

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2023

Racquel Michel, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: Fiesta Subaru
7100 Lomas Blvd NE
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 07/06/23
Engineer's Stamp Date: 01/12/22
Hydrology File: K19D108A

Dear Ms. Michel:

PO Box 1293

Based **solely** on the Certification received 07/07/2023, this letter serves as a “green tag” from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

1. Please Resubmit to PLNDRS@cabq.gov when ready with an updated engineer's certification.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.
3. Please pay the Payment-in-Lieu of \$ **17,480.00** by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to PLNDRS@cabg.gov. Once this is received, a receipt will then be produced and email back. Follow the instructions on the bottom of the form and pay it at the Treasury in Plaza de Sol. Once paid, please provide me proof of payment.

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Fiesta Subaru **Building Permit #:** _____ **Hydrology File #:** K19D108A

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: 7100 LOMAS BLVD NE, ALBUQUERQUE NM 87110

Applicant: Bohannon Huston **Contact:** Racquel Michel

Address: 7500 Jefferson St. NE, Albuquerque, NM 87109

Phone#: 505-823-1000 **Fax#:** _____ **E-mail:** rmichel@bhinc.com

Owner: JD Auto LP, dba Fiesta Auto Group **Contact:** Derek Kulach

Address: 8220 Lomas NE Albuquerque, NM 87110

Phone#: 505-715-2442 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07-06-2023 **By:** Racquel Michel

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

July 6, 2023

Ms. Renee Brissette
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Grading and Drainage Certification (Fiesta Subaru, 7100 Lomas Blvd. NE)
Hydrology File K19D108A

Dear Renee,

We are submitting these documents for the grading and drainage certification for the Fiesta Subaru project. Per our coordination with your office, we are requesting that a modified fee-in-lieu of providing the full required volume be acceptable. Enclosed for your review is the as-built survey of the latest grading and drainage plan as well as the marked up drainage management plan indicating the volume built and associated fee-in-lieu amount for the outstanding amount.

After reviewing the as-built elevations and visiting the site on 07/05/23, it is my belief that the above noted lot has been graded in substantial compliance with the approved grading and drainage plan.

The site work has been constructed and based on our review there are a few items to be corrected that have already been communicated to the contractor through a punchlist report and will be corrected in the field. These items are noted on the as-built survey for your reference and documentation. With your review, we are requesting that only the Temporary Certificate of Occupancy (TCO) be released and that once all the punchlist items are completed and the cash in lieu is submitted, that the Permanent CO be released.

I appreciate your time and consideration. If you have questions or require additional information, please contact me at (505) 823-1000.

