

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 11, 1991

Philip W. Clark Technical Management Services Company 5905 Marble, NE Suite #3 Albuquerque, New Mexico

> RE: DRAINAGE PLAN FOR VANTASTIC VANS (K-19/D96) ENGINEER'S STAMP DATED OCTOBER 3, 1991

Dear Mr. Clark:

Based on the information provided on your submittal of October 3, 1991, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

Also, no developed runoff is allowed across a public sidewalk, runoff must exit site through an approved drive pad.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.

Engineering Assistant

xc: Alan Martinez

BJM/bsj (WP + 2964)

PUBLIC WORKS DEPARTMENT

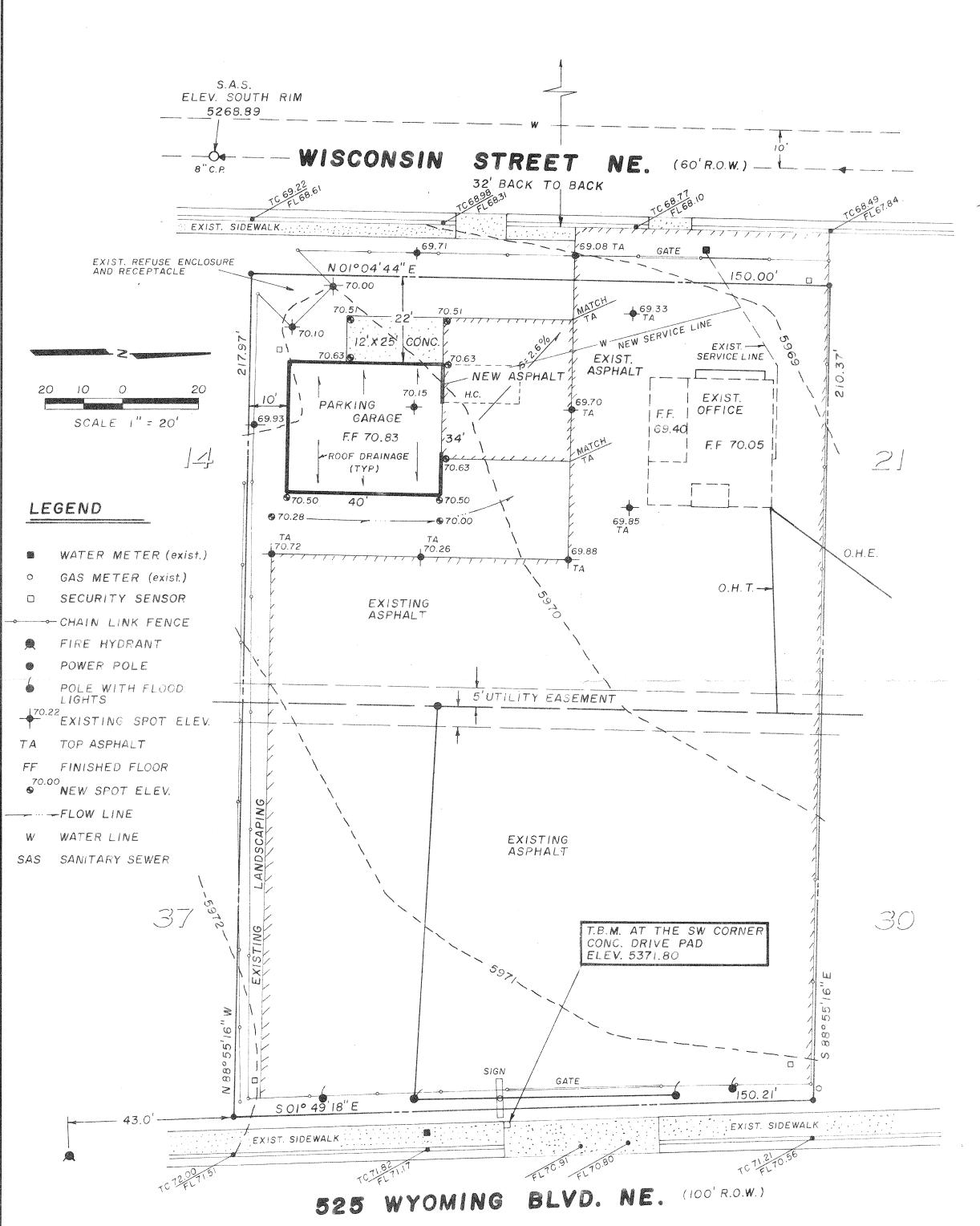
Walter H. Nickerson, Jr., P.E. Assistant Director Public Works **ENGINEERING GROUP**

