



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 11, 1991

Philip W. Clark
Technical Management Services Company
5905 Marble, NE Suite #3
Albuquerque, New Mexico

RE: DRAINAGE PLAN FOR VANTASTIC VANS (K-19/D96)
ENGINEER'S STAMP DATED OCTOBER 3, 1991

Dear Mr. Clark:

Based on the information provided on your submittal of October 3, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, no developed runoff is allowed across a public sidewalk, runoff must exit site through an approved drive pad.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj
(WP+2964)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Vantastic Vans ZONE ATLAS/DRNG. FILE #: K-19/? D96
 DRB #: N/A EPC #: N/A WORK ORDER #: N/A
 LEGAL DESCRIPTION: LOTS 15-20 & 31-36, Bl. 40, Mesa Verde Add'n.
 CITY ADDRESS: 525 Wyoming, N.E.
 ENGINEERING FIRM: Tech. Mgmt Services Co. CONTACT: Phil Clark
 ADDRESS: 5905 Marble N.E., Ste. 3, 87110 PHONE: 262-1755
 OWNER: Vantastic Vans CONTACT: _____
 ADDRESS: 525 Wyoming, N.E. 87108 PHONE: 268-5009
 ARCHITECT: del Paul Jack CONTACT: del Paul Jack
 ADDRESS: P.O. Bx 7412, City 87194 PHONE: 345-5090
 SURVEYOR: Same as Eng'g firm CONTACT: Phil Turner/Gene Romero
 ADDRESS: _____ PHONE: 262-1755
 Developer: Wilton & Assoc. CONTACT: Bill Wilton
 CONTRACTOR: _____ PHONE: 888-7373
 ADDRESS: 1202 Clancy N.E., 87112

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

BY:

