E. is adjacent to the east side of the site.

EROSION CONTROL: Any sediment generated during construction shall be retained on-site by means of a 1'-high temporary earth berm constructed along the east property line.

CALCULATIONS: Calculations are based on the City of Albuquerque D.P.M. Manual, Vol. II for the 100-year, 6-hour storm, using the Rational Formula to compare the existing and proposed runoff rates.

RATIONAL METHOD- Q = CIA

Area of site: 10,125 SF = 0.232 AC

Run-off Coefficient:

Existing site:

Undeveloped Area = 10,125 SF

$C_u = \frac{(10,125)(0.40)}{10,125} = 0.40$

Composite C = 0.40

Developed Site:

Roof Area = 2,800 SF

Landscaped Area = 3,100 SF

Paved Area = 4,225 SF

$C_u = \frac{(2,800)(0.90)}{10,125} = 0.25$

$C_u = \frac{(3,100)(0.25)}{10,125} = 0.08$

$C_u = \frac{(4,225)(0.95)}{10,125} = 0.40$

Composite C = 0.73

Rainfall Intensity:

$I = P_r (6.84) R^{-0.01} = 5.07$ per hour

where $P_r = 2.4$ (DPH 22.2 D-1)

$T_c = 10$ minutes

Existing Condition:

$Q_{100} = (0.40)(5.07)(0.232) = 0.5$ cfs

$V_{100} = (0.40)(2.4)(10,125)/12 = 810$ CF

Developed Condition:

$Q_{100} = (0.73)(5.07)(0.232) = 0.9$ cfs

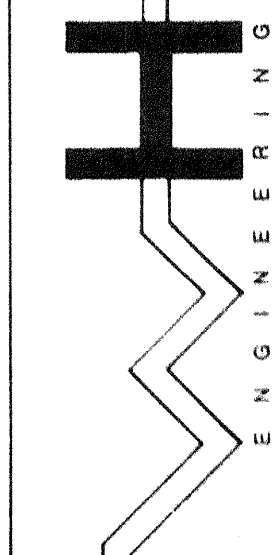
$V_{100} = (0.73)(2.4)(10,125)/12 = 1,480$ CF

SUMMARY:

$Q_{100} = (0.9)-(0.5) = 0.4$ cfs (increase)

$V_{100} = (1,480)-(810) = 670$ CF (increase)

WISCONSIN STREET APTS. GRADING/DRAINAGE PLAN



CHRISTOPHER L. WEISS
 P.E.
 MAY 13 1988
 HYDROLOGY SECTION
 SHEET 1 OF 1

WEISS-HINES ENGINEERING INC.
 1100 ALVARADO N.E. SUITE B
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 266-3444
 REVISIONS DATE
 DESIGNED SC 4-88
 DRAWN KS/SC 4-88
 CHECKED CW 5-88