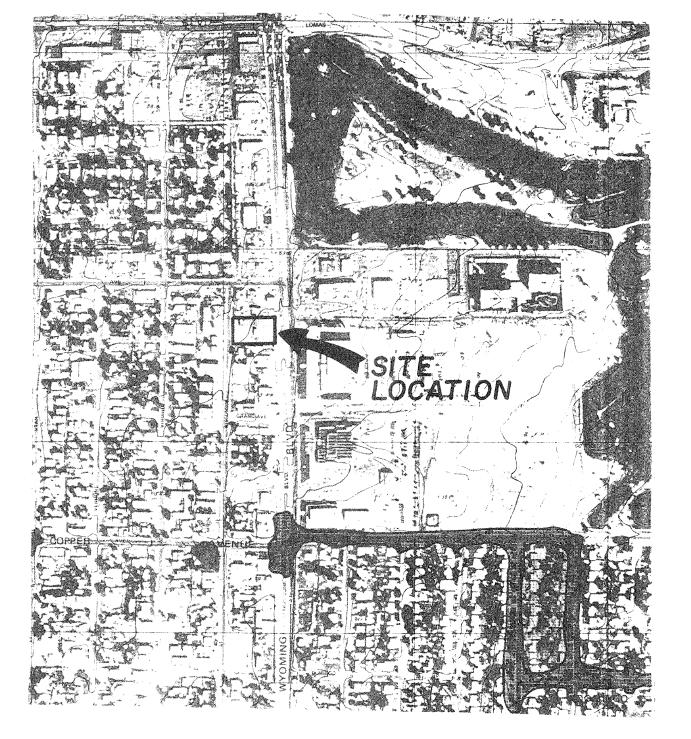
Telephone (505) 768-2500

DRAINAGE INFORMATION SHEET

DEB 9: M/A DESCRIPTION: 1075 15-20 \$ 31-36 \$6 \$60, Mess Verde Add'n. CITY ADDRESS: 525 Wyenning, M.E. ENGINEERING FIRM: Tech Mam? Services Co. CONTACT: Phil Clark ADDRESS: 5905 Marble M.E. Ste. 3, 2710 PHONE: 262-7255 OWNER: Vantastic Vans ADDRESS: 525 Wyenning, M.E. 87108 PHONE: 268-5007 ARCHITECT: 66 Paul Jack ADDRESS: 526 Myenning, M.E. 87108 PHONE: 345-5070 ARCHITECT: 66 Paul Jack CONTACT: 66 Paul Jack ADDRESS: 70 Bx 7412, Cit, 87194 PHONE: 345-5070 SURVEYOR: 50me as Coging Miner ADDRESS: PHONE: 262-7255 Developed: Wilton 3 Assoc. CONTACT: Bull Wilton ADDRESS: Doz Clancy M.E. 87112 DRAINAGE REPORT DRAINAGE REPORT DRAINAGE REPORT DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE FLAN ENGINEER'S CERTIFICATION OTHER PRE-DESIGN MEETING: CRESTIFICATION COPY PROVIDED DATE SUBMITTED: 2 PANTAGE REPORT PROVIDED SALINAGE REPORT FINAL PLAT APPROVAL SECOR PLAN FOR SUB'D, APPROVAL SECOR PLAN FROM APPROVAL SECOR PLAN APPROVAL SECO	PROJECT TITLE: <u>Vantastic Vans</u> ZON	E ATLAS/DRNG. FILE #: K-19/ ? D96		
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ENGINEERING FIRM: Tech Mamil Sevices Co. ADDRESS: \$705 Marble M.E., \$40.3, \$2700 ADDRESS: \$25. Myoning, M.E. \$7000 ARCHITECT: \$\frac{1}{2} \frac{1}{2} \frac{1}	LEGAL DESCRIPTION: <u>LOTS 15-20 € 31-36, B</u>	V. 40, Mesa Verde Add'n.		
ADDRESS: 525 Nacht ME, Ste 3, 8210 PHONE: 262-1755 OWNER: Vantastic Vans ADDRESS: 525 Nyoman, ME 87108 ARCHITECT: del Paul Jack ADDRESS: Ro. Bx 7412 Cit, 87194 ADDRESS: Ro. Bx 7412 Cit, 87194 PHONE: 345-5070 CONTACT: Pail Turner (Geng Romer) ADDRESS: PHONE: 242-1755 Developed: Wilton & Assoc. Contact: Jul Wilton ADDRESS: Doz Glancy M.E. 87112 DRAINAGE REPORT DRAINAGE REPORT DRAINAGE REPORT CONCEPTUAL GRADING & DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN ERGSION CONTROL PLAN ERGSION CONTROL PLAN ENGINEER'S CERTIFICATION OTHER PRE-DESIGN MEETING: TES GRADING PERMIT APPROVAL