

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 29, 2022

Patricia Hancock, RA
SMPC Architects
219 Central Ave. NW
Albuquerque, NM 87104

Re: Fiesta Subaru 7100 Lomas Blvd. NE
4400 Cutler Ave. NE
Traffic Circulation Layout
Architect's Stamp 4-28-22 (K19-D108A)

Dear Ms. Hancock,

The TCL submittal received 04-7-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Traffic Control Layout Comment Response

1. Listed are the number of Bicycle parking spaces required by the IDO Coordinate/discuss with Zoning. See revised bicycle Parking count
2. Louisiana/Lomas:
The Minimum Throat depth off an Arterial needs to be comply, please review DPM Design Criteria Table 7.4.81 Minimum Throat Length.
 - Per Meeting March 14, 2022 - Current layout will be approved pending adjustment of gates and ADA drives
3. An ADA ramp will need to be provided at the corner of Louisiana/Lomas. The existing ramp doesn't provide a minimum pathway width of 4ft to service ADA prior to ramp landing.
 - Sidewalks at corner of Lomas and Louisiana have been changed to have a 48" clearance from the poer pole and the traffic light post
4. All existing drive pads off Louisiana and Lomas are not ADA accessible. So the will need to be ADA accessible and the design will need to be Curb Return since both roadways are classified as Arterial.
 - Drives need to have accessible path. City prefers curb returns (COA STD DWG 2426)
5. Please label the name of side street on the eastern property. Chama?
 - Chama Street label added
6. Identify the right of way width, medians, curb cuts, and street widths on Chamas St. NE
 - See attached Chama ROW PDF
7. Provide details for all proposed pavement markings –
 - Adding Pavement Details
 - PAINT 4" WIDE DOUBLE YELLOW STRIPE noted on Plan
 - PAINT 4" WIDE WHITE PARKING STRIPE noted on Plan
 - PAINT "NO PARKING" ON PAVEMENT. SEE DETAIL A1/AS501.
 - PAINTED DIRECTIONAL ARROW- See Added Detail A7/AS501
 - INSTALL VAN ACCESSIBLE PARKING SIGN & PAVEMENT MARKING. SEE DETAILS A1/AS501 & J10/AS102.
 - INSTALL CONCRETE WHEEL STOP PER DETAIL F7/AS501.
8. Chama's existing drive pads aren't ADA accessible and will need to be addressed.
 - Drives need to have accessible path. City prefers curb returns (COA STD DWG 2426)
9. Louisiana's, Lomas's and Chama's main access with proposed gates will need a setback of 20 feet to provide turnout.
 - Revised gate design attached.
10. A sidewalk easement will be needed at the corner of Louisiana/Lomas to encompass the full size of new ramp.
 - Sidewalk easement will be provided Precision
11. Provide turning templates for delivery vehicle.

- **Need BHI to provide templates**

12. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial & Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

- **Signage to be provided at entrance drives and at Service Drive BHI assist**

13. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

- **ADA "NO PARKING" added**

14. Motorcycle parking spaces: Label pavement MC.

- **Motorcycle Parking "MC" added**

15. All bicycle racks shall be designed according to the following guidelines:

- The rack shall be a minimum 30 inches tall and 18 inches wide. **Added**
- The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed. **Rack changed – see drawings**
- The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information. **Rack changed – see drawings**
- The rack allows varying bicycle frame sizes and styles to be attached. The user is not required to lift the bicycle onto the bicycle rack. **Rack changed – see drawings**
- Each bicycle parking space is accessible without moving another bicycle. **Layout clarified**

16. Bicycle racks shall be sturdy and anchored to a concrete pad.

- **Add Bicycle detail**

17. A 1-foot clear zone around the bicycle parking stall shall be provided.

- **Layout clarified – see drawings**

18. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

- **Layout clarified – see drawings**

19. All internal radii's will need to be 15 feet.

- **Adjusted – see drawings**

20. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

- **ADA path added to Louisiana**

21. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

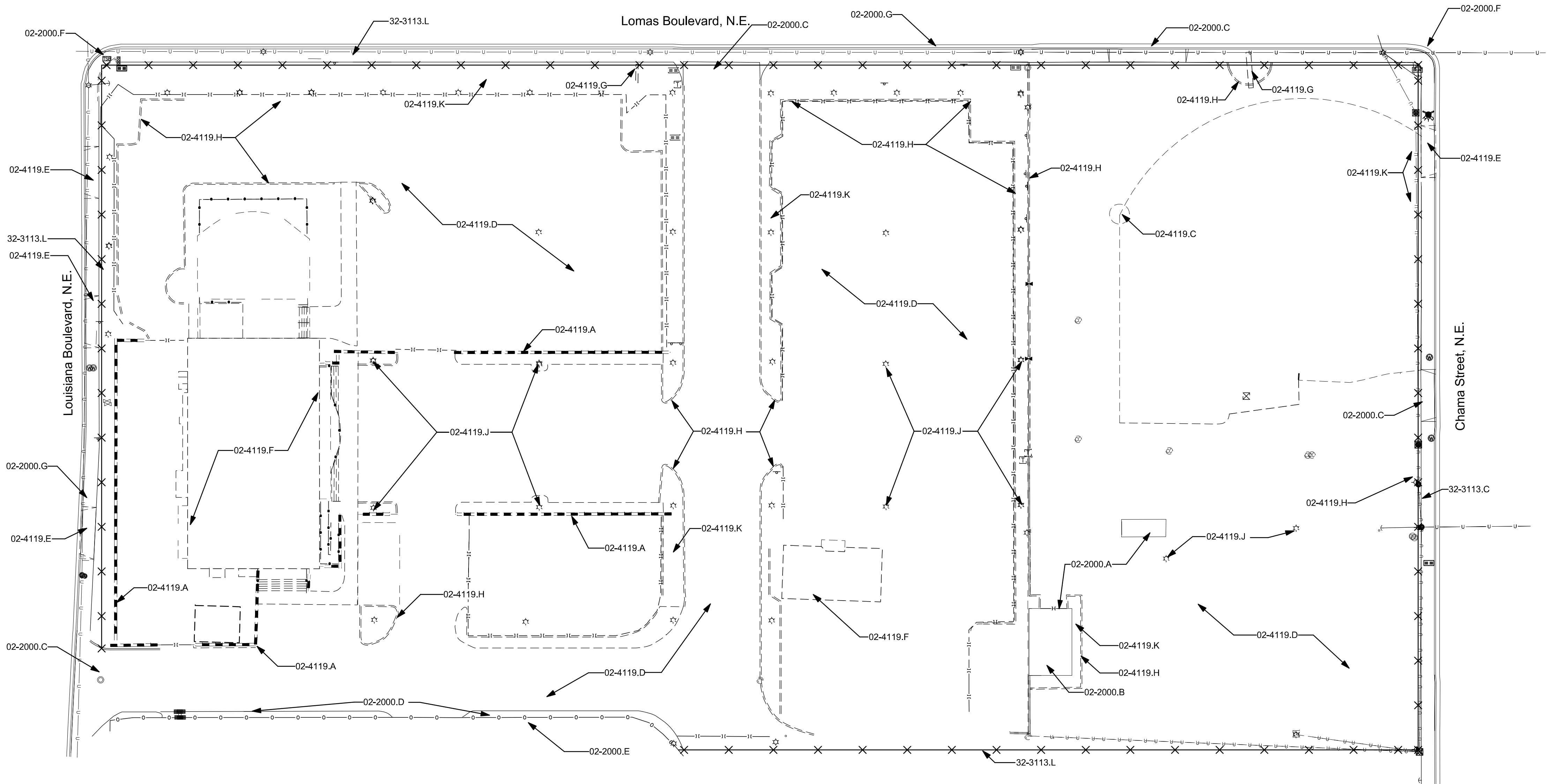
22. All sidewalks along public streets need widths provided.
 - Added dimensions to Existing 6'-0" Sidewalks
23. Parking areas shall have barriers to prevent vehicles from extending over onto pedestrian pathway.
 - Added Parking bumpers
24. Provide a copy of refuse approval.
 - Attached
25. Fire Department: An approval Fire 1 plan needs to be provided.
 - Attached
26. Lomas and Louisiana: Show the intersection sight distance and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements Sight distance @ Lomas and Louisiana Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
 - Sight line clearance and note attached
27. Chamas St: Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
 - Sight line clearance and note attached
28. Please specify the City Standard Drawing Number when applicable.
 - City Standard Drawing Number have been added to drawings
29. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please provide a copy of the Access Easement for all properties abutting general lot and entrance access off Louisiana.
 - See Attached plat showing this easement
30. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing (2430 & 2415A). Two have been identified but not addressed off Louisiana.
 - Note added at existing curb cuts on Louisiana to be removed and city sidewalk and curb standard details
31. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing (2430 & 2415A).
 - Note added to replace broken or cracked sidewalks
32. Please provide a letter of response for all comments given.
 - Included

33. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mqrush@cabq.gov).

- Traffic Study attached.

TRAFFIC CIRCULATION LAYOUT APPROVED 04/29/2022

Jeanne Wolfenbarger



A1 SITE DEMOLITION PLAN
1" = 30'-0"

COA STAMP AREA KEEP CLEAR

GENERAL NOTES

1. IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
2. REMOVE ALL LANDSCAPING
3. REMOVE ALL PAVING
4. REMOVE ALL SITE LIGHT POLES - CITY LIGHT POLES TO REMAIN
5. THE CONTRACTOR SHALL COORDINATE WITH PNM FOR DEMOLITION AND REMOVAL OF ALL EXISTING PNM UNDERGROUND AND OVERHEAD ELECTRICAL UTILITIES INCLUDING BUT NOT LIMITED TO UNDERGROUND PRIMARY CONDUCTORS, PAD MOUNT TRANSFORMERS, UNDERGROUND SECONDARY FEEDERS, WOOD POLES WITH PNM LUMINAIRES AND AERIAL CONDUCTORS. ALL EXISTING PNM OWNED UTILITIES TO BE REMOVED BY PNM. ALL EXISTING CUSTOMER OWNED SECONDARY FEEDERS TO BE REMOVED BY THE CONTRACTOR. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO INFORM HIMSELF OF DEMOLITION REQUIREMENTS.
6. REPAIR ALL SIDEWALKS THAT ARE BROKEN OR CHACKED

REFERENCE KEYNOTES

- | | |
|-----------|--|
| 02-2000.A | EXISTING CELL TOWER ENCLOSURE TO REMAIN |
| 02-2000.B | EXISTING CELL TOWER TRANSFORMER ENCLOSURE TO REMAIN |
| 02-2000.C | EXISTING DRIVEWAY TO REMAIN |
| 02-2000.D | EXISTING CURB TO REMAIN |
| 02-2000.E | EXISTING CHAIN LINK FENCE TO REMAIN |
| 02-2000.F | EXISTING CURB RAMP TO REMAIN |
| 02-2000.G | EXISTING CURB & GUTTER TO REMAIN |
| 02-4119.A | REMOVE EXISTING SITE WALL |
| 02-4119.C | REMOVE EXISTING TREE-DELIVER TREE TO OWNER |
| 02-4119.D | REMOVE PAVING |
| 02-4119.E | REMOVE CURB CUT & DRIVEWAY PADS |
| 02-4119.F | REMOVE EXISTING BUILDING, INCLUDING ALL FOOTINGS AND FOUNDATIONS |
| 02-4119.G | REMOVE EXISTING MONUMENT SIGN |
| 02-4119.H | REMOVE CURB |
| 02-4119.J | REMOVE LIGHT POLES |
| 02-4119.K | REMOVE LANDSCAPING |
| 32-3113.C | CHAIN LINK GATE |
| 32-3113.L | CONSTRUCTION FENCE |



Patricia Hancock
2022.04.01 12:50:48-06'00'

Fiesta Subaru

PERMIT SET

7100 Lomas Blvd. N.E.

NO	DATE	DESCRIPTION
DATE:		12/17/2021
PROJECT #:		20037
DRAWN BY:		MM
CHECKED BY:		MM
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SHEET TITLE		

**SITE
DEMOLITION
PLAN**

AD101

TRAFFIC CIRCULATION LAYOUT APPROVED 04/29/2022

Jaime Wolfenbarger

K1 CURB
1 1/2" = 1'-0"

K4 TURN DOWN CURB
1 1/2" = 1'-0"

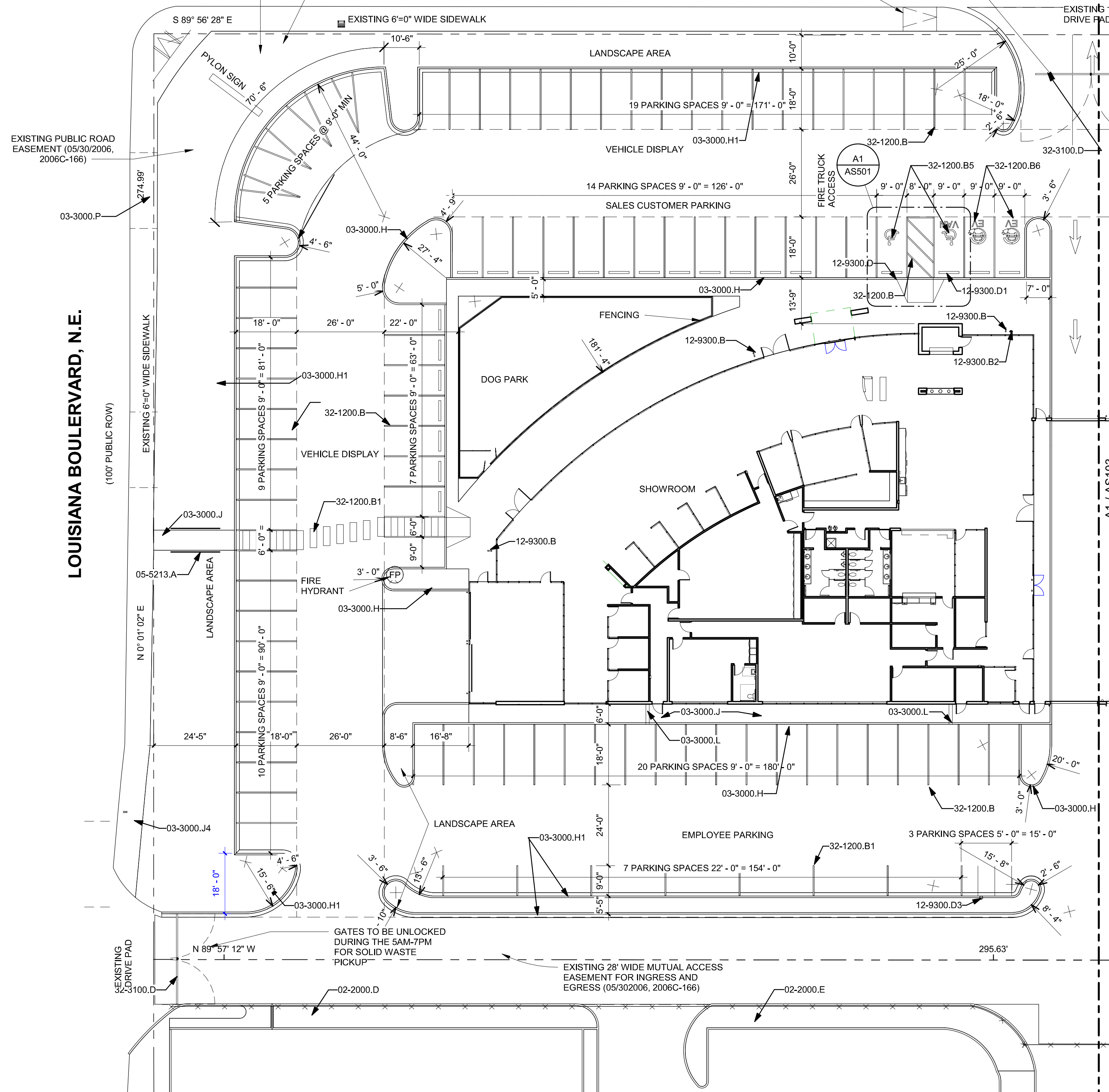
Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle

