City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 22, 2001

Levi J. Valdez, P.E.
George T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

RE: **Grading and Drainage Certification**
Joe Gallegos/ 134 Mesilla Street NE
(K-19/D019)- 134 Mesilla St. NE
Engineer's Stamp dated 2/6/1996
Engineering Certification dated 1/18/2001

Dear Mr. Valdez:

Based upon the information provided in your Engineers Certification submittal dated 1/18/2001, the above referenced site is approved for Certificate of Occupancy.

If I can be of further assistance, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Senior Civil Engineer, PWD

C: Vickie Chavez, COA
Teresa Martin,COA
file

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: JOE GALLEGOS ZONE ATLAS/DRNG. FILE #: K-19/D109

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 35 & 36, BLK. 4, LA MESA SUBDIVISION

CITY ADDRESS: 134 MESILLA STREET N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. GEORGE T. RODRIGUEZ CONTACT: MR. VALDEZ MR. RODRIGUEZ

ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320

OWNER: MR. JOE GALLEGOS CONTACT: OWNER

ADDRESS: 134 MESILLA ST. N.E. PHONE: 265-5312

ARCHITECT: FRED ARAGON CONTACT: MR. ARAGON

ADDRESS: 1428 LAFAYETTE N.E. 87106 PHONE: 265-9612

SURVEYOR: TORRES SURVEYING CONTACT: JIM TORRES

ADDRESS: _____ PHONE: _____

CONTRACTOR: OWNER CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:
- ___ DRAINAGE REPORT
- ___ DRAINAGE PLAN
- ___ CONCEPTUAL GRADING & DRAINAGE PLAN
- ___ GRADING PLAN
- ___ EROSION CONTROL PLAN
- ✔ ENGINEER'S CERTIFICATION
- ___ OTHER _____

PRE-DESIGN MEETING:
- ___ YES
- ___ NO
- ___ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
- ___ SKETCH PLAT APPROVAL
- ___ PRELIMINARY PLAT APPROVAL
- ___ S. DEV. PLAN FOR SUB'D APPROVAL
- ___ S. DEV PLAN FOR BLDG. PERMIT APPROVAL
- ___ SECTOR PLAN APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ FOUNDATION PERMIT APPROVAL
- ___ BUILDING PERMIT APPROVAL
- ✔ CERTIFICATE OF OCCUPANCY APPROVAL
- ___ GRADING PERMIT APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ S.A.D. DRAINAGE REPORT
- ___ DRAINAGE REQUIREMENTS
- ___ SUBDIVISION CERTIFICATION
- ___ OTHER _____ (SPECIFY)

DATE SUBMITTED: 01-19-01

BY: G. T. RODRIGUEZ

RECEIVED
JAN 18 2001
PWD/DESIGN REVIEW

Revised 02/98

City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 14, 1996

Levi J. Valdez
Geroge T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, NM 87123

RE: DRAINAGE PLAN FOR 134 MESILLA ST. NE (K19-D109) ENGINEER'S STAMP DATED 2/6/96.

Dear Mr. Valdez:

Based on the information provided on your February 14, 1996 submittal, the above referenced site is approved for Building & Grading/Paving.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

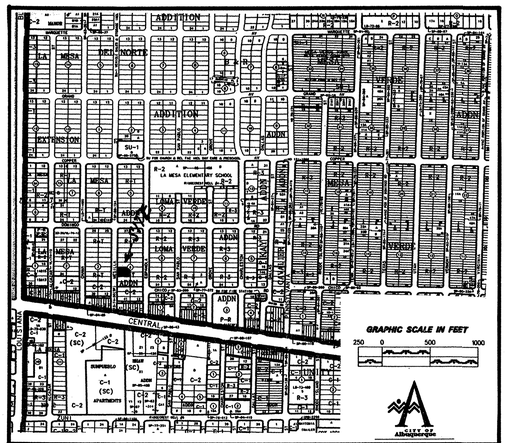
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