FUNDATION PERMIT APPROVAL COPY PROVIDED COPY PROVIDED COPY PROVIDED COPY PROVIDED COPY PROVIDED COPY PROVIDED CONTACT: APPROVAL CONTACT: APPROVAL CONTACT: APPROVAL CONTACT: APPROVAL CONTACT: APPROVAL FUNDATION PLAN SUB'D. APPROVAL FUNDATION PERMIT APPROVAL CERTIFICATE OF GCCUPANCY APPROVAL COPY PROVIDED COPY PRO	CITY ADDRESS: 525 Wyoming, Kl. E.	•		
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FEMA FLOOD PLAIN MAP

SCALE: I" = 500' PANEL 30

THE PROPOSED PARKING GARAGE ADDITION IS LOCATED IN NORTHEAST ALBUQUERQUE APPROXIMATELY 5.7 MILES EAST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NEW MEXICO. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STORM DRAINAGE, FLOOD AND EROSION CONTROL ORDINANCE. THE PLAN IS REQUIRED TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PROPOSED PLAN SHOWS:

GRADING AND DRAINAGE PLAN

- 1.) EXISTING CONTOURS WITH EXISTING AND NEW SPOT ELEVATIONS.
- PROPOSED IMPROVEMENTS: GARAGE (PRE-ENGINEERED METAL BUILDING), ASPHALT AND CONCRETE PAVING.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION OF SITE FLOWS WHICH CONTRIBUTE TO THE EXISTING DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF GENERATED BY THE PROPOSED IMPROVEMENTS. THE PLAN DETERMINES THE RUNOFF RESULTING FROM THE 100 YEAR/6 HOUR DURATION AND 10 YEAR/6 HOUR STORMS FOR BOTH EXISTING AND PROPOSED CONDITIONS.

THE SITE IS WITHIN AN ESTABLISHED URBAN INFILL AREA AND IS ZONED C-2. IT IS BOUNDED ON THE SOUTH AND NORTH BY EXISTING COMMERCIAL PROPERTY AND ON THE EAST AND WEST BY IMPROVED STREETS, WYOMING BOULEVARD AND WISCONSIN STREETS RESPECTIVELY. THE SITE GENERALLY FALLS FROM SOUTHEAST TO NORTHWEST AT APPROXIMATELY 1.0 PERCENT.

HISTORICAL SITE RUN-OFF OUTFALL LOCATIONS WILL REMAIN ESSENTIALLY UNCHANGED. FREE DISCHARGE OF STORM RUN-OFF IS ACCEPTABLE SINCE THE SITE IS LOCATED IN AN ESTABLISHED URBAN AREA AND STREET CAPACITY EXISTS DOWNSTREAM. HYDROLOGIC PROCEDURES AND CALCULATIONS ARE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II, CHAPTER 22.