Sincerely,



Racquel M. Michel, P.E.
Project Manager
Community Development & Planning

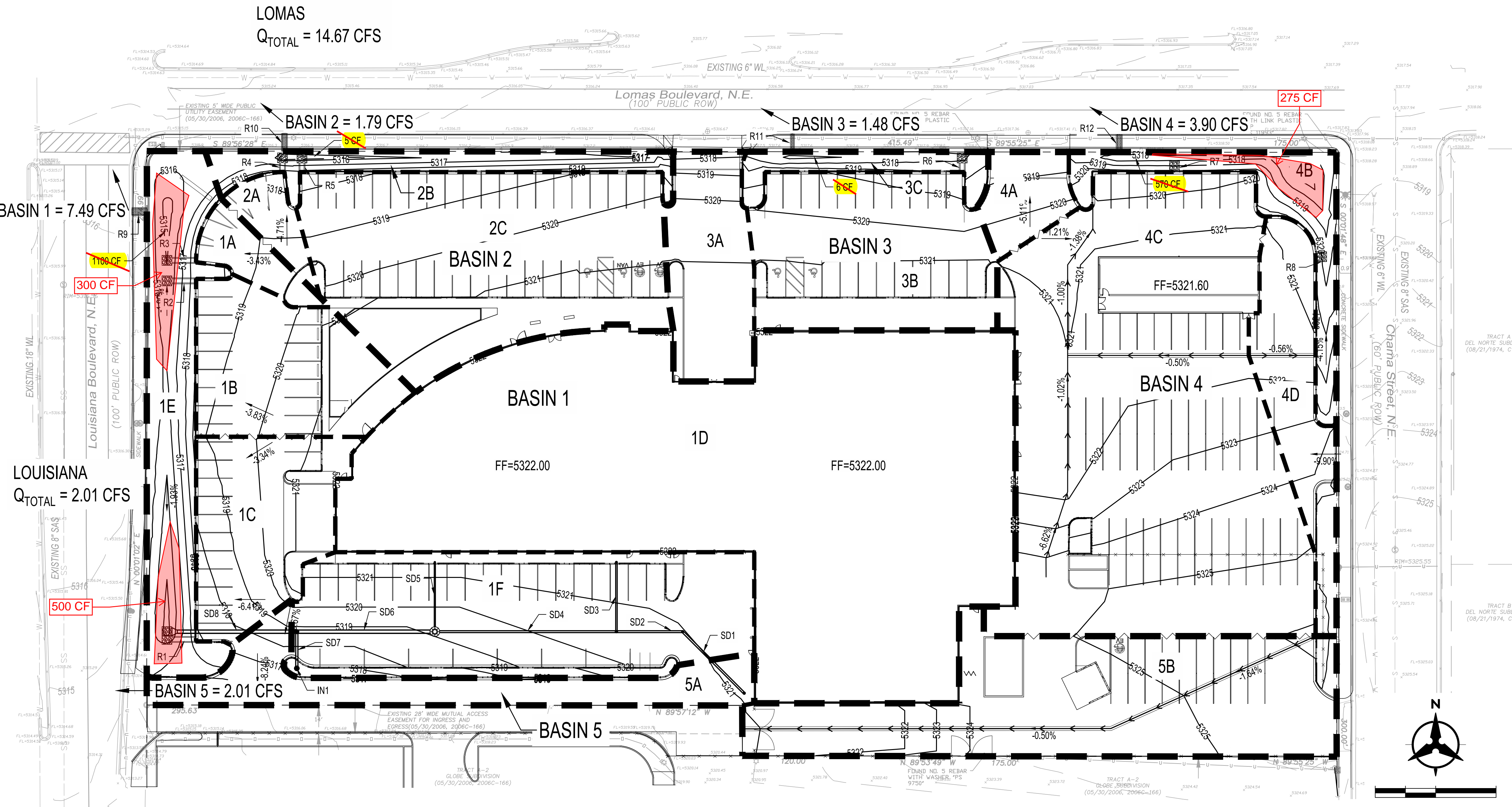
Enclosure

Fiesta Subaru													
Proposed Basin Data Table													
This table is based on the DPM Section 6-2, Zone: 3													
Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V _(100yr-6hr)	V _(100yr-24hr)	Weighted	SW Quality
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	Curve #	(CF)
PROPOSED													
PROPOSED BASIN 1	76409	1.75											
1A	1360	0.03	0.0%	0.0%	15.0%	85.0%	4.29	0.13	2.36	267	307	96	25
1B	6353	0.15	0.0%	0.0%	15.0%	85.0%	4.29	0.63	2.36	1248	1432	96	117
1C	6160	0.14	0.0%	0.0%	0.0%	100.0%	4.49	0.63	2.58	1324	1535	98	133
1D	41626	0.96	0.0%	0.0%	0.0%	100.0%	4.49	4.29	2.58	8950	10372	98	902
1E	7110	0.16	0.0%	100.0%	0.0%	0.0%	2.49	0.41	0.86	510	510	79	0
1F	13803	0.32	0.0%	0.0%	5.0%	95.0%	4.42	1.40	2.51	2882	3330	97	284
PROPOSED BASIN 2	19077	0.44											
2A	1161	0.03	0.0%	0.0%	5.0%	95.0%	4.42	0.12	2.51	242	280	97	24
2B	2722	0.06	0.0%	100.0%	0.0%	0.0%	2.49	0.16	0.86	195	195	79	0
2C	15194	0.35	0.0%	0.0%	10.0%	90.0%	4.36	1.52	2.43	3078	3545	97	296
PROPOSED BASIN 3	15186	0.35											
3A	4561	0.10	0.0%	0.0%	5.0%	95.0%	4.42	0.46	2.51	952	1100	97	94
3B	9024	0.21	0.0%	0.0%	0.0%	100.0%	4.49	0.93	2.58	1940	2248	98	196
3C	1601	0.04	0.0%	100.0%	0.0%	0.0%	2.49	0.09	0.86	115	115	79	0
PROPOSED BASIN 4	39601	0.91											
4A	1846	0.04	0.0%	0.0%	0.0%	100.0%	4.49	0.19	2.58	397	460	98	40
4B	3516	0.08	0.0%	100.0%	0.0%	0.0%	2.49	0.20	0.86	252	252	79	0
4C	29594	0.68	0.0%	0.0%	0.0%	100.0%	4.49	3.05	2.58	6363	7374	98	641
4D	4644	0.11	0.0%	0.0%	15.0%	85.0%	4.29	0.46	2.36	912	1047	96	86
PROPOSED BASIN 5	19502	0.45											
5A	5313	0.12	0.0%	0.0%	0.0%	100.0%	4.49	0.55	2.58	1142	1324	98	115
5B	14189	0.33	0.0%	0.0%	0.0%	100.0%	4.49	1.46	2.58	3051	3535	98	307
TOTAL	169774	3.90	-	-	-	-	-	17	-	33819	38960		3260