SEP

OCT

10/3/91

2 prints each, transmitted

Address 2020 SOUTH PLAZA NW Engr/Arch _____

Plans Approved 4-23-92 _____ Cond. _____

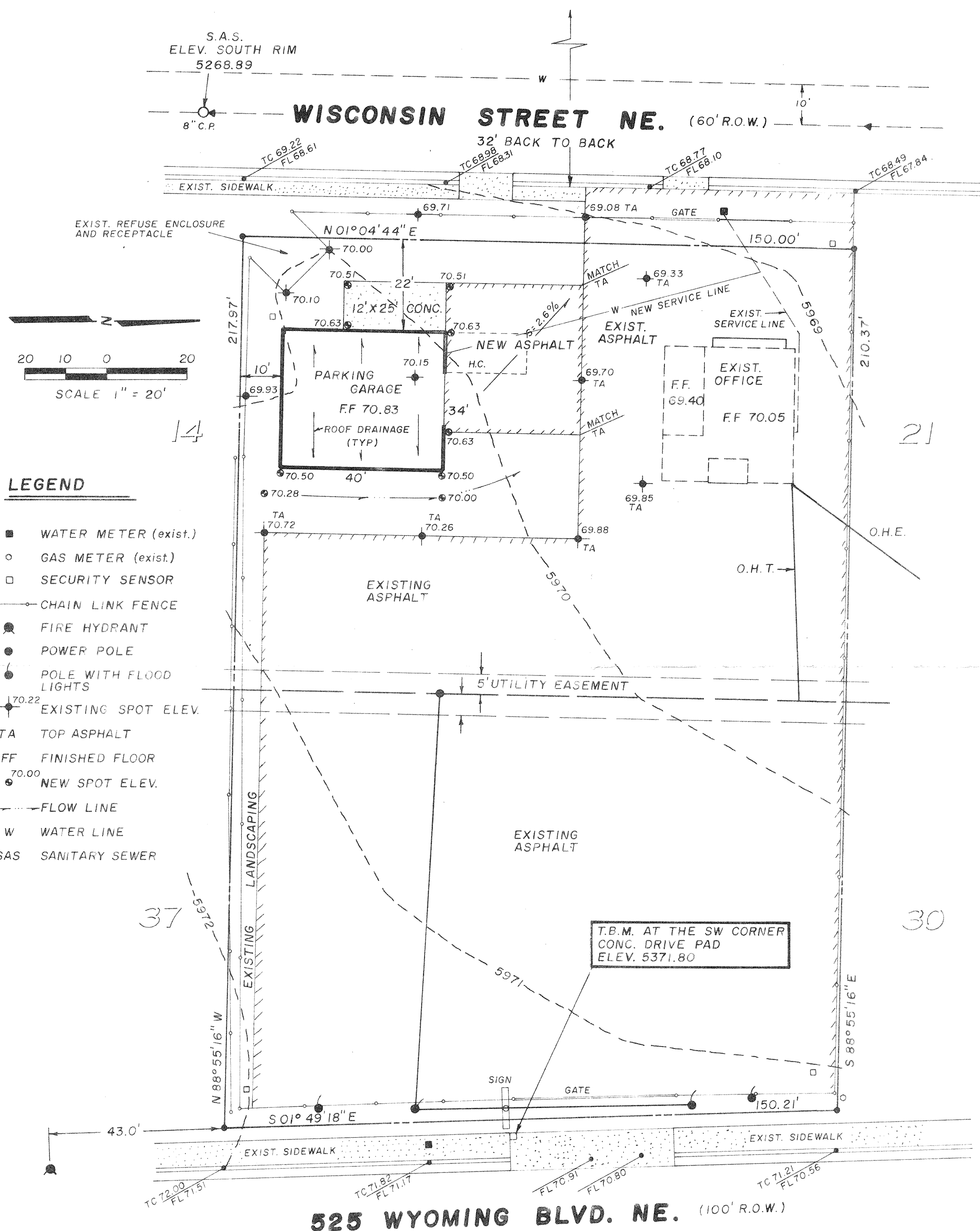
Comments: J-13 ADDITION TO BLDG

ON SOUTH SIDE,

Inspection Requested _____ Contractor _____

Appr. _____ Disappr. _____ 30 Day Temp. _____

Comments: _____



GRADING AND DRAINAGE PLAN

THE PROPOSED PARKING GARAGE ADDITION IS LOCATED IN NORTHEAST ALBUQUERQUE APPROXIMATELY 5.7 MILES EAST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NEW MEXICO. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STORM DRAINAGE, FLOOD AND EROSION CONTROL ORDINANCE. THE PLAN IS REQUIRED TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PROPOSED PLAN SHOWS:

- 1.) EXISTING CONTOURS WITH EXISTING AND NEW SPOT ELEVATIONS.
- 2.) PROPOSED IMPROVEMENTS: GARAGE (PRE-ENGINEERED METAL BUILDING), ASPHALT AND CONCRETE PAVING.
- 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- 4.) QUANTIFICATION OF SITE FLOWS WHICH CONTRIBUTE TO THE EXISTING DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS. THE PLAN DETERMINES THE RUNOFF RESULTING FROM THE 100 YEAR/6 HOUR DURATION AND 10 YEAR/6 HOUR STORMS FOR BOTH EXISTING AND PROPOSED CONDITIONS.

THE SITE IS WITHIN AN ESTABLISHED URBAN INFILL AREA AND IS ZONED C-2. IT IS BOUNDED ON THE SOUTH AND NORTH BY EXISTING COMMERCIAL PROPERTY AND ON THE EAST AND WEST BY IMPROVED STREETS, WYOMING BOULEVARD AND WISCONSIN STREETS RESPECTIVELY. THE SITE GENERALLY FALLS FROM SOUTHEAST TO NORTHWEST AT APPROXIMATELY 1.0 PERCENT.

HISTORICAL SITE RUN-OFF OUTFALL LOCATIONS WILL REMAIN ESSENTIALLY UNCHANGED. FREE DISCHARGE OF STORM RUN-OFF IS ACCEPTABLE SINCE THE SITE IS LOCATED IN AN ESTABLISHED URBAN AREA AND STREET CAPACITY EXISTS DOWNSTREAM. HYDROLOGIC PROCEDURES AND CALCULATIONS ARE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 11, CHAPTER 22.