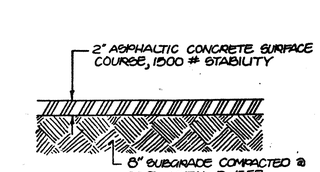
BJM/dl

c: Andrew Garcia
File



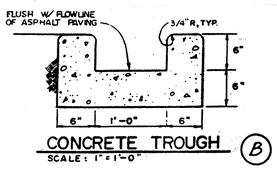
VICINITY MAP

K-19-Z



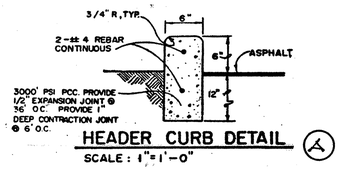
TYPICAL PAVEMENT SECTION

SCALE : 1" = 1'-0"



CONCRETE TROUGH (B)

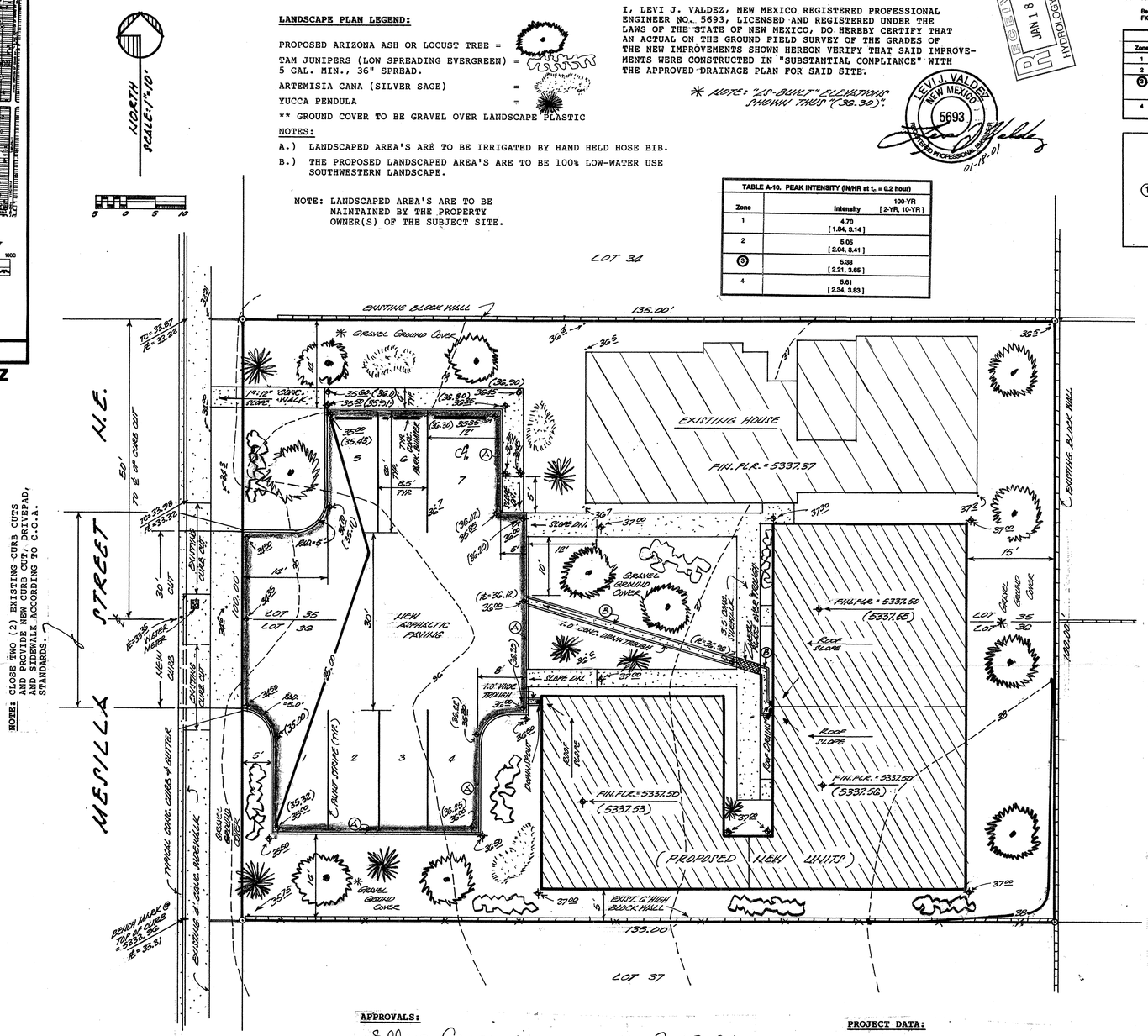
SCALE : 1" = 1'-0"



