



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 10, 1995

Jeff Mortensen  
Jeff Mortensen & Assoc.  
6010-B Midway Park Blvd. NE  
Albuquerque, New Mexico 87109

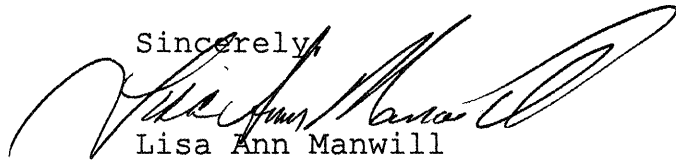
**RE: AUTOMOTIVE REPAIR BUSINESS (K19-D107) ENGINEER'S  
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.  
ENGINEER'S CERTIFICATION STAMP DATED 10-3-95.**

Dear Mr. Mortensen:

Based on the information provided on your October 5, 1995  
submittal, the above referenced project is approved for  
Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me  
at 768-3622.

Sincerely,



Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File

## DRAINAGE INFORMATION SHEET

950084

PROJECT TITLE: AUTOMOTIVE REPAIR BUSINESS ZONE ATLAS/DRNG. FILE #: 1K19/D107

ORB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 10&11, BLK 1, UNITY ADDITION

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSENADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250OWNER: LLOYD GUENTHER CONTACT: SAMEADDRESS: 810 PEDRA LARGA NE PHONE: \_\_\_\_\_ARCHITECT: JON ANDERSON CONTACT: SAMEADDRESS: 912 ROMA NW PHONE: 764-8306SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSENADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250CONTRACTOR: NOT KNOWN CONTACT: OWNER

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 10-04-95BY: JEFFREY G. MORTENSEN



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

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March 15, 1995

Jeff Mortensen  
Jeff Mortensen & Associates  
6010-B Midway Park Blvd. NE  
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR AUTOMOTIVE REPAIR SHOP (K19-D107)  
ENGINEER'S STAMP DATED 2/21/95.

Dear Mr. Mortensen:

Based on the information provided on your February 22, 1995 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

