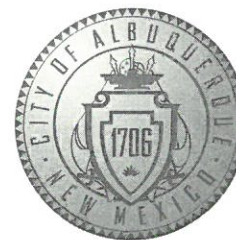


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 25, 2016

Reza Afaghpour, P.E.
SBS Construction and Engineering
P.O. Box 10264
Albuquerque, NM 87184

Richard J. Berry, Mayor

RE: 150 Louisiana Blvd. Sidewalk Culvert (K19D102)
Grading and Drainage Plan
Engineer's Stamp Date 8-22-2016

Dear Mr. Afaghpour:

Based upon the information provided in your submittal received 8-25-2016, the above referenced plan is approved for SO-19 Permit.

A separate SO-19 permit is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. The work in the City ROW must be inspected and accepted. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf: via Email: Shawn Biazar



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: 150 Louisiana Blvd, Sidewalk Culvert Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 31-A, 22, and 23, Block 1, La Mesa Subdivision

City Address: 150 Louisiana Blvd., NE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-22-2016 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

SBS CONSTRUCTION AND ENGINEERING, LLC

August 22, 2016

Mrs. Rita Hartmon, P. E.
Senior Engineer, Planning Dept.
Development Review Services
P. O. Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: **150 Louisiana Blvd, NE, Albuquerque, NM 87108**
Lots 31-A, 22, and 23, Block 1, La Mesa Subdivision
Request For a 12" Sidewalk Culvert on Domingo Rd., NE

Dear Mrs. Hartmon:

SBS Construction and Engineering, LLC is requesting a 12" sidewalk culvert permit (SO-19) for above referenced project. As you are aware, the above site has some drainage issues. The way this site is designed, the parking and some of the site drains into the landscaping/ponding area to the north between the sidewalk and the building, along Domingo Road, NE. This ponding area along Domingo Road has no outlet and does not exist at any time. There should have been a sidewalk culvert designed to help the drainage problem. After a hard rain the water is piling along the building and eroding the dirt along the footing and stucco from the building.

I have visited the site and also discussed the issue with you. Please see attached plan showing the drainage pattern and location of the proposed sidewalk culvert. Therefore, we are requesting a permit for construction of 12" sidewalk culvert (SO-19).