EXISTING 5' WIDE PUBLIC UTILITY EASEMENT (05/30/2006, 2006C-166)

ADA RAMP PER COA STANDARD DETAIL 2426

GATE TO REMAIN OPEN DURING BUSINESS HOURS

EXISTING DRIVE PAD



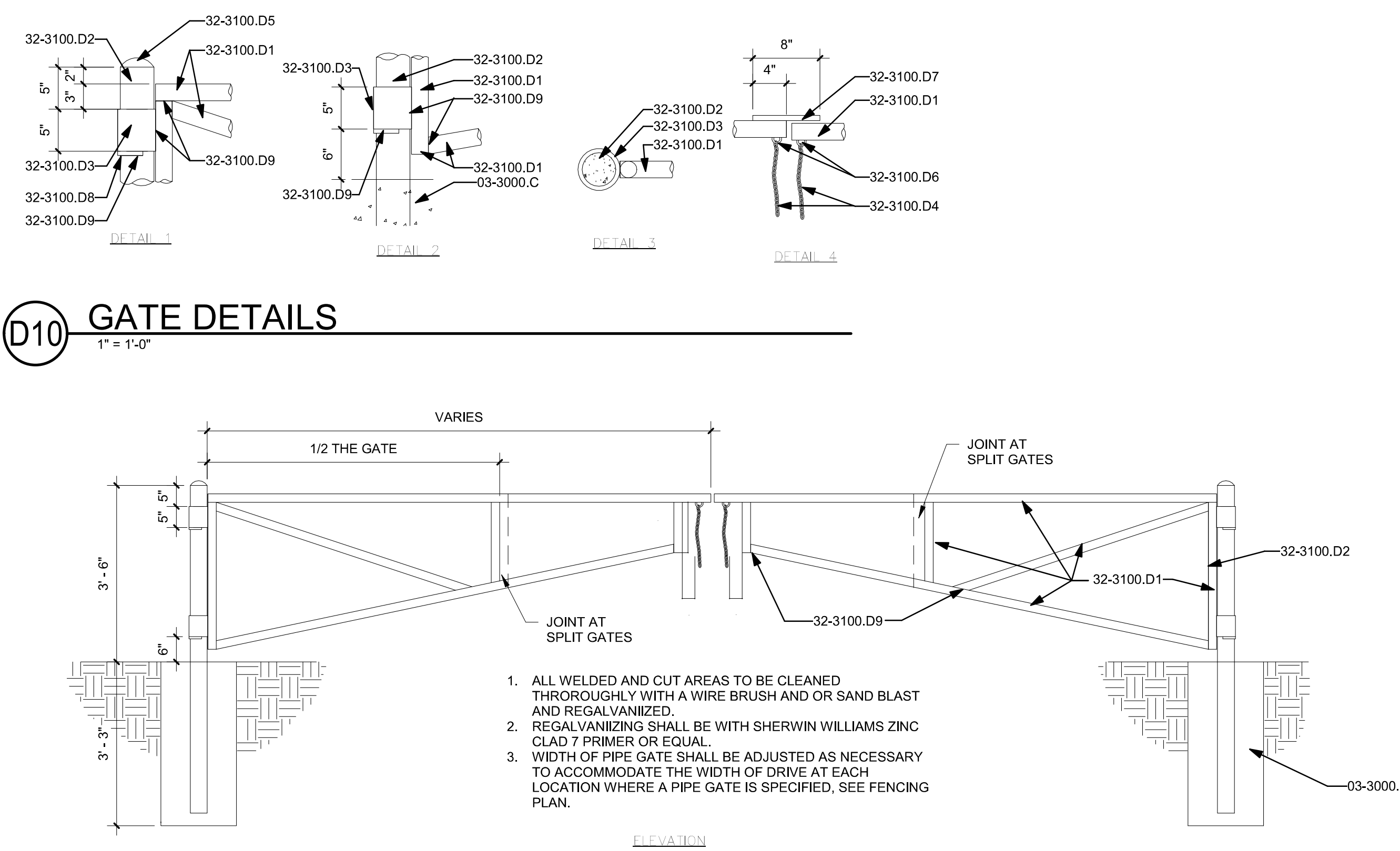
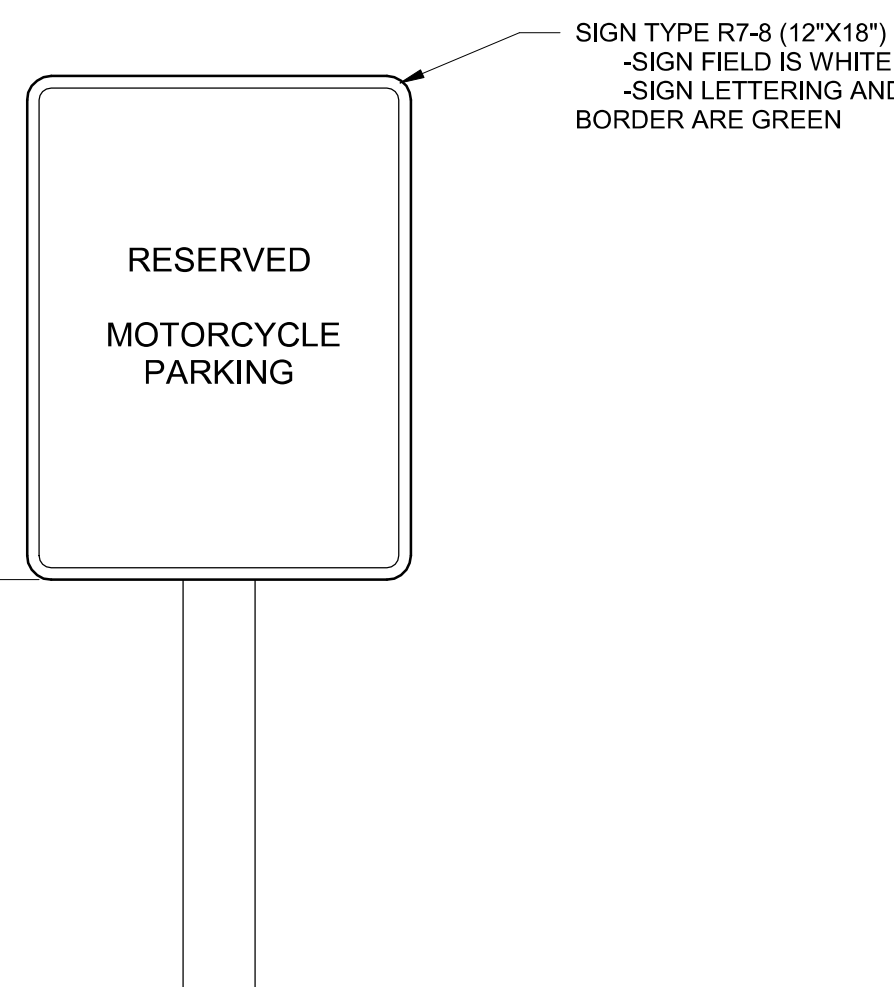
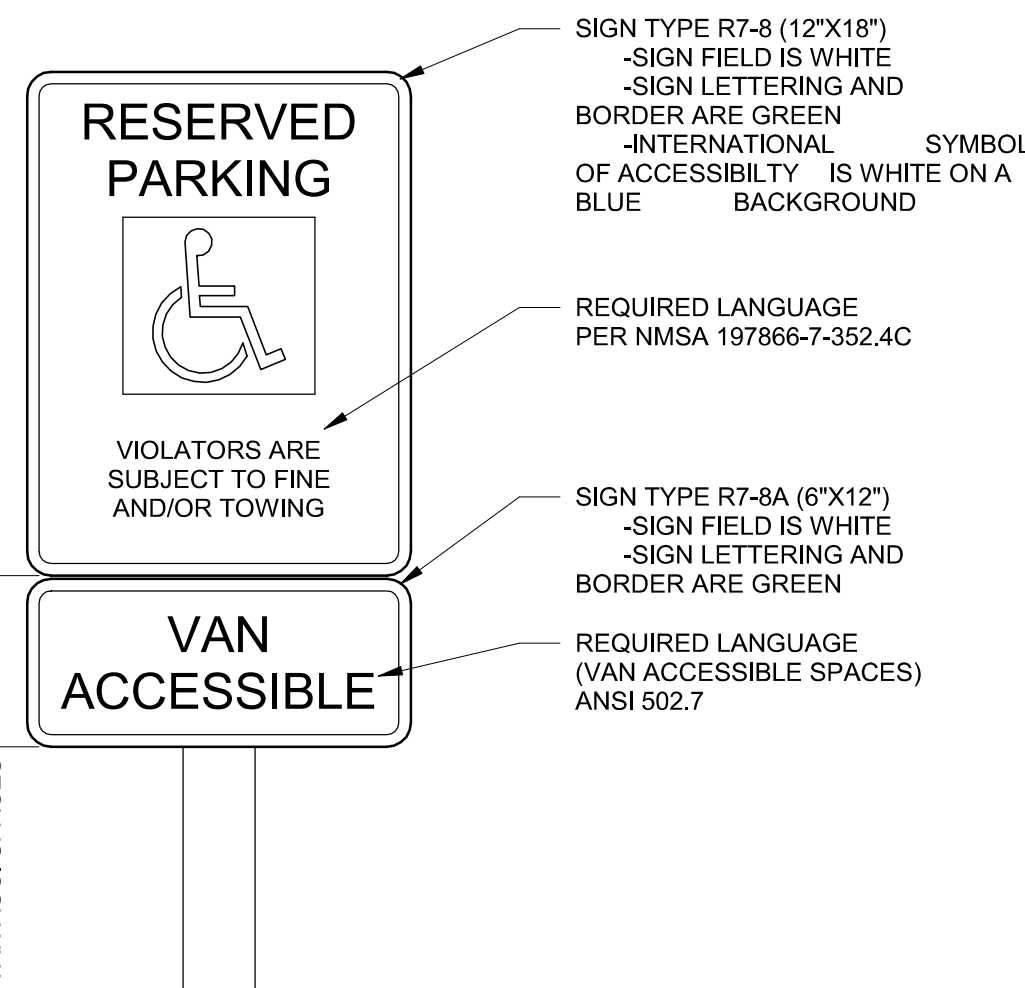
A1 SITE PLAN
1" = 20'-0"

J10 SIGN-ACC
6" = 1'-0"

F10 SIGN-MOTORCYCLE
6" = 1'-0"

D10 GATE DETAILS
1" = 1'-0"

A10 DOUBLE PIPE GATE-ELEVATION
1/2" = 1'-0"



COA STAMP AREA KEEP CLEAR

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
- REPAIR ALL SIDEWALK THAT ARE BROKEN OR CRACKED
- MONUMENT SIGN TO BE PURCHASED FROM PHILADELPHIA SIGN - COORDINATE POWER

REFERENCE KEYNOTES

- 02-2000.D EXISTING CURB TO REMAIN
- 02-2000.E EXISTING CHAIN LINK FENCE TO REMAIN
- 03-3000.B1 CONCRETE SLAB ON GRADE
- 03-3000.C CONCRETE FOOTING
- 03-3000.H CONCRETE CURB
- 03-3000.H1 CURB AND GUTTER
- 03-3000.J SIDEWALK
- 03-3000.J4 REPAIR EXISTING SIDEWALK- MAINTAIN A MINIMUM OF 4' IN FRONT OF EXISTING POWER POLES
- 03-3000.L SIDEWALK CULVERT WITH METAL GRATE
- 03-3000.P REMOVE EXISTING DRIVE WAY WITH NEW CURB, GUTTER AND SIDEWALK TO MATCH EXISTING
- 05-5213.A PIPE HANDRAIL
- 12-9300.B BICYCLE RACK
- 12-9300.B2 BICYCLE WORK STATION WITH AIR PUMP
- 12-9300.D PARKING SIGN WITH HANDICAP SYMBOL OF ACCESSIBILITY
- 12-9300.D1 PARKING SIGN WITH HANDICAP SYMBOL OF VAN ACCESSIBILITY
- 12-9300.D3 PARKING SIGN WITH MOTORCYCLE PARKING
- 31-0000.A FINISH GRADE
- 31-0000.B EARTH
- 32-1200.B MARKING AND STRIPING
- 32-1200.B1 STRIPING, WHITE
- 32-1200.B5 HANDICAP SYMBOL MARKING AND STRIPING, BLUE
- 32-1200.B6 HYBRID VEHICLE ONLY MARKING AND STRIPING, WHITE
- 32-3100.D DOUPLE PIPE SWING GATE
- 32-3100.D1 2" NOMINAL DIA. GALV. PIPE, MIN. WEIGHT PER FT. 3.65 LBS.
- 32-3100.D2 4" DIA. BLACK STEEL PIPE, MIN. 10.79 LBS./FT., CONC. FILLED, PAINT W/2 COATS ALUM. PAINT.
- 32-3100.D3 5" DIA. BLACK STEEL PIPE, MIN. 14.62 LBS./FT., PAINT W/2 COATS ALUM. PAINT.
- 32-3100.D4 1'-6" LENGTH OF ZINC COATED CHAIN, SEE ALSO KEY NOTE #6.
- 32-3100.D5 CONCRETE ROUNDED AT TOP OF POST.
- 32-3100.D6 WELD 2-1/2" STEEL LOOP TO PIPE GATE. STEEL SHALL BE 3/8" DIAMETER.
- 32-3100.D7 WELD A 1/4" THICK BY 1" WIDE STEEL PLATE TO ONE OF THE PIPE GATES.
- 32-3100.D8 1/2" SQ. STEEL BAR FOR HINGE SUPPORT, POSITION BAR TO ALLOW UNRESTRICTED GATE ROTATION THROUGH ENTIRE SWING OF GATE OPENING.
- 32-3100.D9 WELD ALL 2" PIPE & FIXTURE CONNECTIONS WITH 3/8" FILLET ALL AROUND.