*Bernie J. Montoya*

Bernie J. Montoya, CE  
Engineering Associate

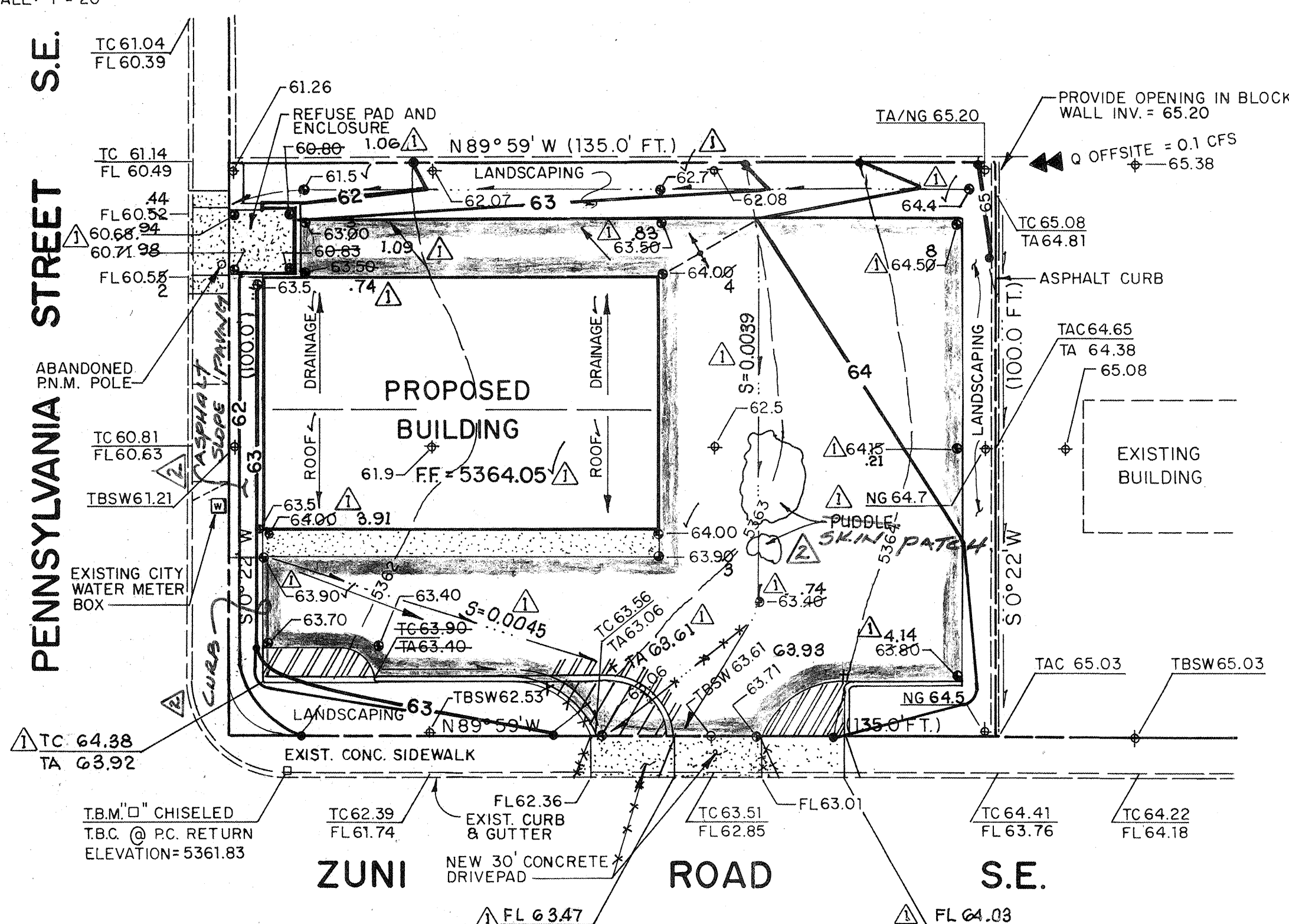
BJM/dl

c: Andrew Garcia  
File





SCALE: 1" = 20'



## DRAINAGE PLAN

The following items concerning the Automotive Repair Business Drainage Plan are contained hereon:

1. Vicinity Map
2. Calculations
3. Grading Plan

As shown by the Vicinity Map, the site is located at the northeast corner of the intersection of Pennsylvania Street S.E. and Zuni Road S.E. The site is currently undeveloped.

As shown by Panel 30 of 50 of the National Flood Insurance Program Flood Insurance Rate Maps published by F.E.M.A. for the City of Albuquerque, New Mexico dated October 14, 1993, this site does not lie within a designated flood hazard zone. Flooding is designated within Central Avenue north of the site. This site does contribute runoff to this flood hazard zone. This zone has been removed through the implementation of improvements presented in the "Restudy of the Albuquerque Master Drainage Study, Volume 2" prepared by Bohannon-Huston, Inc., 1987. Furthermore, this site contributes runoff to the Fairgrounds Stormwater Relief System which has also served to reduce flooding in the neighborhood surrounding New Mexico State Fair property.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) the limit and character of the existing improvements, 3) the limit and character of the proposed improvements, and 4) continuity between existing and proposed grades. The site is currently undeveloped, however, it does lie in a mostly developed infill area. The proposed development consists of a new 3080 s.f. building and associated paved parking and landscaping. The site currently drains from east to west, freely discharging the runoff into Pennsylvania Street S.E. across an existing driveway. Under the proposed development, the driveway will be eliminated and a new driveway will be constructed along Zuni Road S.E. Generally, the new drainage pattern will discharge across the driveway into Zuni Road S.E., where it will eventually continue into Pennsylvania Street S.E., following the historic drainage pattern. A small amount of runoff will continue along the north property line for discharge into Pennsylvania Street S.E. A small offsite flow does impact the northeast corner of the site, but this flow will continue to be accepted via a wall opening for eventual discharge into Pennsylvania Street S.E. It is based upon the facts that the site lies within an infill area, downstream floodplain has been alleviated by the Fairgrounds Stormwater Relief System and the minor increase in runoff anticipated, that free discharge of runoff is appropriate.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Procedure for 40-acre and Smaller Basins, as set forth in the Revision of Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, dated January, 1993, has been used to quantify the peak rate of discharge and volume of runoff generated. As shown by these calculations, a minor increase in runoff volume (790 cf) and peak discharge rate (0.3 cfs) is anticipated as part of this development.

## CALCULATIONS

## Site Characteristics

1. Precipitation Zone = 3
2.  $P_{100} = P_{60} = 2.60$  in.
3. Total Area ( $A_t$ ) = 0.31 ac.
4. Existing Land Treatment