ENGINEER'S CERTIFICATION

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND NOR ANY OTHER DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK N.M.P.E. #10265

FEMA FLOOD PLAIN MAP

SCALE: 1" = 500'
PANEL 30

CALCULATIONS

I. DESIGN CRITERIA

HYDROLOGIC METHODS AS OUTLINED IN CHAPTER 22, VOL. II., OF THE DEVELOPMENT PROCESS MANUAL (DPM) & EMERGENCY RULE DISCHARGE RATE: $Q = CIA$...RATIONAL METHOD VOLUMETRIC DISCHARGE: $VOL. = R.O. \times A$...SCS METHOD AS OUTLINED IN DPM

$P_{100} = 2.6$ IN.
 $I = P_{6.84TC} \times 0.51$
 $TC = 0.0078 L^{0.77} \div S^{0.385}$
 $'C'_{roof} = 0.90; 'C'_{pav.} = 0.95; 'C'_{undev.} = 0.40; 'C'_{L.S.} = 0.25$

II. EXISTING CONDITIONS

$A = 0.74$ AC.
 $I_{100} = 5.50$ IN/HR.
 $C = 0.81$
 $Q_{100} = 3.3$ CFS
 $VOL_{100} = 4298$ C.F.

$R.O. = 1.6$ IN., 100-YR.
 $TC = 10$ MIN.
 $CN = 89$
 $Q_{10} = 2.2$ CFS
 $VOL_{10} = 1719$ C.F.

III. DEVELOPED CONDITIONS

$A = 0.74$ AC.
CALCULATE COMPOUND $'C'$ & CN :
PAVEMENT = 0.62 AC., $'C' = 0.95$; $CN = 95$
ROOF = 0.06 AC., $'C' = 0.90$; $CN = 95$
L.S. = 0.05 AC., $'C' = 0.25$; $CN = 61$
UNDEV. = 0.01 AC., $'C' = 0.40$; $CN = 70$
0.74 AC.

$'CC' = 0.89$
COMPOUND $CN = 92$ R.O. = 1.80
 $Q_{100} = 3.6$ CFS
 $VOL_{100} = 4835$ C.F., $VOL_{10} = 1934$ C.F.

VICINITY MAP

ZONE MAP K-19
N.T.S.

GENERAL INFORMATION

LEGAL DESCRIPTION:

LOTS 15-20 AND LOTS 31-36, BLOCK 40, MESA VERDE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PROJECT BENCHMARK:

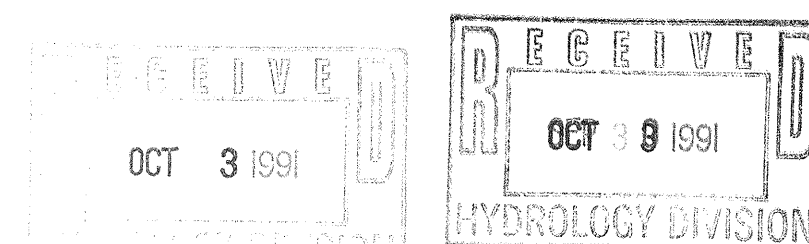
ALBUQUERQUE CONTROL SURVEY BENCHMARK 4-J19, A 2" ALUMINUM DISK SET IN THE TOP OF CURB AT THE NORTH-NORTHWEST CURB RETURN OF THE INTERSECTION OF LOMAS AND WYOMING BOULEVARDS. ELEVATION = 5362.15.

PROPERTY ADDRESS:

525 WYOMING BOULEVARD, NORTHEAST, ALBUQUERQUE, NEW MEXICO.

TOPOGRAPHIC SURVEY:

TOPOGRAPHIC INFORMATION COMPILED FROM SURVEY PERFORMED ON SEPTEMBER 25, 1991, BY TECHNICAL MANAGEMENT SERVICES COMPANY (P.S. #10204).



Technical Management Services Co. Professional Engineering and Surveying Services Indian Owned Economic Enterprise 2901 Marikita Pk. Suite 3 Albuquerque, New Mexico 87110 (505) 262-1755 Fax (505) 262-1757		
DATE REVISION DESIGNED BY G.R. CHECKED BY P.W.C.	DRAWN BY G.R. DATE 10-03-91 TMS JOB NO. 91-152 FILE NO. P-15-90	
VANTASTIC VANS GRADING & DRAINAGE PLAN		SHEET 1 OF 1