SMPC Architects
PRINCIPLES OF DESIGN.

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Albuquerque, New Mexico 87102
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F 505 262 8665
www.smpcarchitects.com



Patricia Hancock
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Fiesta Subaru

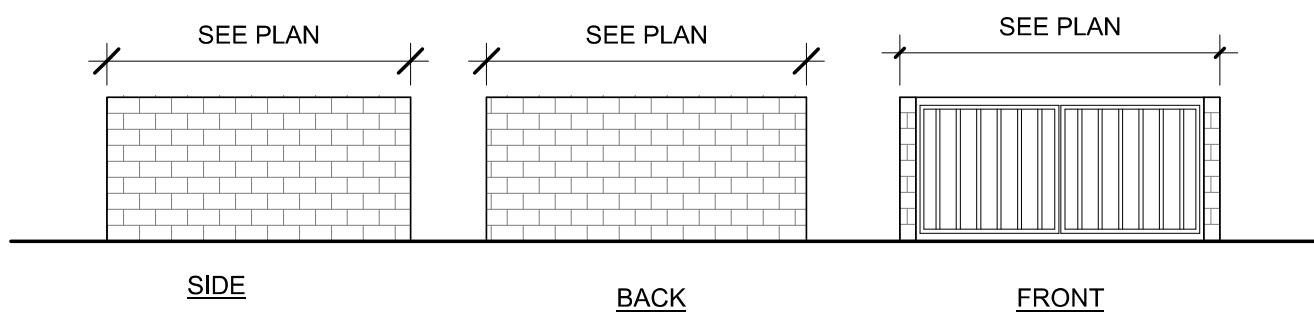
PERMIT SET

7100 Lomas Blvd. NE

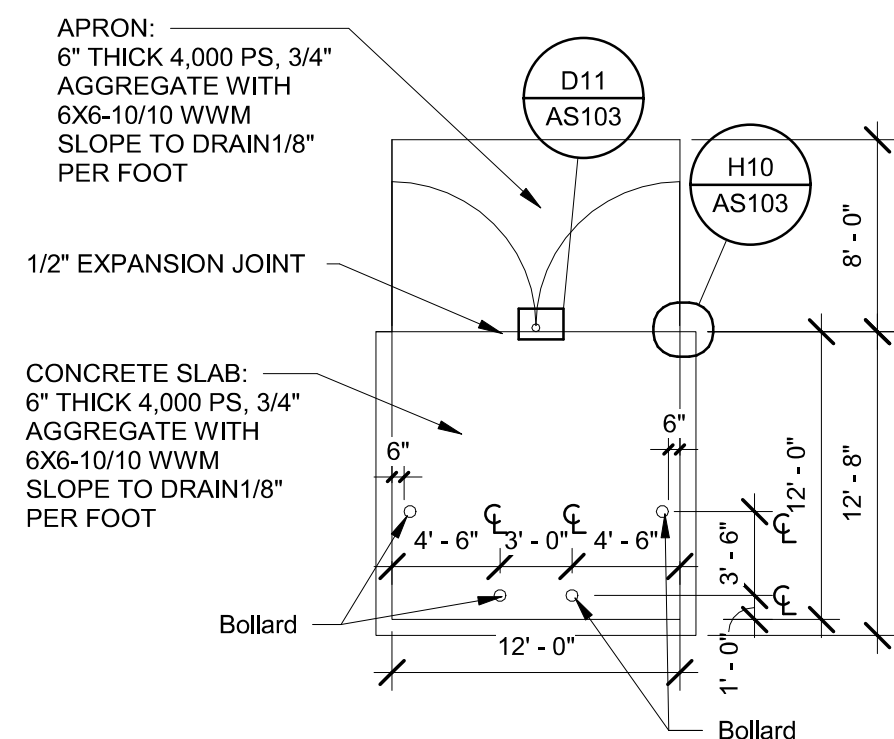
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WEST SITE PLAN

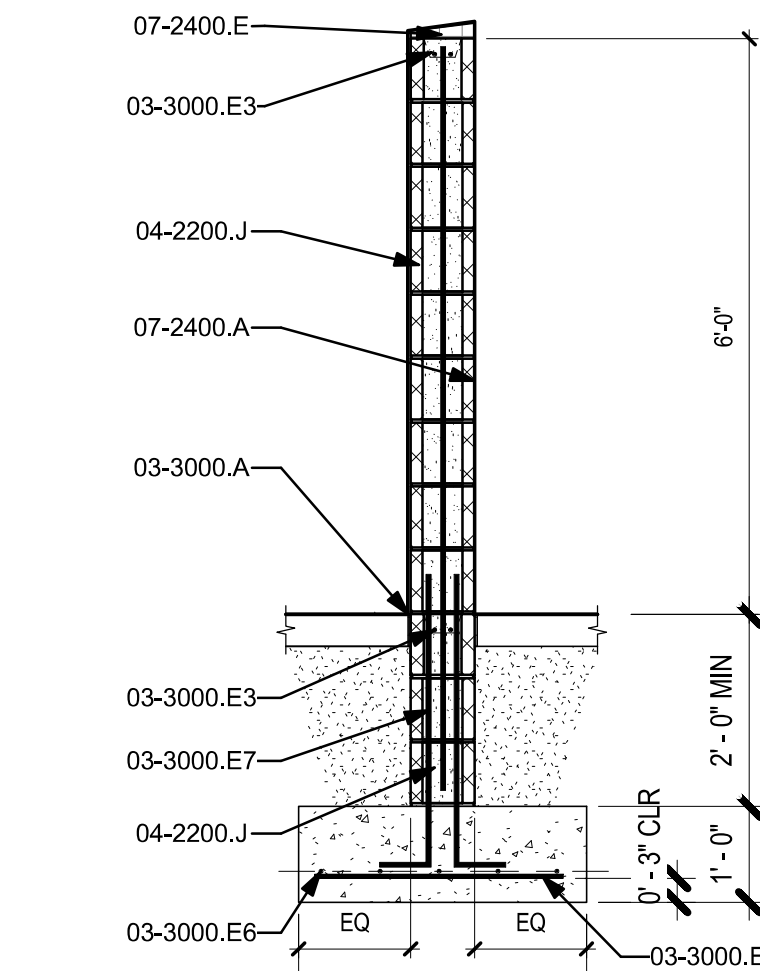
AS102



K1 REFUSE ELEVATION
1/8" = 1'-0"

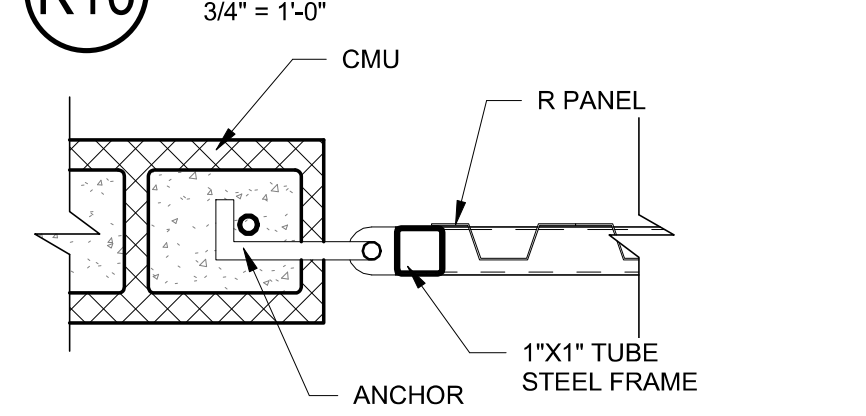


K5 REFUSE ENCLOSURE PLAN
1/8" = 1'-0"

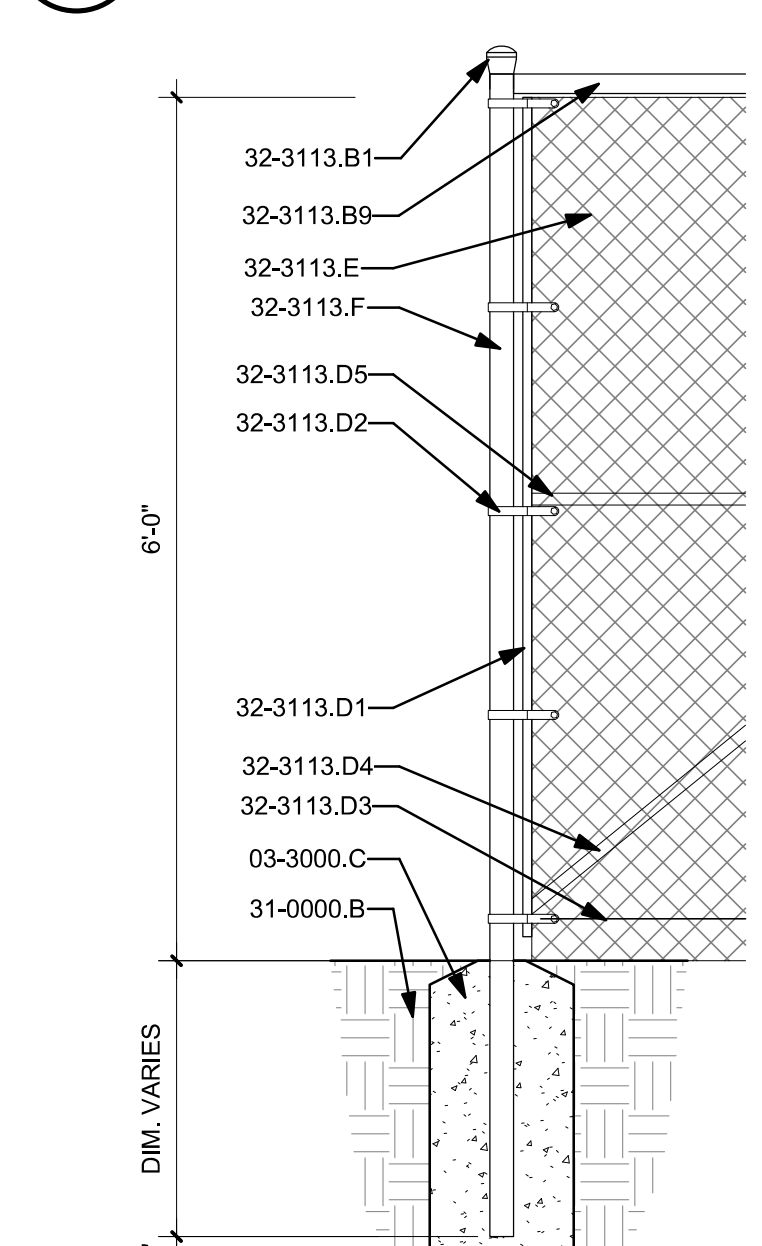


K8 REFUSE SECTION
1/2" = 1'-0"

K10 BOLLARD
3/4" = 1'-0"

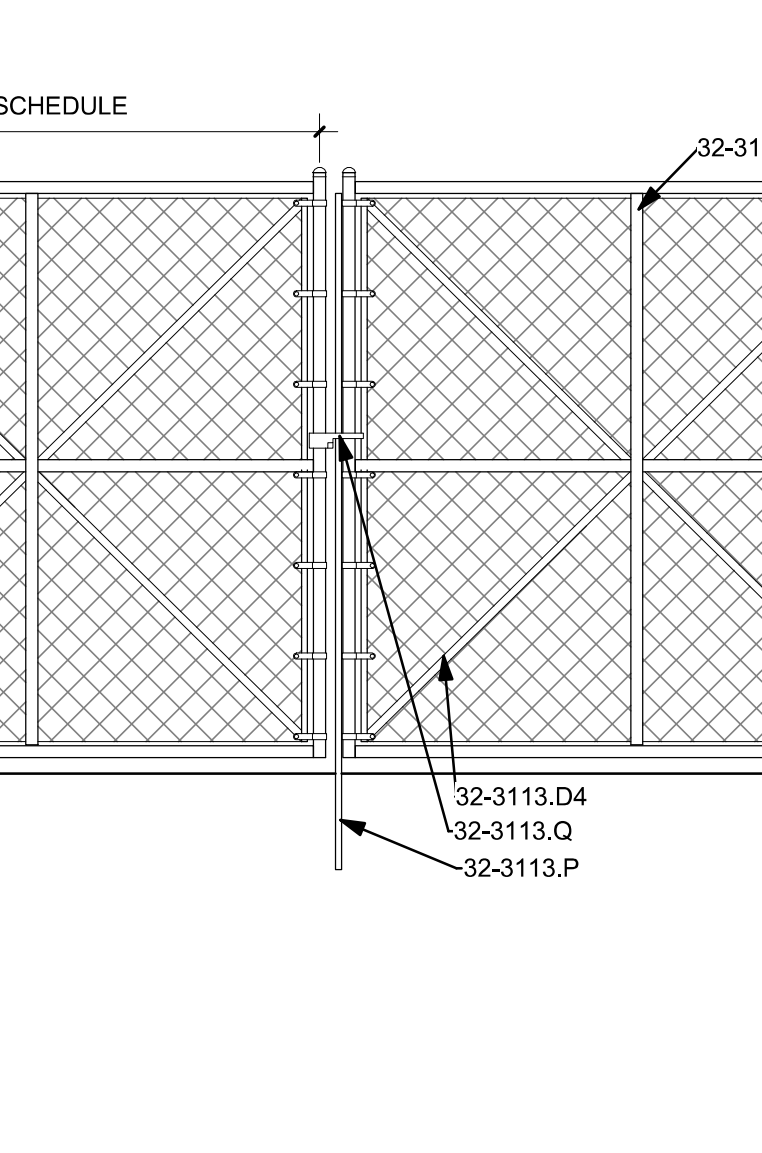


H10 GATE JAMB
1 1/2" = 1'-0"