Treatment	Area (sf/ac)	%
C	13,500/0.31	100

## 5. Developed Land Treatment

Treatment	Area (sf/ac)	%
B	3,500/0.08	25.9
D	10,000/0.23	74.1

## Existing Condition

## 1. Volume

$$E_w = (E_{A_1} + E_{A_2} + E_{A_3} + E_{A_4}) / A_t$$

$$E_w = (1.29(0.31)) / 0.31 = 1.29 \text{ in.}$$

$$V_{100} = (E_w / 12) A_t$$

$$V_{100} = (1.29 / 12) 0.31 = 0.0333 \text{ ac.ft.} = 1,450 \text{ cf}$$

## 2. Peak Discharge

$$Q_p = Q_{pA_1} + Q_{pA_2} + Q_{pA_3} + Q_{pA_4}$$

$$Q_p = Q_{100} = 3.45(0.31) = 1.1 \text{ cfs}$$

## Developed Condition

## 1. Volume

$$E_w = (E_{A_1} + E_{A_2} + E_{A_3} + E_{A_4}) / A_t$$

$$E_w = (0.92(0.08) + (2.36(0.23))) / 0.31 = 1.99 \text{ in.}$$

$$V_{100} = (E_w / 12) A_t$$

$$V_{100} = (1.99 / 12) 0.31 = 0.0514 \text{ ac.ft.} = 2,240 \text{ cf}$$

## 2. Peak Discharge

$$Q_p = Q_{pA_1} + Q_{pA_2} + Q_{pA_3} + Q_{pA_4}$$

$$Q_p = Q_{100} = 2.60(0.08) + 5.02(0.23) = 1.4 \text{ cfs}$$

## Comparison

1.  $\Delta V_{100} = 2,240 - 1,450 = 790 \text{ cf (increase)}$
2.  $\Delta Q_{100} = 1.4 - 1.1 = 0.3 \text{ cfs (increase)}$

## Offsite Flow

## 1. Peak Discharge

$$Q_p = Q_{pA_1} + Q_{pA_2} + Q_{pA_3} + Q_{pA_4}$$

$$Q_p = Q_{100} = 5.02(0.015) = 0.1 \text{ cfs}$$

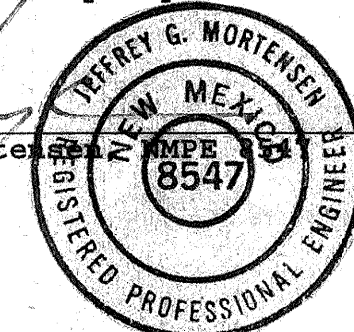
## RECERTIFICATION

Based upon visual site inspection on October 02, 1995, the following corrections have been made:

1. The downspout at the southwest corner of the building has been redirected to discharge toward the parking lot as opposed to being directed toward the public sidewalk.
2. The asphalt slope paving along the west side of the building has been shown by Revision 2.
3. The areas within the asphalt paving where runoff was being contained in "bird baths" have been "skin patched" to the satisfaction of the Owner.

It is based upon the information presented above that acceptance of this project and issuance of a Permanent Certificate of Occupancy are hereby recommended.