INLET TABLE					
Inlet #	Inlet Type	Basin	Actual Flow (CFS)	Avail Head (ft)	Capacity (CFS) ¹
IN1	1 - 12" Nyloplast (Dome Grate)	BASIN 1F	1.40	0.50	1.65
1. Nyloplast inlets based on manufacturer nomographs					

CONCRETE RUNDOWN TABLE								
Rundown #	Basin ID	Rundown Type	Actual Flow	Capacity Weir (CFS)	Channel Width ft	Channel Height ft	Minimum Slope	Capacity Mannings (CFS)
R1	BASIN 1C	Rectang	0.63	0.94	1.00	0.50	1.15%	2.43
R2	BASIN 1B	Rectang	0.63	0.94	1.00	0.50	1.15%	2.43
R3	BASIN 1A	Rectang	0.13	0.94	1.00	0.50	1.15%	2.43
R4	BASIN 2A	Rectang	0.12	0.94	1.00	0.50	1.15%	2.43
R5	BASIN 2C	Rectang	1.52	1.88	2.00	0.50	1.15%	5.89
R6	BASIN 3B	Rectang	0.93	0.94	1.00	0.50	1.15%	2.43
R7	BASIN 4C	Rectang	3.05	2.82	3.00	0.50	N/A	N/A
R8	BASIN 4D	Rectang	0.46	1.88	1.00	0.50	N/A	N/A
R9	BASIN 1	Rectang	7.49	8.66	3.00	0.67	N/A	N/A
R10	BASIN 2	Rectang	1.79	5.78	2.00	0.67	N/A	N/A
R11	BASIN 3B + 3C	Rectang	1.02	2.90	1.00	0.67	N/A	N/A
R12	BASIN 4B + 4C + 4D	Rectang	3.71	8.66	3.00	0.67	N/A	N/A
Weir Eq: Q=2.65L(h ^{1.5}) - **								
Capacity based on Manning's Eq w/ N=0.013 - **								

STORM DRAIN PIPE TABLE					
Pipe #	INLET/SD/BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	50% OF 1D	10	2.25%	3.29	2.15
SD2	SD1	10	2.25%	3.29	2.15
SD3	25% OF 1D	8	6.08%	2.98	1.07
SD4	SD2 + SD3	10	2.25%	3.29	3.22
SD5	25% OF 1D	6	9.06%	1.69	1.07
SD6	SD4 + SD5	18	1.00%	10.50	4.29
SD7	BASIN 1F	12	1.00%	3.56	1.40
SD8	SD6 + SD7	18	1.00%	10.50	5.69
Capacity based on Manning's Eq w/ N=0.013					



LEGEND

- PROPERTY LINE
- LIMITS OF GRADING
- 5025--- EXISTING INDEX CONTOUR
- 5024--- EXISTING INTERMEDIATE CONTOUR
- 5025--- PROPOSED INDEX CONTOUR
- 5024--- PROPOSED INTERMEDIATE CONTOUR
- DRAINAGE BASIN
- DRAINAGE SUB-BASIN

DRAINAGE NARRATIVE

INTRODUCTION:

THIS PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF LOMAS AND LOUISIANA. THE PROPOSED FACILITY IS THE CONSTRUCTION OF A FIESTA SUBARU DEALERSHIP. THE TWO EXISTING TRACTS WILL BE CONSOLIDATED INTO ONE. THE PROPOSED FACILITY IS A COMPLETE DEMOLITION OF THE EXISTING DEALERSHIP AND RESTAURANT BEING REPLACED WITH AN ENTIRELY NEW FIESTA SUBARU DEALERSHIP.

METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH THE RECENT ADOPTION OF THE NEW DEVELOPMENT PROCESS MANUAL, SPECIFICALLY CHAPTER 6 (DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL). LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED BASIN DATA TABLE" (THIS SHEET). THE SITE IS IN RAINFALL ZONE 3. THIS SITE WAS ANALYZED FOR THE 100-YEAR, 6-HOUR STORM EVENT.

PROPOSED:

THE PROPOSED SITE WILL FOLLOW THE SAME EXISTING DRAINAGE SCHEME. THE SITE IS DIVIDED INTO 5 PROPOSED BASINS THAT WILL DISCHARGE TO FIVE MAIN OUTFALL LOCATIONS.

BASIN 1 IS LOCATED ON THE WEST SIDE OF THE SITE AND IS THE PRIMARY DISCHARGE LOCATION FOR THE NEW BUILDING. THIS BASIN CONTAINS THE ONLY STORM DRAIN SYSTEM ONSITE. THE REMAINDER OF THIS BASIN THAT DOESN'T DISCHARGE TO THE NEW STORM DRAIN SHEET FLOWS TO NEW CONCRETE RUNDOWNS ALONG THE WEST SIDE OF THE SITE. THE NEW BUILDING DISCHARGES BELOW GRADE TO THE NEW STORM DRAIN. SEE THE STORM DRAIN PIPE AND INLET TABLE. THIS SHEET, FOR MORE INFORMATION. THE ULTIMATE OUTFALL OF THIS BASIN IS A NEW SIDEWALK CULVERT IN THE NORTHWEST CORNER OF THE SITE. THIS CULVERT DISCHARGES INTO LOUISIANA BLVD PRIOR TO CONTINUING INTO LOMAS BLVD.

BASIN 2, 3, AND 4 ARE LOCATED ON THE NORTH AND EAST PORTIONS OF THE SITE. THESE BASINS ALL SHEET FLOW TO THE NORTH INTO PROPOSED CURB OPENINGS AND RUNDOWNS PRIOR TO ENTERING STORMWATER QUALITY PONDS AND DISCHARGING TO THE NORTH INTO LOMAS BLVD. BASINS 1 THROUGH 4 ALL DISCHARGE A TOTAL OF 14.67 CFS TO LOMAS BLVD. A NEGLIGIBLE INCREASE FROM EXISTING CONDITIONS.

BASIN 5 IS LOCATED ON THE SOUTHERN PORTION OF THE SITE. THIS BASIN SHEET FLOWS FROM CHAMA ST TOWARDS LOUISIANA BLVD. A TOTAL OF 2.01 CFS DISCHARGES INTO LOUISIANA BLVD, A SLIGHT DECREASE FROM EXISTING CONDITIONS.

NEW STORMWATER QUALITY PONDS ARE LOCATED ALONG THE NORTH AND WEST PORTIONS OF THE SITE.

STORMWATER QUALITY VOLUME REQUIRED = 3,280 CF
STORMWATER QUALITY VOLUME PROVIDED = 1,075 CF
STORMWATER QUALITY VOLUME REMAINING = 2,185 CF

ALL LANDSCAPED AREAS ARE DEPRESSED TO THE MAXIMUM EXTENT FEASIBLE. ADDITIONAL VOLUME CANT BE ACCOMMODATED DUE TO THE SITE CONSTRAINTS.

CONCLUSION:

THE CALCULATED PEAK DISCHARGE FROM MAINTAINS THE EXISTING RUNOFF FLOWRATE. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE REQUESTING COA HYDROLOGY BUILDING PERMIT & 90-19 APPROVAL.

Based on as-built elevations of ponds and revised volume listed above, Payment in Lieu is
2,185 CF * \$8/CF = \$17,480
Previous SWQ Waiver approved 2/25/22 and Fee in Lieu of \$12,744 already paid.
Remaining fee in lieu to be paid is
\$17,480 - \$12,744 = \$4,736



NO DATE DESCRIPTION

DATE:

PROJECT #:

DRAWN BY:

CHECKED BY:

COPYRIGHT:

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SHEET TITLE

PROPOSED
DRAINAGE
MANAGEMENT
PLAN

DMP00



FIESTA SUBARU

7100 Lomas Blvd

GRADING KEYED NOTES

1. INSTALL CONCRETE CURB OPENING PER DETAIL 1, SHEET C-103.
2. WATER HARVESTING LANDSCAPE DEPRESSION. SEE LANDSCAPE PLAN FOR STABILIZATION.
3. MATCH EXISTING ELEVATION.
4. INSTALL HDPE (12 OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
5. INSTALL NEW CMP END SECTION.
6. INSTALL NEW RIP-RAP PAD PER DETAIL 3, SHEET C-103.
7. INSTALL NEW CONCRETE RIBBON CHANNEL PER DETAIL 3, C-103.
8. INSTALL SIDEWALK CULVERT. SEE DRC PLANSET FOR DETAILS.
9. INSTALL STORM DRAIN TO WITHIN 5' OF BUILDING. CONNECT TO ROOF DRAIN OUTLET BELOW GRADE. PROVIDE FITTINGS AS NECESSARY. CONNECT TO DOWNSPOUT PER DETAIL 4, SHEET C-103.
10. INSTALL PREFABRICATED STORM DRAIN FITTING.
11. INSTALL TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2208.
12. INSTALL 18" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL) WITH DOME GRATE.

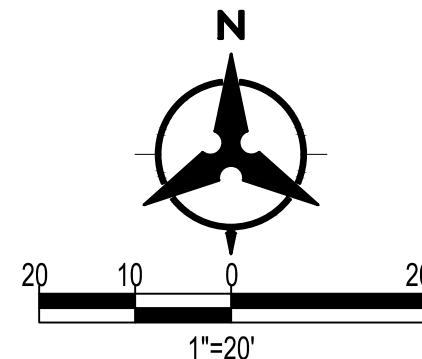
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An excavation permit will be required before beginning any work within City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact New Mexico One Call, dial "811" (or (505) 260-1990) for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation and barricading inspections, contact DMD Construction Services Division.

REV. 01/22/2021

LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB
 - FL=FLOW LINE
 - TOC=TOP OF CONCRETE
 - TS=TOP OF SIDEWALK
 - TG=TOP OF GRATE
 - FG=FINISHED GRADE
 - FGH=FINISHED GRADE HIGH
 - FGL=FINISHED GRADE LOW
 - INV=INVERT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP



DRAINAGE CERTIFICATION

I, RACQUEL M. MICHEL, NMPE 19358, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE TO AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/12/2022. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANTHONY L. HARRIS, NMPS 11463, OF THE FIRM HARRIS SURVEYING.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 5, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