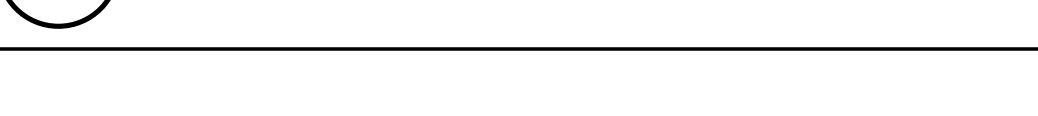


D10 CHAINLINK POST
3/4" = 1'-0"

D11 GATE CANE BOLT
1 1/2" = 1'-0"



A10 DOUBLE GATE ELEVATION
1/2" = 1'-0"

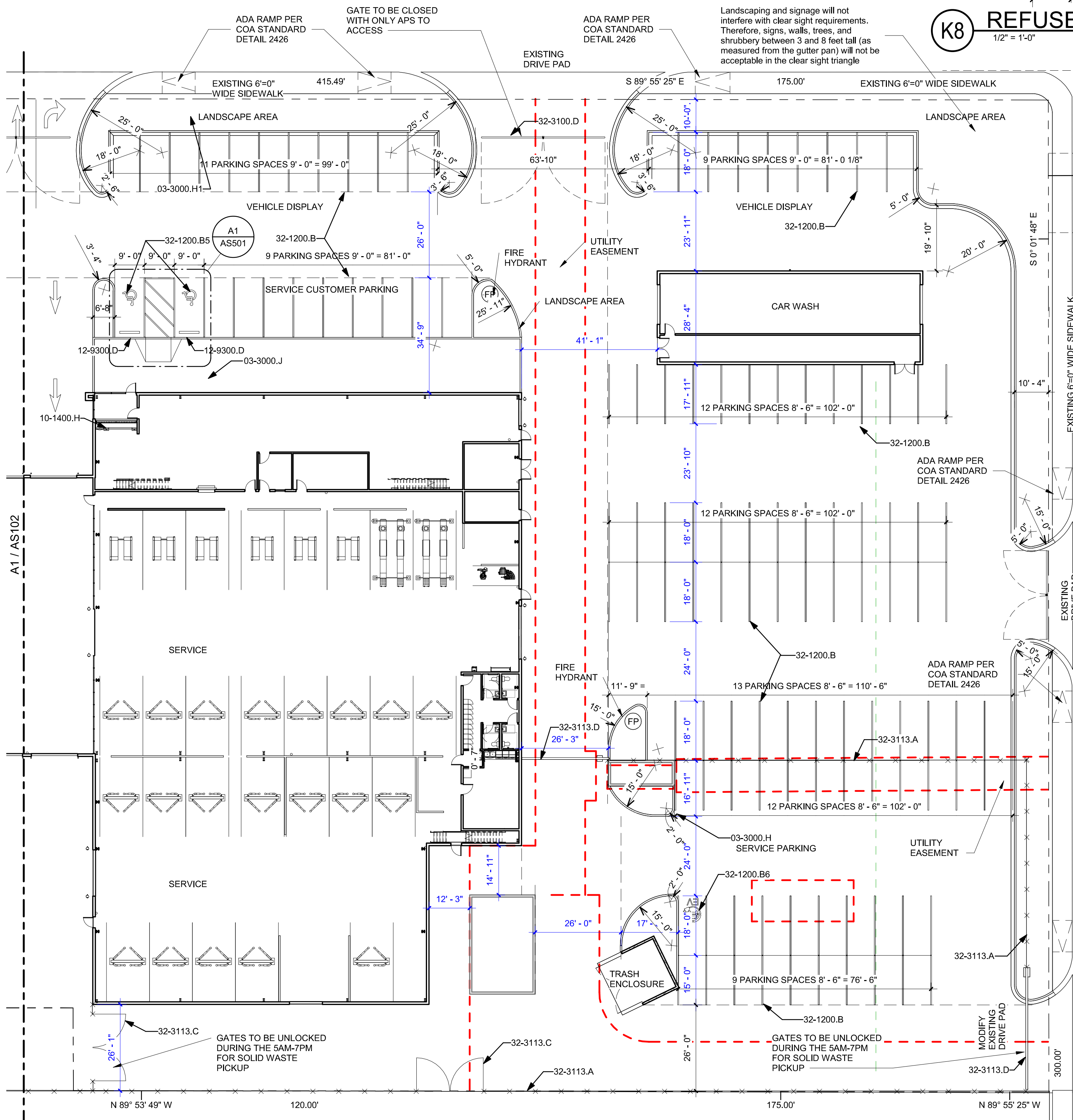


GENERAL NOTES

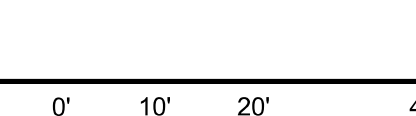
- IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
- REPAIR ALL SIDEWALKS THAT ARE BROKEN OR CRACKED

REFERENCE KEYNOTES

- EXPANSION JOINT MATERIAL, 1/2"
- CONCRETE FOOTING
- #5 REINFORCING BARS, CONTINUOUS IN BOND BEAM
- #5 REINFORCING BARS AT 16" OC TRANS
- #5 REINFORCING BARS, CONTINUOUS
- DIVL WITH STANDARD HOOK TO MATCH VERTICAL REINFORCEMENT
- CONCRETE CURB
- CURB AND GUTTER
- SIDEWALK
- GROUT ALL CELLS BELOW GRADE
- 6" DIA CONCRETE FILLED METAL BOLLARD, PAINTED
- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)
- RIGID FOAM INSULATION, SLOPE TO DRAIN
- ONE WAY DIRECTIONAL SIGNAGE
- PARKING SIGN WITH HANDICAP SYMBOL OF ACCESSIBILITY
- EARTH
- MARKING AND STRIPING
- HANDICAP SYMBOL MARKING AND STRIPING, BLUE
- HYBRID VEHICLE ONLY MARKING AND STRIPING, WHITE
- DOUBLE PIPE SWING GATE
- CHAIN LINK FENCE
- POST TOP CAP
- 1 7/8" O.D. BOTTOM RAIL (SS40)
- 1 7/8" O.D. TOP RAIL (SS40)
- 1 7/8" O.D. MIDDLE RAIL (SS40)
- 1 7/8" O.D. SIDE RAIL, WITH TOP CAP (SS40)
- 1 5/8" O.D. TOP RAIL (SS40)
- CHAIN LINK GATE
- ROLLING CHAINLINK GATE
- TENSION BAR, 3/16" X 3/4"
- TENSION BANDS, 15" O.C. MAX, 12 GAUGE
- BOTTOM TENSION WIRE, 7 GAUGE
- COMPRESSION BRACE, 1 5/8" O.D.
- TRUSS ROD
- 9 GAUGE X 2" MESH FABRIC, KNUCKLE TOP AND BOTTOM
- FENCE POST
- GATE POST, 6 5/8" O.D. (SCHED. 40) WITH POST CAP
- HINGE
- DROP BAR
- LATCH WITH RECEIVER FOR PADLOCK

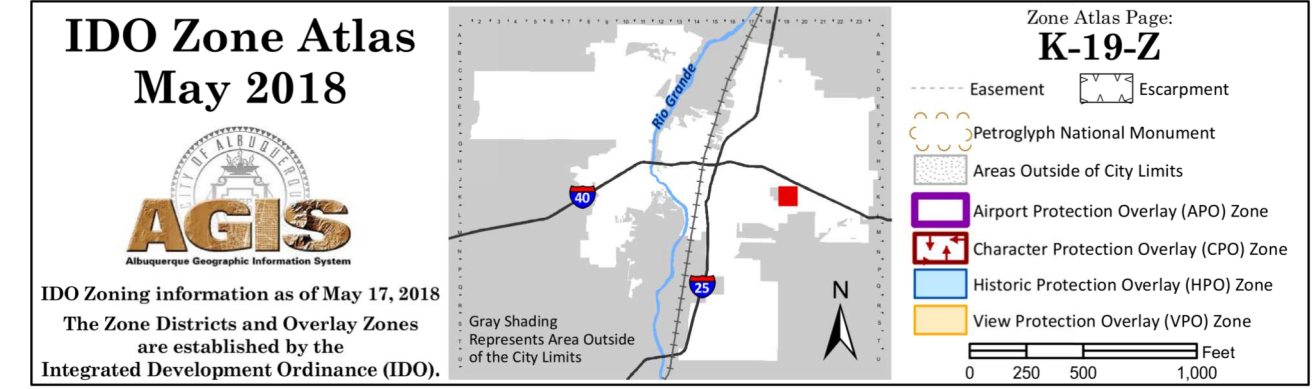
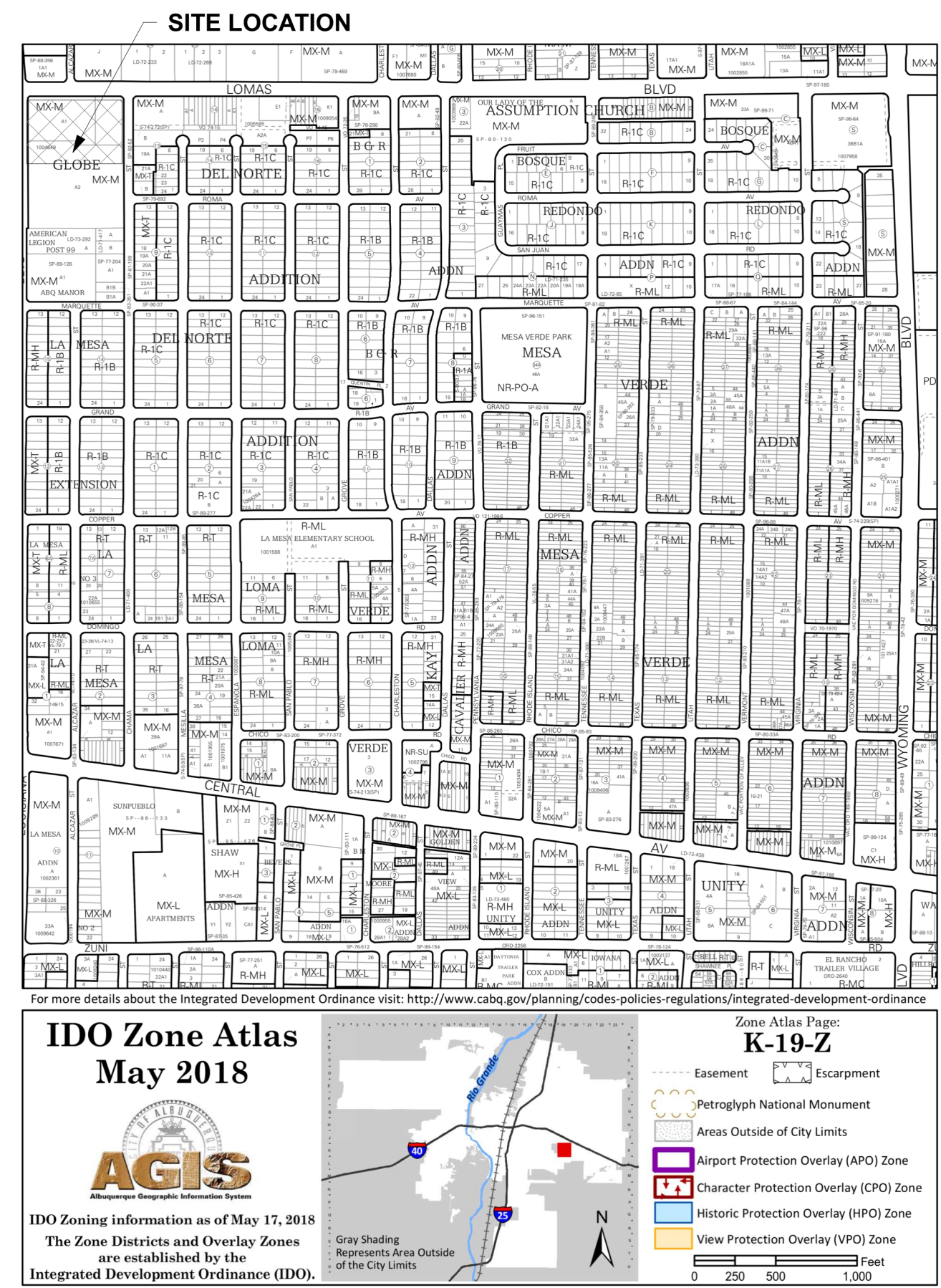
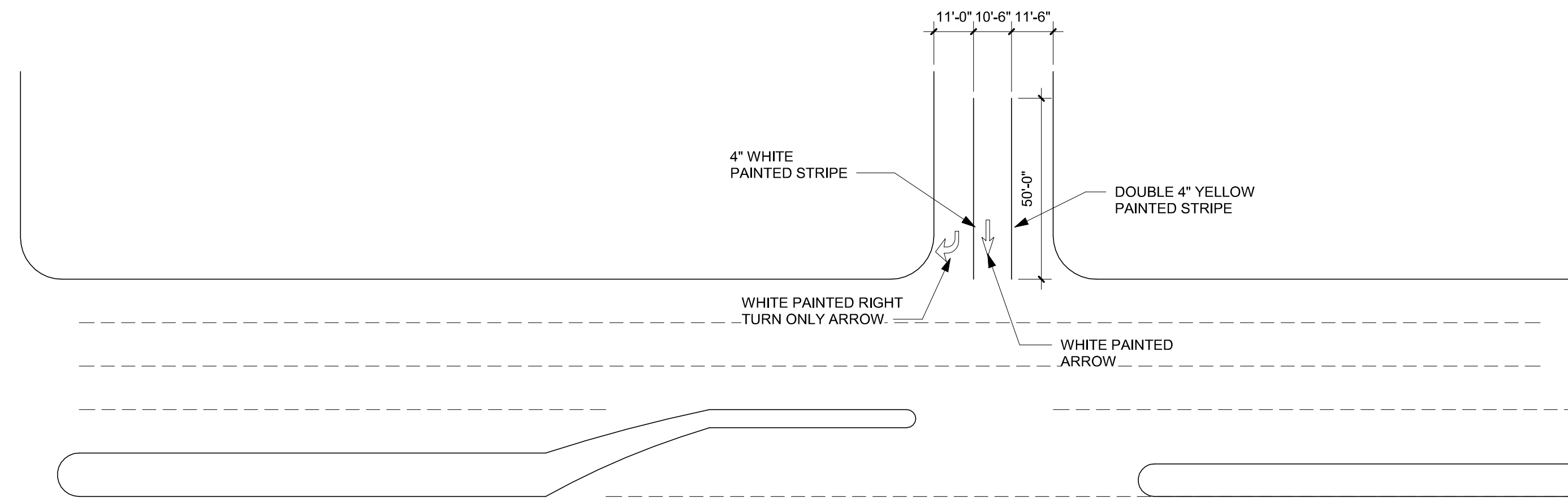


A1 SITE PLAN
1" = 20'-0"



TRAFFIC CIRCULATION LAYOUT APPROVED 04/29/2022

Jaanna Wolfenbarger



GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.