Jeffrey G. Mortensen  
10-03-95  
Date

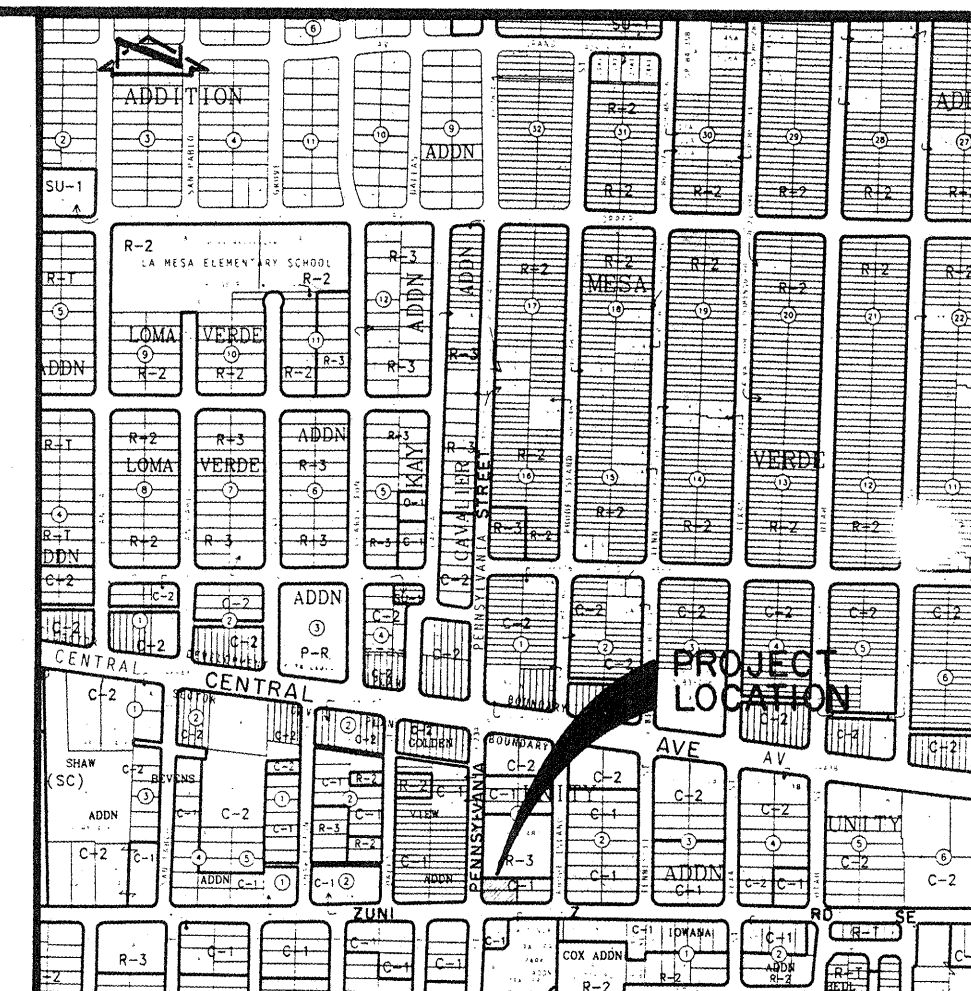


## Construction Notes:

1. Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System 260-1990, for location of existing utilities.
2. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
5. If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
6. The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the structure. For construction details, refer to landscaping plan.

## Erosion Control Measures:

1. The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property.
2. The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
3. The contractor shall secure "Topsoil Disturbance Permit" prior to beginning construction.
4. Any areas of excess disturbance (traffic access, storage yard excavated material, etc.) shall be re-seeded according to C.O.A. Specification 1012 "Native Grass Seeding". This will be considered incidental to construction, therefore, no separate payment will be made.



## VICINITY MAP

SCALE: 1" = 750'

## LEGAL DESCRIPTION

BLOCK 1, LOTS 10 &amp; 11 OF UNITY ADDITION

## BENCHMARK

A.C.S. BENCHMARK 1-L19. A SQUARE "d" CHISELED ON TOP OF CONCRETE CURB AT THE E.S.E. RETURN AT THE INTERSECTION OF TEXAS STREET S.E. AND ZUNI ROAD S.E. ELEVATION = 5374.16 FT. (M.S.L.D.)

## T.B.M.

A SQUARE "d" CHISELED ON TOP OF CONCRETE CURB AT THE INTERSECTION OF PENNSYLVANIA STREET S.E. AND ZUNI ROAD S.E. ELEVATION = 5361.83 FT. (M.S.L.D.)

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION PROVIDED BY PLAT PERFORMED BY C.B. BEYER OF ROSS ENGINEERING OFFICE, APRIL, 1926.

## LEGEND

69.64	EXISTING CONTOUR
6.4	PROPOSED CONTOUR
+	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
PROPOSED ASPHALT	PROPOSED ASPHALT
TC	TOP OF CURB
TA	TOP OF ASPHALT
TSW	TOP OF SIDEWALK
FL	FLOW LINE
NG	NATURAL GROUND
+	DIRECTION OF FLOW
+	WATER BLOCK

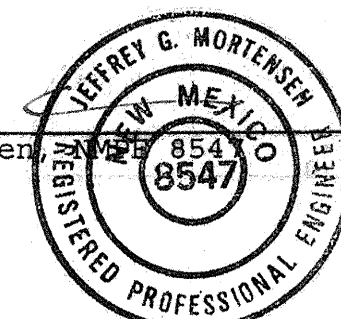
## AS-BUILT LEGEND

+ 63.02	AS-BUILT SPOT ELEVATION
63.71	AS-BUILT ELEVATION
✓	AS-BUILT = AS-DESIGNED
FL 64.03	AS-BUILT FLOW LINE ELEVATION
TC 64.38	AS-BUILT TOP OF CURB ELEVATION
TA 63.92	AS-BUILT TOP OF ASPHALT ELEVATION
AS-BUILT ASPHALT PAVING	AS-BUILT ASPHALT PAVING
AS-BUILT LANDSCAPING	AS-BUILT LANDSCAPING
S=0.0045	AS-BUILT SLOPE

## DRAINAGE CERTIFICATION

As indicated by the as-built information shown hereon, the Automotive Repair Business has been constructed in substantial compliance with the approved Grading Plan except for two areas, as shown in the plan, in which water puddles. Issuance of a Temporary Certificate of Occupancy is recommended until these two low areas are skin patched with asphalt. With the completion of the skin patch, issuance of a Permanent Certificate of Occupancy will be recommended. The as-built information has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief.

Jeffrey G. Mortensen  
10-23-95  
Date



JEFF MORTENSEN & ASSOCIATES, INC.  
6010-B MIDWAY PARK BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO 87109  
ENGINEERS & SURVEYORS (505)345-4250

## GRADING AND DRAINAGE PLAN

## AUTOMOTIVE REPAIR BUSINESS

DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
GRB	1	08/95	M.F.D.	AS-BUILT AND CERTIFY	950083
DRAWN BY	2	10/95	J.G.M.	RECERTIFY	DATE
APPROVED BY					02/1995
J.G.M.					SHEET 1 OF 1