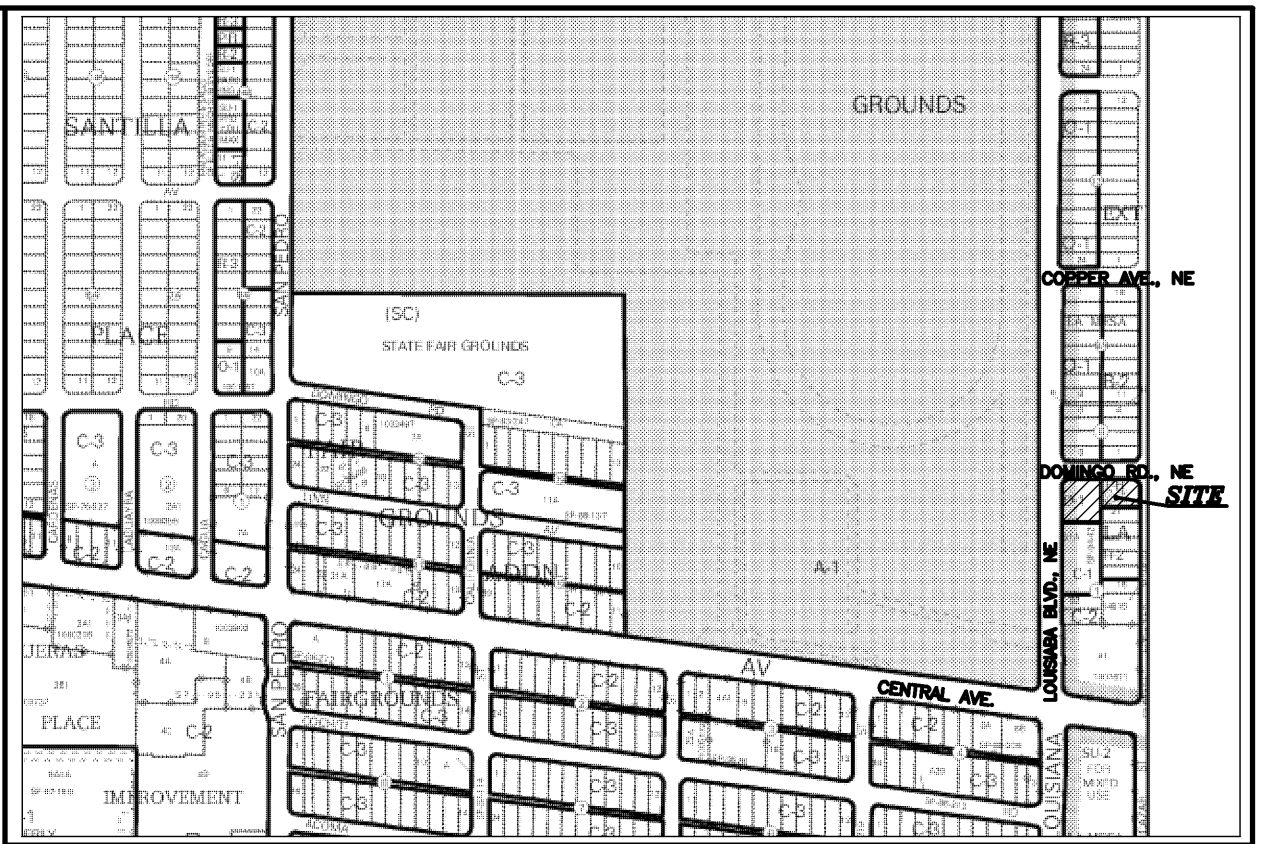
Please Contact me at (505) 804-5013 if you require additional information or have any questions.

Sincerely,

Shahram (Shawn) Biazar, Managing Member

Enclosures
JN: 201621

1. EXISTING STD. CURB & GUTTER
2. 12" SIDEWALK CULRVET PER CITY STD DWG
2236 (TACK WELD PLATE AT THE BOLT), 12" PAST SIDEWALK.
3. EISTING SIDEWALK



LEGAL DESCRIPTION:
 LOTS 31A, 22, AND 23, BLOCK 1, LA MEASA SUBDIVISION
 CONTAINING 0.7717 ACRE

GENERAL NOTES:

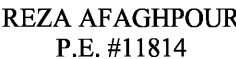
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 20K-18, HAVING AN ELEVATION OF 5320.353 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXCAVATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATION.
- 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 5: SLOPES ARE AT 3:1 MAXIMUM.

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

-----5030-----	EXISTING CONTOUR (MAJOR)		
-----5029-----	EXISTING CONTOUR (MINOR)		
—————	BOUNDARY LINE		
✕ 28.50	PROPOSED SPOT ELEVATION		
✕ 5028.65 FL	EXISTING GRADE		
■ ■ ■ ■ ■ ■ ■ ■ ■ ■	PROPOSED RETAINING WALL		
<i>BC=89.08</i>	BOTTOM OF CHANEL		
<table border="1"> <tr> <td><i>TC=28.50</i></td> </tr> <tr> <td><i>TA=28.00</i></td> </tr> </table>	<i>TC=28.50</i>	<i>TA=28.00</i>	TOP OF CURB
<i>TC=28.50</i>			
<i>TA=28.00</i>			
	TOP OF ASPHALT		
HP	HIGH POINT		
86.65 85.47	AS-BUILT GRADES		
x 86.65	AS-BUILT SPOT ELEVATIONS		

20 10 0 20

SCALE: 1"=20'



DRAWING:	DRAWN BY:	DATE:	SHEET #
201621-GD.DWG	SH-B	8-23-2016	1