SITE INFORMATION

ADDRESS
7100 Lomas Blvd. NE, Albuquerque NM 87110

LEGAL DESCRIPTION
Tract A, LOT A-1-A
Globe Subdivision
Contains 3.8975 Acres

PROPERTY ZONE
MX-M (moderate intensity mixed use, C-2)

SCOPE OF WORK –
Demolition of existing buildings & Site improvements
Construction of new Car dealership with sales, service departments, and new car wash

PARKING REQUIREMENTS
Albuquerque IDO 2020 14-16-5 Table 5-5-1
Light Vehicle Repair - 1 space / 1,000 SF GFA - 21876 GFA = 31.8 Spaces
Light Vehicle Sale - 2 spaces / 1,000 SF GFA - 12456 GFA = 29.1 spaces
Car Wash - 2 spaces / 1,000 SF GFA - 2246 GFA = 4.5 spaces
Total 65.4 spaces

Parking Adjustments & Credit
5-5(C)(5)(c)2 Proximity to Transit
Reduce Parking by 10% when Public Transit is within 330 feet
65.4 spaces - 10% = 59 Required Spaces
5-5(C)(6)(a) Electrical Vehical Charging Station Parking Credit
Each Charging station = 2 or the required Parking
3 EV parking 59 - 3 = 56 Required Spaces

Motorcycle Parking Requirements Table 5-5-4
25-50 total spaces = 2 motor cycle spaces
Total spaces provided = 3

Accessible Parking
NM Commercial Building Code table 1106.1
36-50 required spaces: 3 Accessible spaces (1 Van Accessible)

PROVIDED PARKING	
ADA =	4
EV =	3
MOTORCYCLE =	3
PARKING =	41
VEHICLE DISPLAY =	213
TOTAL =	264

Bicycles
Albuquerque IDO 2020 14-16-5(E) Table 5-5-5
Non-Residential use=10% of required parking
5 required
Total Provided = 6

MATERIAL LEGEND

CONCRETE	DOG PARK SEE LANDSCAPE DRAWINGS
ASPHALT	LANDSCAPING SEE LANDSCAPE DRAWINGS



Patricia Hancock
2022.03.21 15:04:21-06:00'

Fiesta Subaru

PERMIT SET

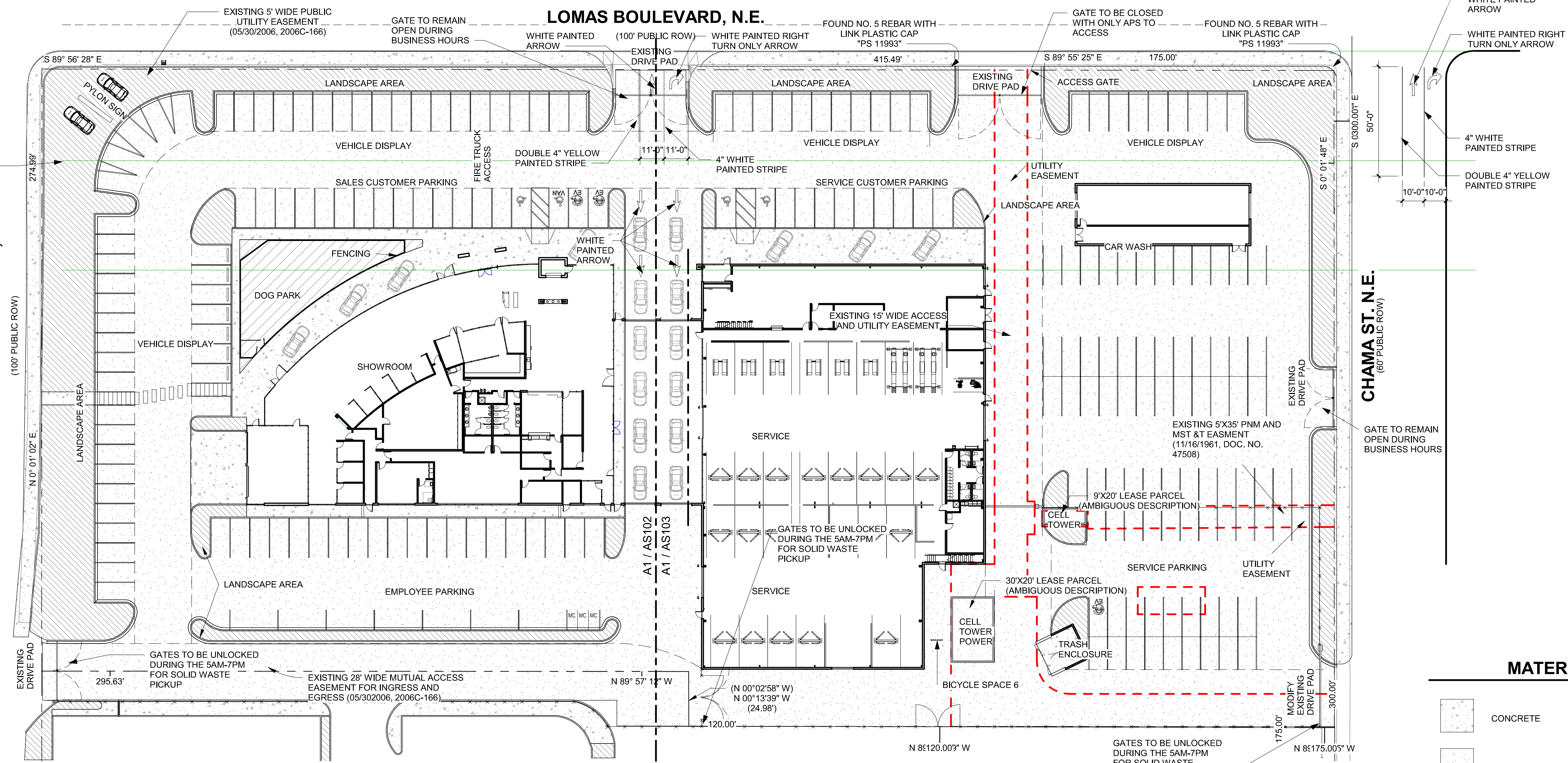
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SITE PLAN

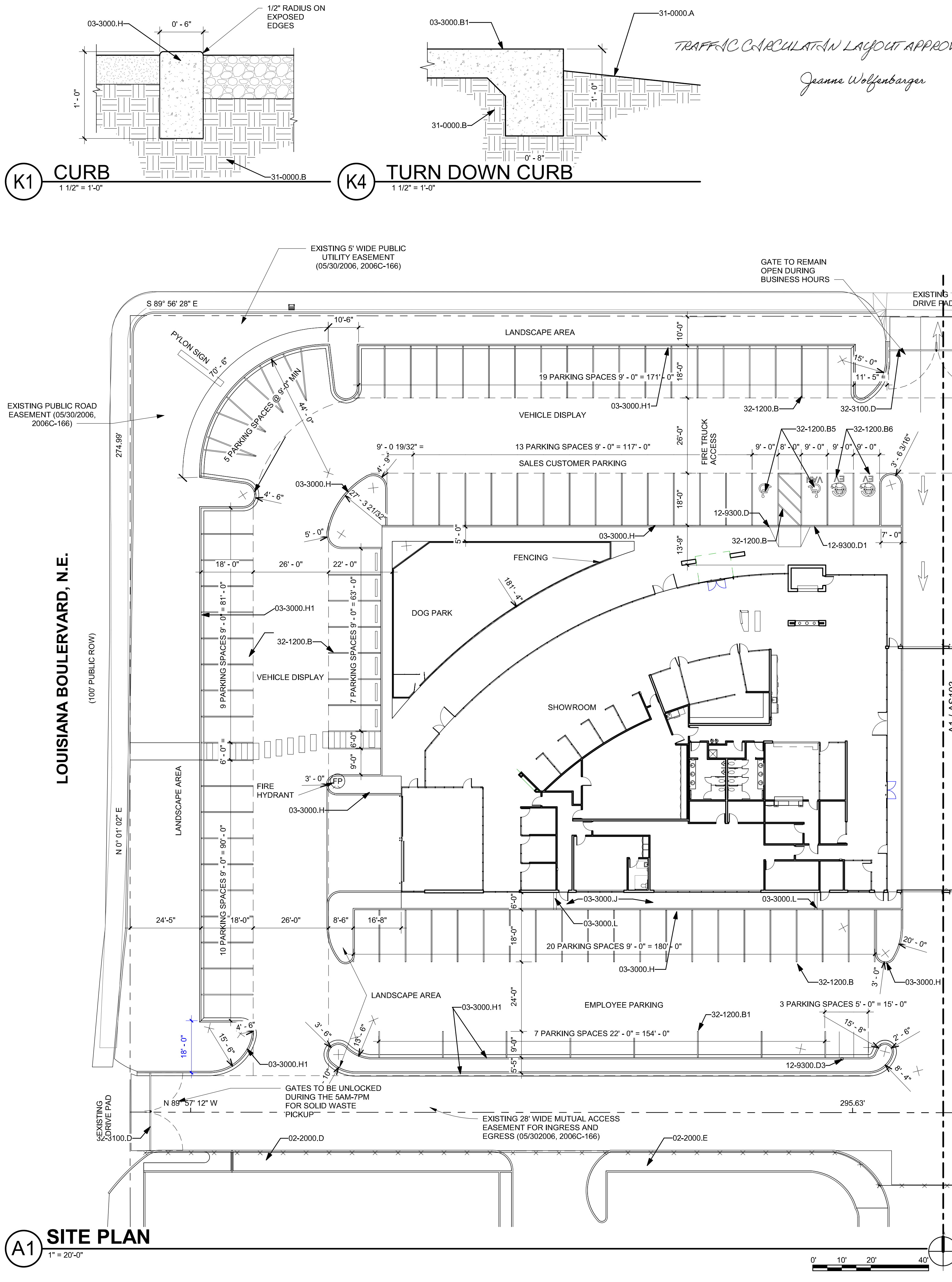
AS101

LOUISIANA BOULEVARD, N.E.