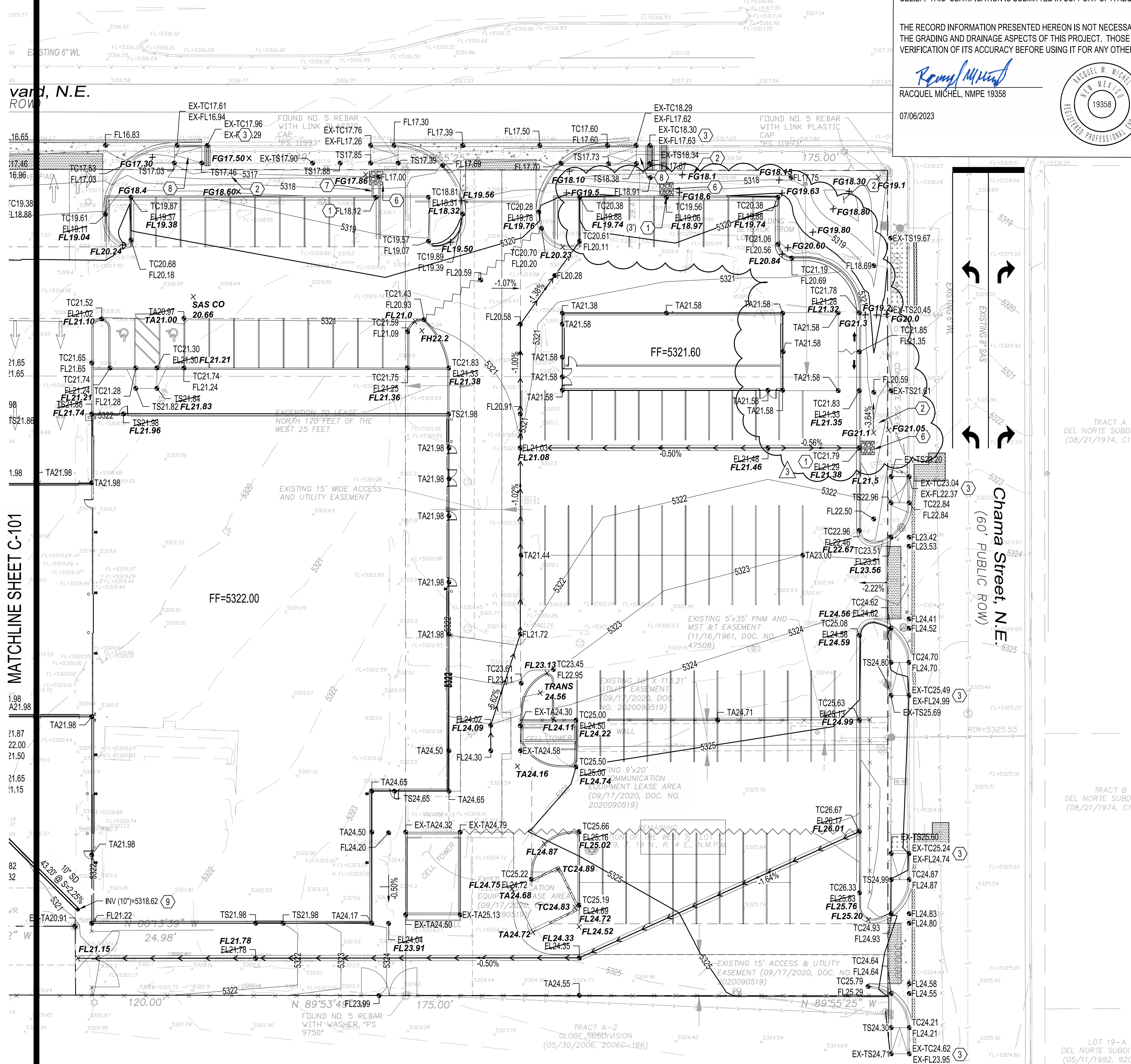
LEGEND

- FL92.03 DESIGN GRADE
- FL92.04 AS-BUILT GRADE
- FL92.05

Racquel M. Michel
RACQUEL MICHEL, NMPE 19358

07/06/2023





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Racquel M. Michel
RACQUEL MICHEL, NMPE 19358
07/06/2023



LEGEND

- FL92.03 DESIGN GRADE
- FL92.04 AS-BUILT GRADE

NOTES

- INSTALL HDPE (N12 OR APPROVED EQUAL) STORM DRAIN PIPE. SEE PLAN FOR SIZE AND SLOPE.
- INSTALL NEW CMP END SECTION.
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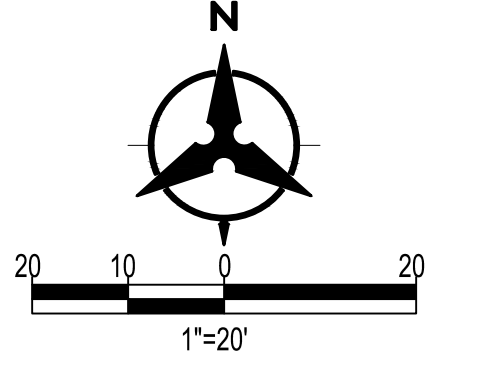
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- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP



Bohannan **Huston**
www.bhinc.com 800.877.5332



FIESTA SUBARU

7100 Lomas Blvd

GRADING
PLAN

C-102

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: Bohannan Huston DATE: 7/6/23
DEVELOPMENT: Fiesta Subaru
LOCATION: 7100 Lomas Blvd NE 87110

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 3,260 cubic feet

The provided volume is ~~1,667~~ 1,075 cubic feet

The deficient volume is ~~1,593~~ 2,185 cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: _____

Stormwater quality ponds have been added and maximized where possible. Site constraints don't allow for additional pond volume

Lot is too small based on proposed site use to accommodate additional volume than currently shown.

Additionally, existing utilities were found that prevented the pond to be constructed as deep as designed.

Racquel Michel

Professional Engineer or Architect

PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ ~~12,744~~ \$17,480

THIS SECTION IS FOR CITY USE ONLY

- ☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- ☐ Waiver is DENIED.

Renée C. Brissette

City of Albuquerque
Hydrology Section

07/07/23