CALCULATIONS

I. <u>DESIGN CRITERIA</u>

HYDROLOGIC METHODS AS OUTLINED IN CHAPTER 22, VOL. II., OF THE DEVELOPMENT PROCESS MANUAL (DPM) & EMERGENCY RULE DISCHARGE RATE: Q = CIA....RATIONAL METHOD VOLUMETRIC DISCHARGE: VOL. = R.O. x A.... "SCS METHOD AS OUTLINED IN DPM"

 $P_{100} = 2.6 \text{ IN}.$ I = P6.84TC*-0.51 $C'_{roof} = 0.90; C'_{pay} = 0.95; C'_{undev} = 0.40; C'_{L.S.} = 0.25$

II. <u>EXISTING CONDITIONS</u>

R.O. = 1.6 IN., 100-YR.A = 0.74 AC. $I_{100} = 5.50 \text{ IN/HR}.$ TC = 10 MIN.CN = 89C = 0.81 $Q_{100} = 3.3 \text{ CFS}$ $Q_{10} = 2.2 \text{ CFS}$ $VOL_{100} = 4298 \text{ C.F.}$ $VOL_{10} = 1719 \text{ C.F.}$

III. <u>DEVELOPED CONDITIONS</u>

'CC' = 0.89

A = 0.74 AC.CALCULATE COMPOUND 'C' & CN: PAVEMENT = 0.62 AC., 'C' = 0.95; CN = 95ROOF = 0.06 AC., C' = 0.90; CN = 95L.S. = 0.05 AC., C' = 0.25; CN = 61UNDEV. = 0.01 AC., 'C' = 0.40; CN = 700.74 <u>AC.</u>

COMPOUND CN. = 92.R.0. = 1.80

 $Q_{100} = 3.6 \text{ CFS}$ $Q_{10} = 2.4 \text{ CFS}$ $VOL_{100} = 4835 \text{ C.F., VOL}_{10} = 1934 \text{ C.F.}$

LEGAL DESCRIPTION:

LOTS 15-20 AND LOTS 31-36, BLOCK 40, MESA VERDE ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

GENERAL INFORMATION

PROJECT BENCHMARK:

VICINITY MAP

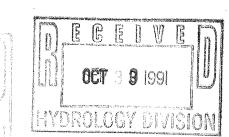
ZONE MAP K-19

ALBUQUERQUE CONTROL SURVEY BENCHMARK 4-J19, A 2" ALUMINUM DISK SET IN THE TOP OF CURB AT THE NORTH-NORTHWEST CURB RETURN OF THE INTERSECTION OF LOMAS AND WYOMING BOULEVARDS. ELEVATION = 5362.15.

525 WYOMING BOULEVARD, NORTHEAST, ALBUQUERQUE, NEW MEXICO.

TOPOGRAPHIC SURVEY:

TOPOGRAPHIC INFORMATION COMPILED FROM SURVEY PERFORMED ON SEPTEMBER 25, 1991, BY TECHNICAL MANAGEMENT SERVICES COMPANY (P.S. #10204).



LOCATION

OCT 3 1991

Technical Management Services Co. Professional Engineering and Surveying Services Indian Owned Economic Enterprise 5905 Marble NE Suite 3 Albuquerque, New Mexico 8711

VANTASTIC VANS REVISION GRADING & DRAINAGE PLAN

(505) 252-1755 Fax (505) 262-1757

TMS JOB Nº :91-152 DESIGNED BY: G.R. DRAWN BY: G.R. TMS JOB Nº :91-152

CHECKED BY: P.W.C. DATE: 10-03-91 FILE Nº FB-15-90 SHEET OF

ENGINEER'S CERTIFICATION

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND NOR ANY OTHER DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK N.M.P.E. #10265

10/3/9/ DATE