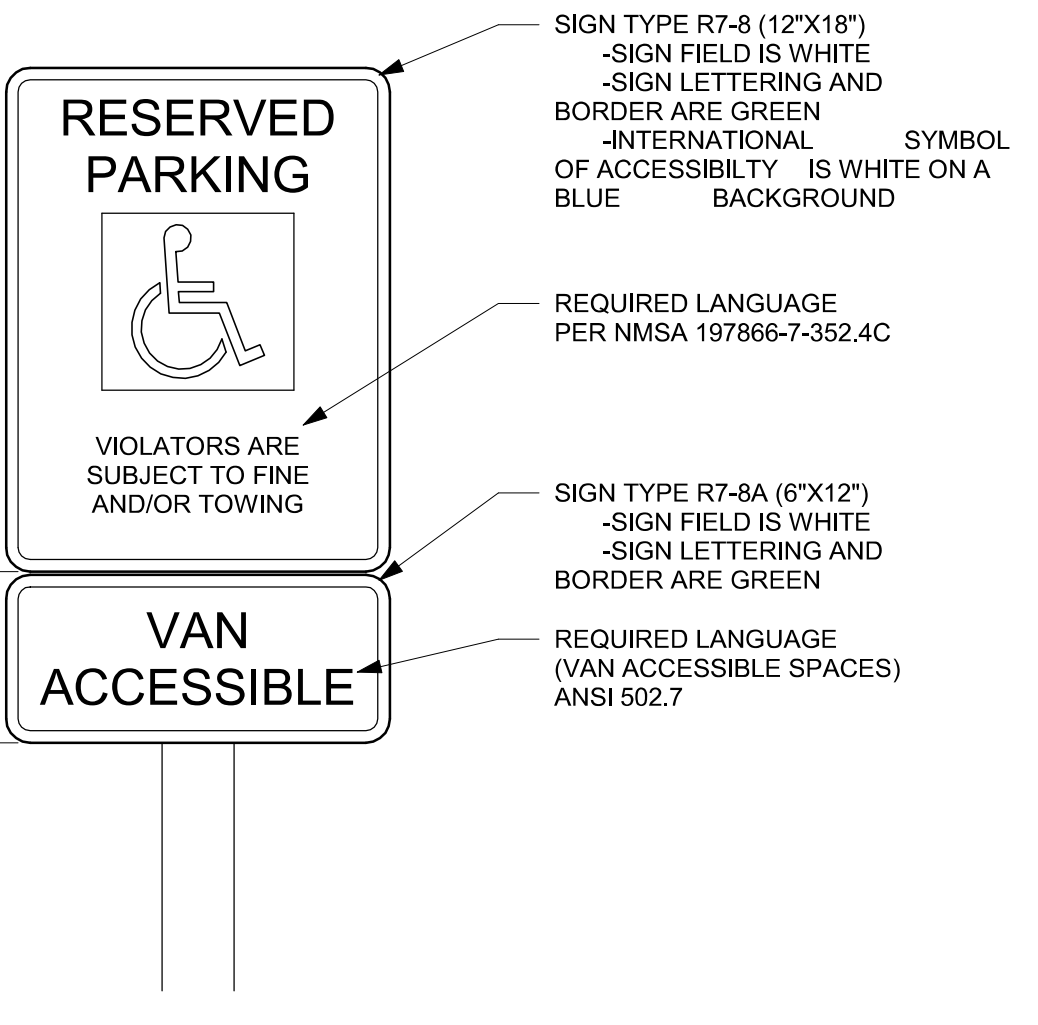


A1 SITE PLAN

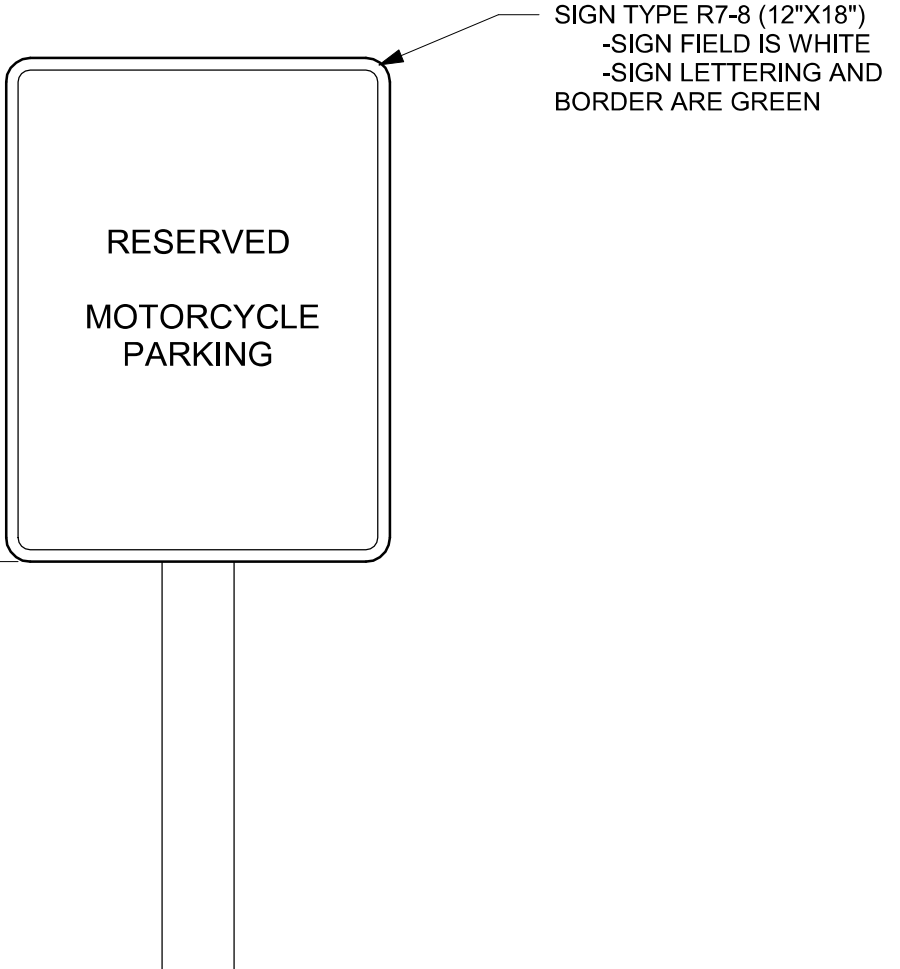
1" = 30'-0"



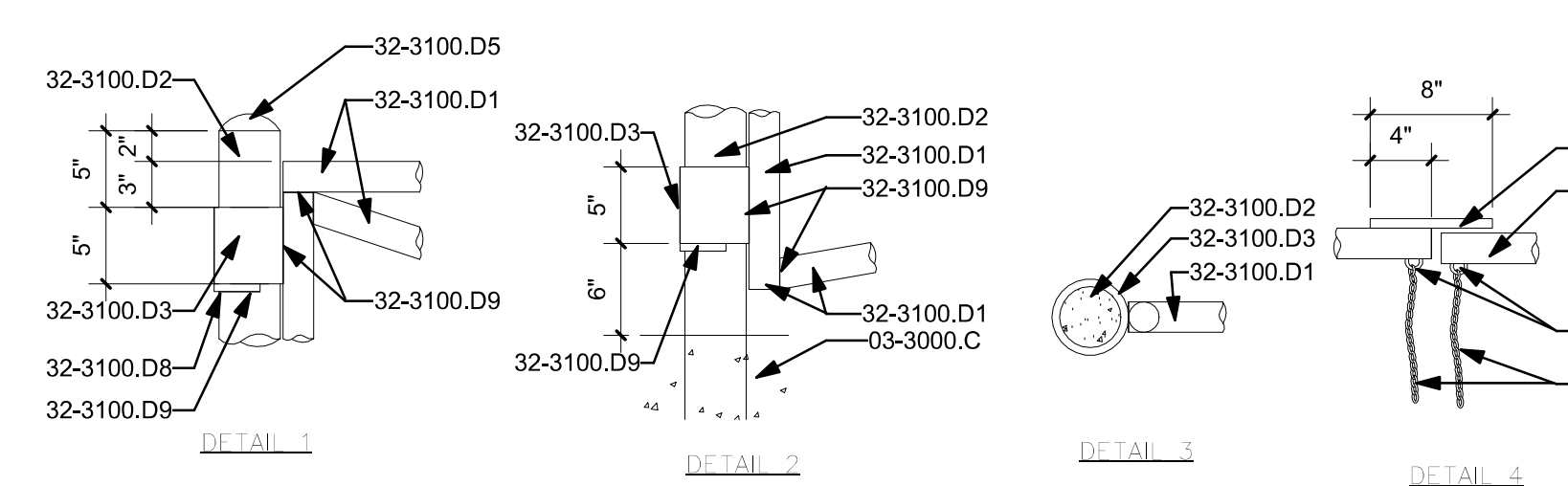
TRAFFIC CIRCULATION LAYOUT APPROVED 04/29/2022
Jeanne Wolfenbarger



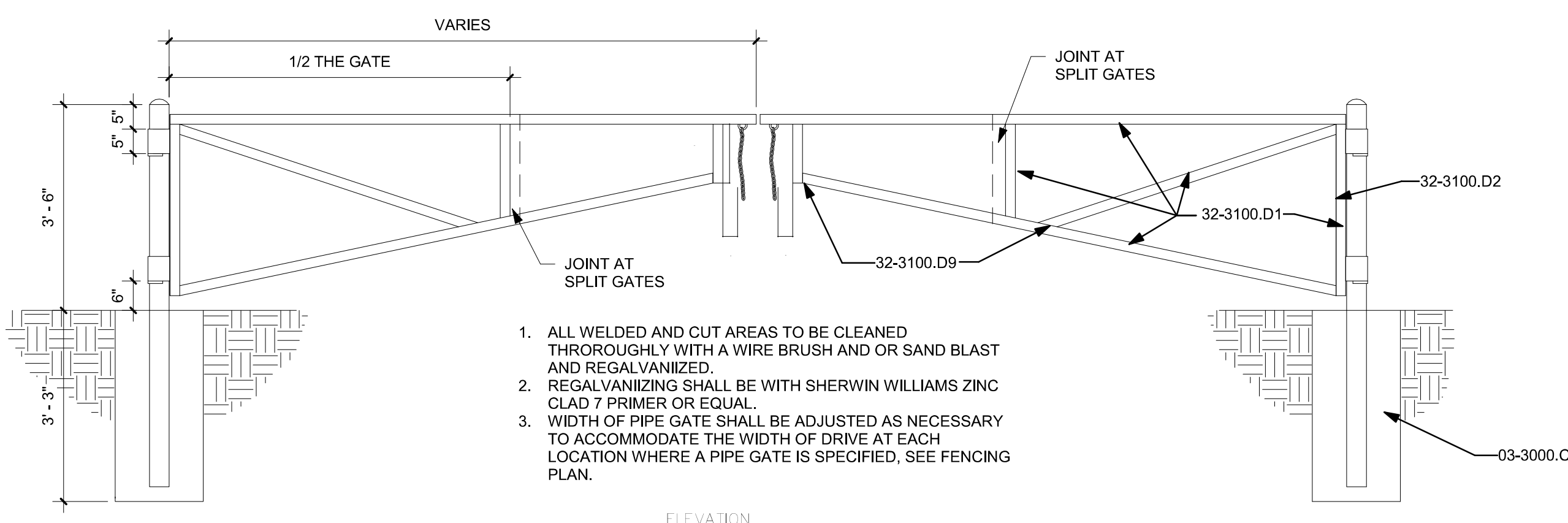
J10 SIGN-ACC
6" = 1'-0"



F10 SIGN-MOTORCYCLE
6" = 1'-0"



D10 GATE DETAILS
1" = 1'-0"



A10 DOUBLE PIPE GATE-ELEVATION
1/2" = 1'-0"

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
- MONUMENT SIGN TO BE PURCHASED FROM PHILADELPHIA SIGN - COORDINATE POWER

REFERENCE KEYNOTES

- 02-2000.D EXISTING CURB TO REMAIN
- 02-2000.E EXISTING CHAIN LINK FENCE TO REMAIN
- 03-3000.B1 CONCRETE SLAB ON GRADE
- 03-3000.C CONCRETE FOOTING
- 03-3000.H CONCRETE CURB
- 03-3000.H1 CURB AND GUTTER
- 03-3000.J SIDEWALK
- 03-3000.L SIDEWALK CULVERT WITH METAL GRATE
- 12-9300.D PARKING SIGN WITH HANDICAP SYMBOL OF ACCESSIBILITY
- 12-9300.D1 PARKING SIGN WITH HANDICAP SYMBOL OF VAN ACCESSIBILITY
- 12-9300.D3 PARKING SIGN WITH MOTORCYCLE PARKING
- 31-0000.A FINISH GRADE
- 31-0000.B EARTH
- 32-1200.B MARKING AND STRIPING
- 32-1200.B1 STRIPING, WHITE
- 32-1200.B5 HANDICAP SYMBOL MARKING AND STRIPING, BLUE
- 32-1200.B6 HYBRID VEHICLE ONLY MARKING AND STRIPING, WHITE
- 32-3100.D DOUBLE PIPE SWING GATE
- 32-3100.D1 2" NOMINAL DIA. GALV. PIPE, MIN. WEIGHT PER FT. 3.65 LBS.
- 32-3100.D2 4" DIA. BLACK STEEL PIPE, MIN. 10.79 LBS./FT., CONC. FILLED, PAINT W/2 COATS ALUM. PAINT.
- 32-3100.D3 5" DIA. BLACK STEEL PIPE, MIN. 14.62 LBS./FT., PAINT W/2 COATS ALUM. PAINT.
- 32-3100.D4 1/4" LENGTH OF ZINC COATED CHAIN, SEE ALSO KEY NOTE #6.
- 32-3100.D5 CONCRETE ROUNDED AT TOP OF POST.
- 32-3100.D6 WELD 2-1/2" STEEL LOOP TO PIPE GATE. STEEL SHALL BE 3/8" DIAMETER.
- 32-3100.D7 WELD A 1/4" THICK BY 1" WIDE STEEL PLATE TO ONE OF THE PIPE GATES.
- 32-3100.D8 1/2" SQ. STEEL BAR FOR HINGE SUPPORT. POSITION BAR TO ALLOW UNRESTRICTED GATE ROTATION THROUGH ENTIRE SWING OF GATE OPENING.
- 32-3100.D9 WELD ALL 2" PIPE & FIXTURE CONNECTIONS WITH 3/8" FILLET ALL AROUND.

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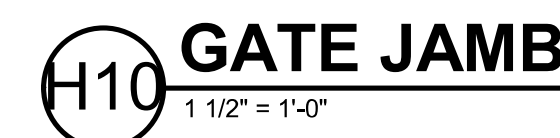
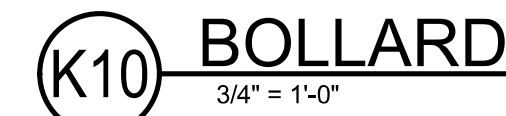
STATE OF NEW MEXICO
PATRICIA H. HANCOCK
REGISTERED ARCHITECT
NO. 2095
Patricia Hancock
2022.03.21 15:04:22-06:00'

Fiesta Subaru

PERMIT SET

7100 Lomas Blvd. NE

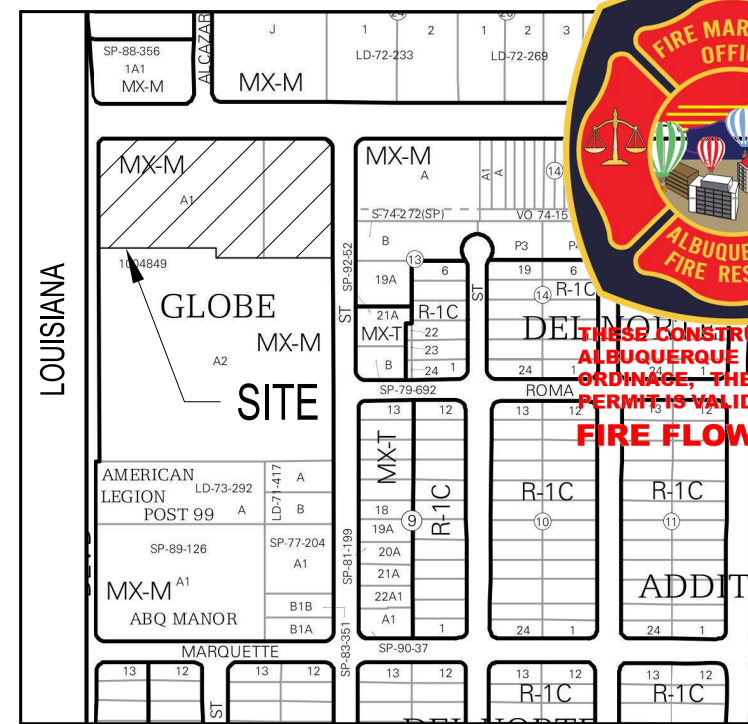
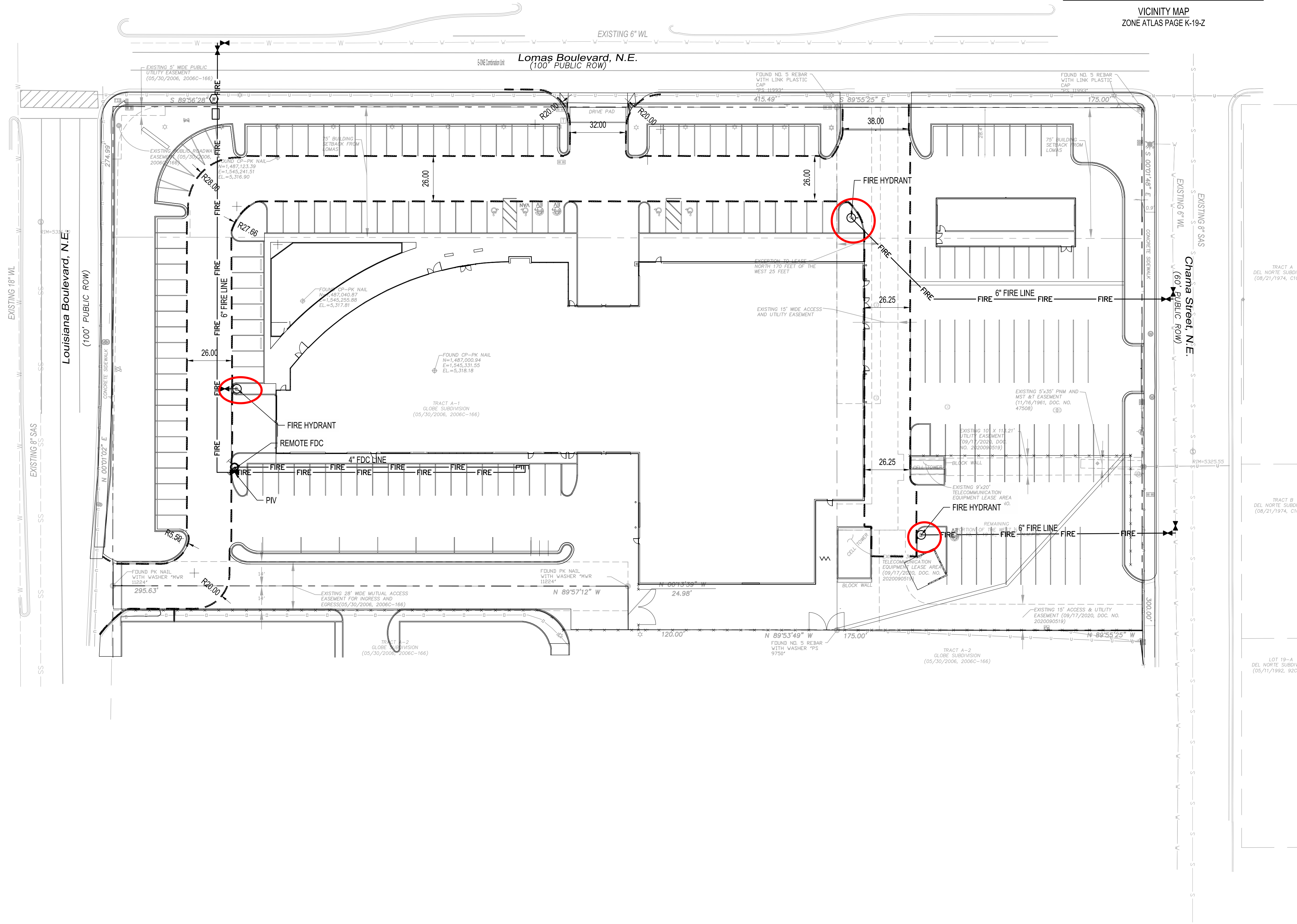
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SHEET TITLE		
WEST SITE PLAN		
AS102		



D.J. Laskowski

03-3000.A	EXPANSION JOINT MATERIAL, 1/2"
03-3000.C	CONCRETE FOOTING
03-3000.E3	#5 REINFORCING BARS, CONTINUOUS IN BOND BEAM
03-3000.E5	#5 REINFORCING BARS AT 16" OC TRANS
03-3000.E6	#5 REINFORCING BARS, CONTINUOUS
03-3000.E7	DWL WITH STANDARD HOOK TO MATCH VERTICAL REINFORCEMENT
03-3000.H	CONCRETE CURB
03-3000.H1	CURB AND GUTTER
03-3000.J	SIDEWALK
04-2200.J	GROUT ALL CELLS BELOW GRADE
05-0000.D	4" DIA CONCRETE FILLED METAL BOLLARD, PAINTED
07-2400.A	EXTENDED INSULATION AND FINISH SYSTEM (EIFS)
07-2400.E	RIGID FOAM INSULATION, SLOPE TO DRAIN
07-2300.D	PARKING SIGN WITH HANDICAP SYMBOL OF ACCESSIBILITY
31-0000.B	EARTH
32-1200.B	MARKING AND STRIPING
32-1200.B5	HANDICAP SYMBOL MARKING AND STRIPING, BLUE
32-1200.B6	HYBRID VEHICLE ONLY MARKING AND STRIPING, WHITE
32-3100.D	DOUBLE PIPE SWING GATE
32-3113.A	CHAIN LINK FENCE
32-3113.B1	POST TOP CAP
32-3113.B2	1 7/8" O.D. BOTTOM RAIL (SS40)
32-3113.B3	1 7/8" O.D. TOP RAIL (SS40)
32-3113.B4	1 7/8" O.D. MIDDLE RAIL (SS40)
32-3113.B5	1 7/8" O.D. SIDE RAIL, WITH TOP CAP (SS40)
32-3113.B9	1 5/8" O.D. TOP RAIL (SS40)
32-3113.C	CHAIN LINK GATE
32-3113.D	ROLLING CHAINLINK GATE
32-3113.D1	TENSION BAR, 3/16" X 3/4"
32-3113.D2	TENSION BANDS, 15" O.C. MAX, 12 GAUGE
32-3113.D3	BOTTOM TENSION WIRE, 7 GAUGE
32-3113.D4	COMPRESSION BARE, 1 5/8" O.D.
32-3113.D5	TRUSS ROD
32-3113.E	9 GAUGE X 2" MESH FABRIC, KNUCKLE TOP AND BOTTOM
32-3113.F	FENCE POST
32-3113.F2	GATE POST, 6 5/8" O.D. (SCHED. 40) WITH POST CAP
32-3113.H	HINGE
32-3113.P	DROP BAR
32-3113.Q	LATCH WITH RECEIVER FOR PADLOCK

AS103



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP 21-008316
APPROVED DATE: 11/18/21
APPROVED
DELINQUENT CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 28 3375 GPM 3 HYDRANTS

BUILDING INFORMATION

TOTAL BUILDING AREA: 47,884 SF

CONSTRUCTION TYPE: IIB

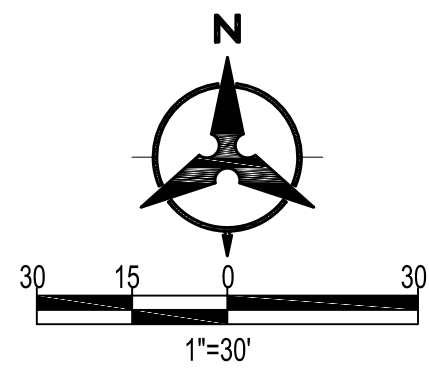
SPRINKLERED: YES

FIRE FLOW: 2,375 GPM

HYDRANTS REQUIRED: 3

LEGEND

- PROPERTY LINE
- MARKED FIRE ACCESS
- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING WATER LINE
- EXISTING VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED VALVE
- PROPOSED WATER METER
- PROPOSED HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED POST INDICATOR VALVE (PIV)
- PROPOSED CAP



Bohannon & Huston
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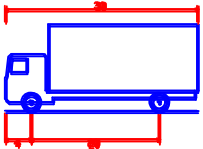
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FIESTA SUBARU

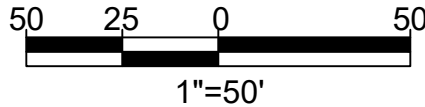
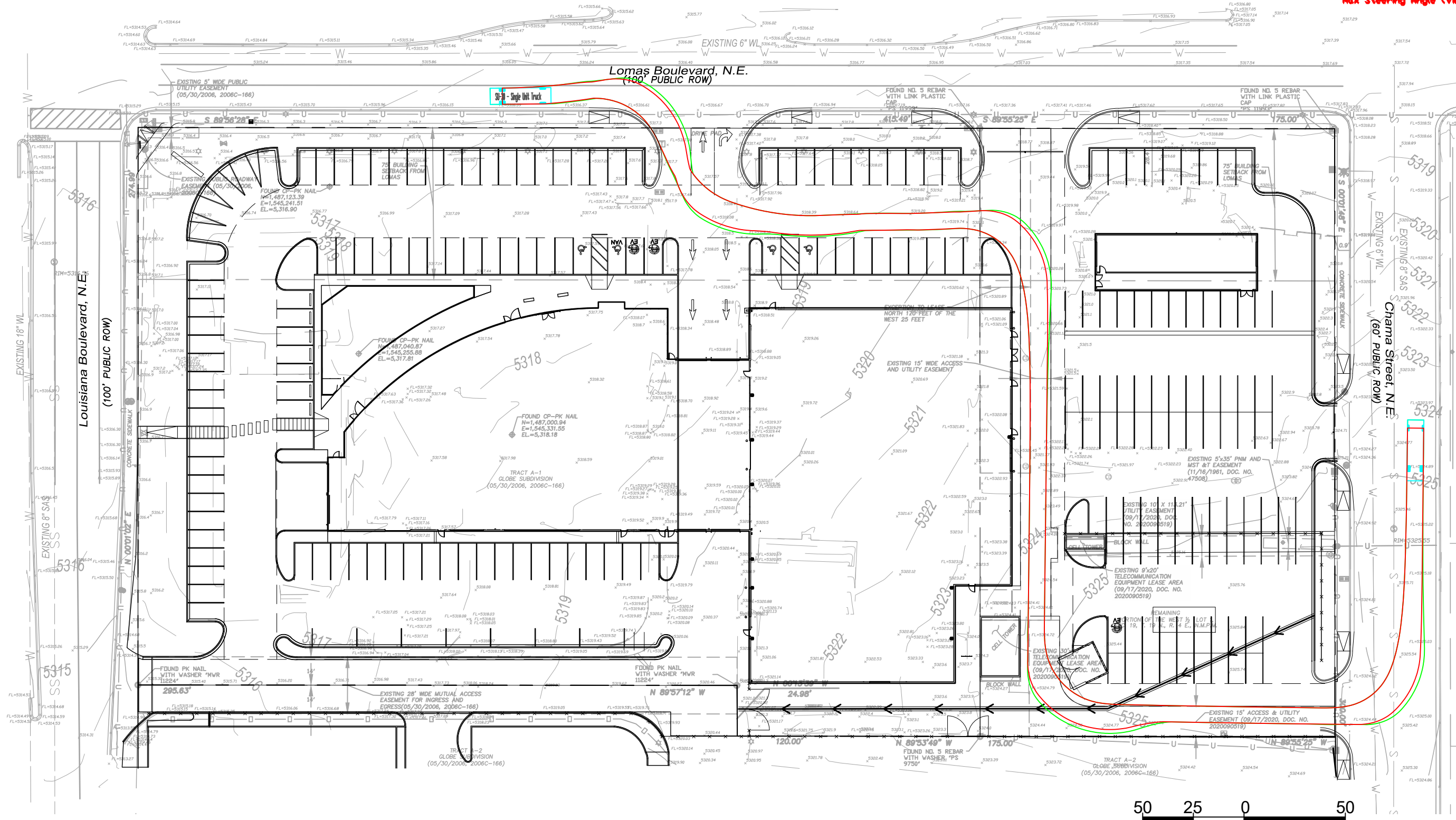
7100 Lomas Blvd

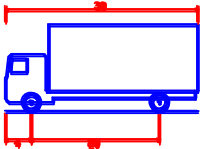
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FIRE 1 PLAN

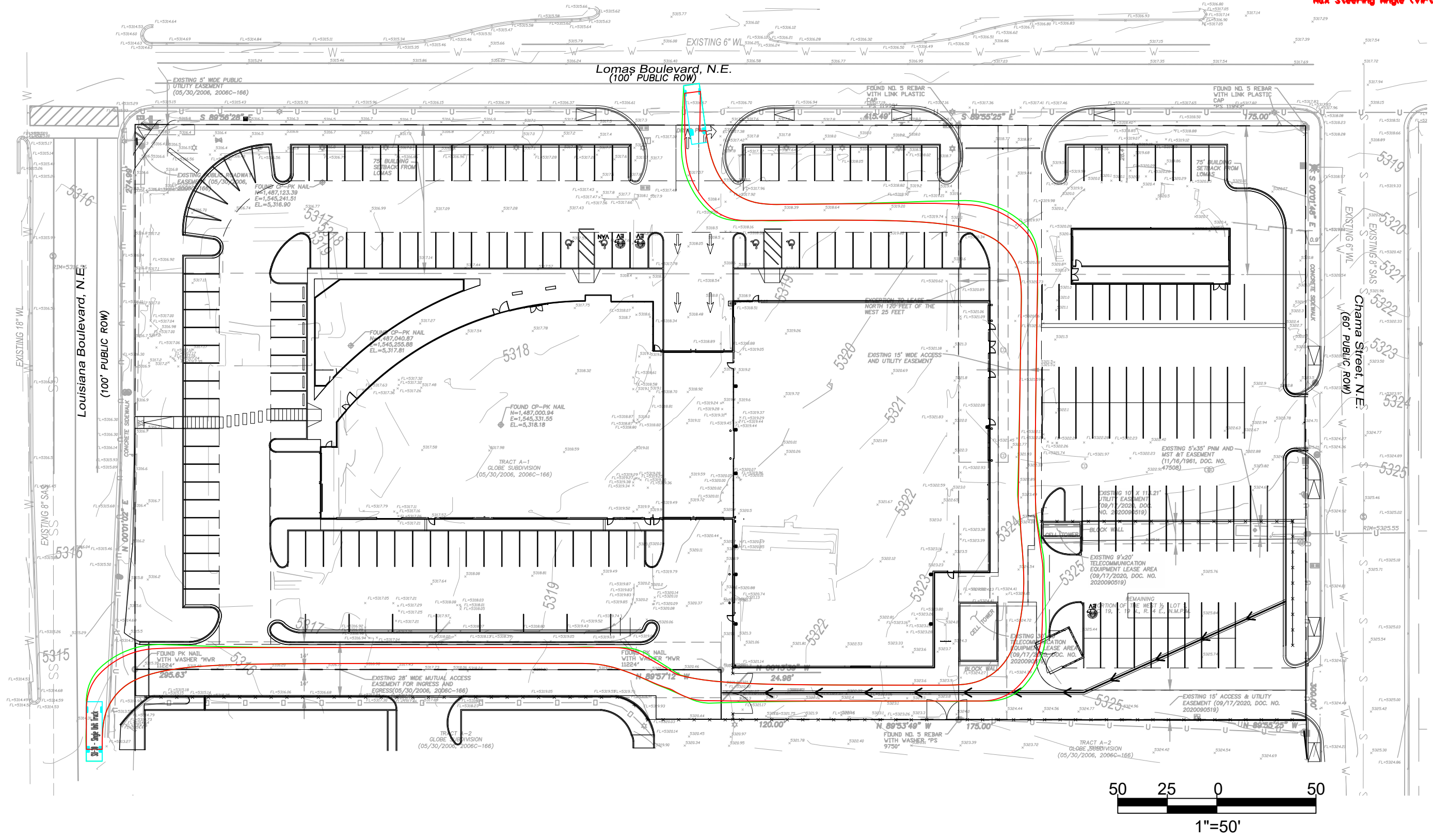


SU-30 = Single Unit Truck
Overall Length 30.00ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Max Body Ground Clearance 8.00ft
Lock to Lock 11.00ft
Max Steering Angle (Virtual) 31.80°



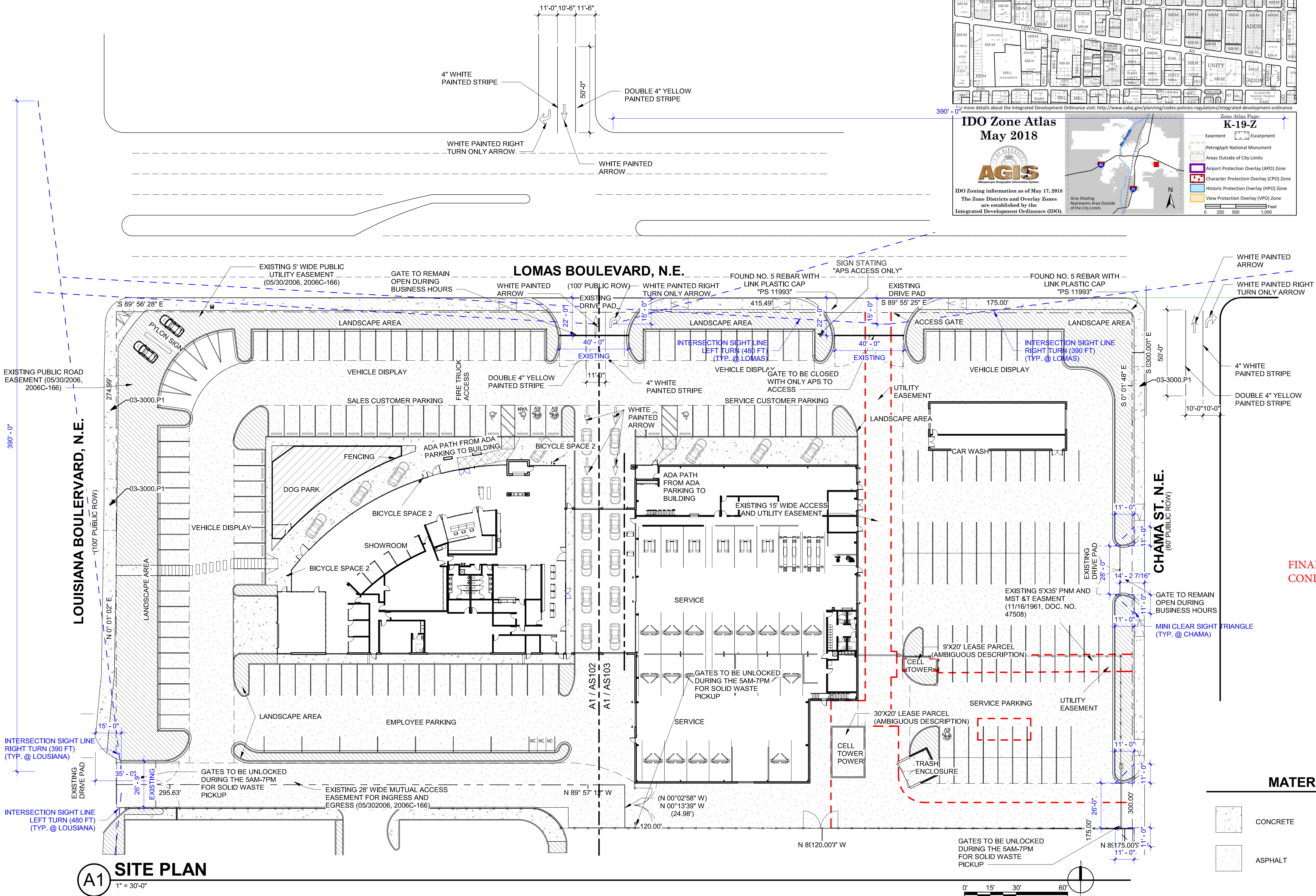
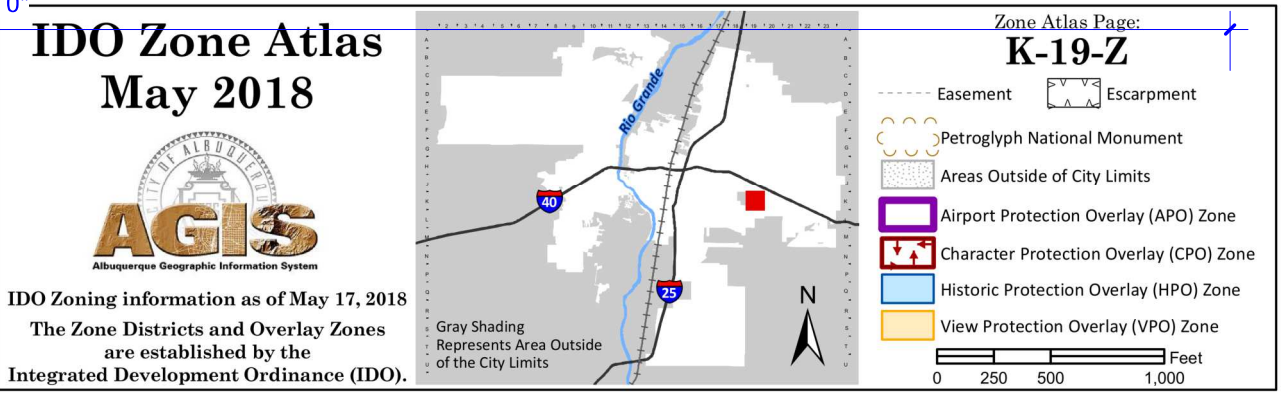
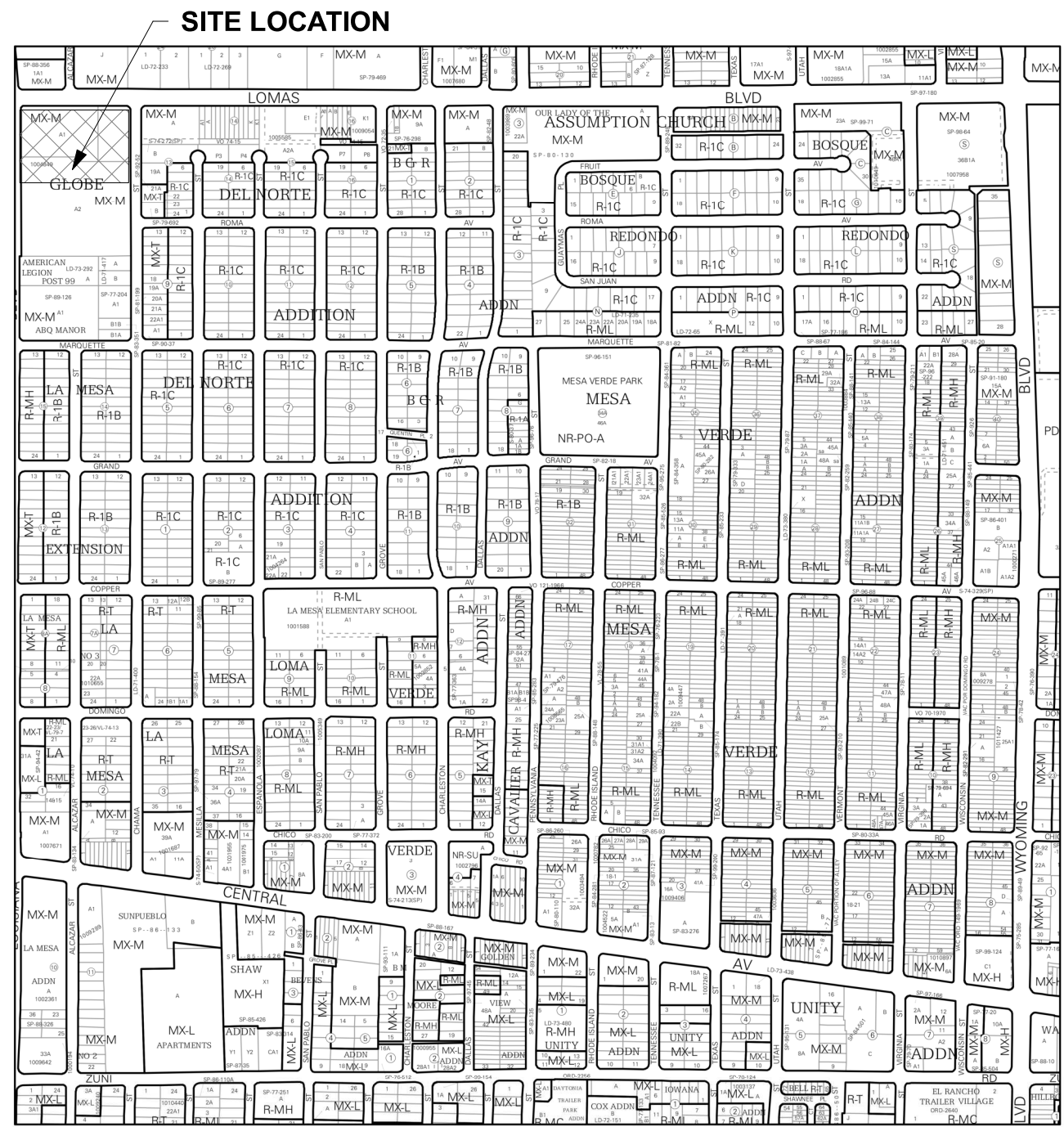


SU-30 = Single Unit Truck
Overall Length 30.00ft
Overall Width 8.50ft
Overall Body Height 13.50ft
Max Body Ground Clearance 8.00ft
Track Width 6.00ft
Lock-to-locking Max Steering Angle (Virtual) 31.80°



TRAFFIC CIRCULATION LAYOUT APPROVED
04/29/2022

Jeanne Wolfenbarger



COA STAMP AREA KEEP CLEAR

GENERAL NOTES

- IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.

SITE INFORMATION

ADDRESS
7100 Lomas Blvd. NE, Albuquerque NM 87110

LEGAL DESCRIPTION
Tract A, LOT A-1-A
Globe Subdivision
Contains 3.8975 Acres

PROPERTY ZONE
MX-M (moderate intensity mixed use, C-2)

SCOPE OF WORK –
Demolition of existing buildings & Site improvements
Construction of new Car dealership with sales, service departments, and new car wash

PARKING REQUIREMENTS
Albuquerque IDO 2020 14-16-5 Table 5-5-1
Light Vehicle Repair - 1 space / 1,000 SF GFA - 21876 GFA = 31.8 Spaces
Light Vehicle Sale - 2 spaces/ 1,000 SF GFA - 12456 GFA= 29.1 spaces
Car Wash - 2 spaces/ 1,000 SF GFA - 2246 GFA= 4.5 spaces

Total 65.4 spaces

Parking Adjustments & Credit
5-5(C)(5)(c)2 Proximity to Transit
Reduce Parking by 10% when Public Transit is within 330 feet
65.4 spaces - 10% = 59 Required Spaces

5-5(C)(6)(a) Electrical Vehical Carging Station Parking Credit
Each Charging station = 2 or the required Parking
3 EV parking 59 - 3 = 56 Required Spaces

Motorcycle Parking Requirements Table 5-5-4
25-50 total spaces = 2 motor cycle spaces
Total spaces provided = 3

Accessible Parking
NM Commercial Building Code table 1106.1
36-50 required spaces 3 Accessible spaces (1 Van Accessible)

PROVIDED PARKING

ADA =	4
EV =	3
MOTORCYCLE =	3
PARKING =	56
VEHICLE DISPLAY =	185
TOTAL =	260

Bicycles
Albuquerque IDO 2020 14-16-5(E) Table 5-5-5
Non-Residential use=10% of required parking
6 required
Total Provided = 6

GENERAL NOTES

- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.
- STRIPING IN COA RIGHT-OF-WAY SHALL REQUIRE A WORK ORDER OR A PERMIT THROUGH DMD AT MINIMUM, AND THE C.O. SHALL NOT BE APPROVED UNTIL THIS WORK IS COMPLETED. THE STRIPING A CONDITION OF CO APPROVAL IT WILL NOTED ON THE APPROVED TCL ITSELF BY US.

REFERENCE KEYNOTES

03-3000.P1 REPLACE EXISTING DRIVES WITH NEW CURB, GUTTER AND SIDEWALK PER COA STANDARD DRAWING (2430 AND 2415A) (TYPICAL)

MATERIAL LEGEND

CONCRETE	DOG PARK SEE LANDSCAPE DRAWINGS
ASPHALT	LANDSCAPING SEE LANDSCAPE DRAWINGS

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Patricia Hancock
2022.04.28 12:57:50-06'00'

Fiesta Subaru

PERMIT SET

7100 Lomas Blvd. NE

SITE PLAN

AS101

GENERAL NOTES

GENERAL NOTES

1. IF THIS SHEET IS NOT 24" X 36", THEN THE DRAWINGS ON IT ARE NOT TO SCALE.
2. MONUMNET SIGN TO BE PURCHASED FROM PHILIDELPHIA SIGN - COORDINATE POWER

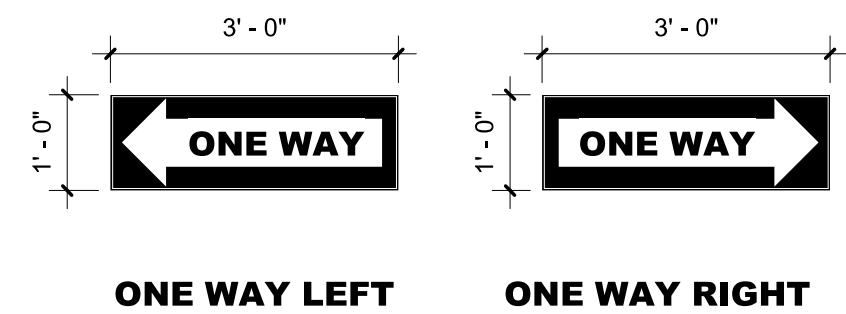
REFERENCE KEYNOTES

03-3000.A	EXPANSION JOINT MATERIAL, 1/2"
03-3000.B1	CONCRETE SLAB ON GRADE
05-5000.E	1 1/2" O.C. GALV. STEEL PIPE EMBEDDED IN CONCRETE FOOTING
31-0000.B	EARTH



Patricia Hancock
2022.04.29 09:43:53-06'00'

Jeanne Wolfenbarger



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SITE DETAILS

AS501