HEADER CURB DETAIL (A)

SCALE : 1" = 1'-0"

NOTE: CLOSE TWO (2) EXISTING CURB CUTS AND PROVIDE NEW CURB CUT, DRIVEPAD, AND SIDEWALK ACCORDING TO C.O.A. STANDARDS.



LANDSCAPE PLAN LEGEND:

PROPOSED ARIZONA ASH OR LOCUST TREE =

TAM JUNIPERS (LOW SPREADING EVERGREEN) = 5 GAL. MIN., 36" SPREAD.

ARTEMISIA CANA (SILVER SAGE) =

YUCCA PENDULA =

** GROUND COVER TO BE GRAVEL OVER LANDSCAPE PLASTIC

NOTES:

A.) LANDSCAPED AREA'S ARE TO BE IRRIGATED BY HAND HELD HOSE BIB.

B.) THE PROPOSED LANDSCAPED AREA'S ARE TO BE 100% LOW-WATER USE SOUTHWESTERN LANDSCAPE.

NOTE: LANDSCAPED AREA'S ARE TO BE MAINTAINED BY THE PROPERTY OWNER(S) OF THE SUBJECT SITE.

ENGINEER'S CERTIFICATION:

I, LEVI J. VALDEZ, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5693, LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT AN ACTUAL ON THE GROUND FIELD SURVEY OF THE GRADES OF THE NEW IMPROVEMENTS SHOWN HEREON VERIFY THAT SAID IMPROVEMENTS WERE CONSTRUCTED IN "SUBSTANTIAL COMPLIANCE" WITH THE APPROVED DRAINAGE PLAN FOR SAID SITE.

* NOTE: "AS-BUILT" ELEVATIONS SHOWN THUS "(36.30)".

LEVI J. VALDEZ NEW MEXICO 5693 REGISTERED PROFESSIONAL ENGINEER

01-18-01

RECEIVED JAN 18 2001 HYDROLOGY SECTION

TABLE A-10. PEAK INTENSITY (IN/HR at t_c = 0.2 hour)

Zone	Intensity	100-YR [2-YR, 10-YR]
1	4.70	[1.84, 3.14]
2	5.05	[2.04, 3.41]
3	5.38	[2.21, 3.65]
4	5.61	[2.54, 3.83]

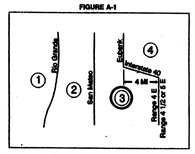
A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF MESILLA STREET N.E. BETWEEN CENTRAL AVENUE AND DOMINGO ROAD N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) IS ITSELF NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN; HOWEVER, F.B.M.A. FLOODWAY PANEL MAP 30 OF 50 SHOWS THAT THERE IS UPSTREAM AND DOWNSTREAM FLOODING CONDITIONS ON AFOREMENTIONED MESILLA STREET N.E., 2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 5.) IS PRESENTLY A PARTIALLY DEVELOPED LOT THAT IS TO HAVE A TRIPLEX RESIDENTIAL UNIT WITH ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON, 6.) ALTHOUGH, AS AFOREMENTIONED, THE UPSTREAM AND DOWNSTREAM FLOODING CONDITIONS ON MESILLA STREET N.E. WILL HAVE NO ADVERSE AFFECT BY THE ADDITIONAL 0.23 CFS OF DEVELOPED FLOWS FROM SAID PROJECT SITE.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.31 ACRE

PRECIPITATION ZONE: THREE (3), TABLE A-1.

PEAK INTENSITY: IN./HR. AT T_c = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Q_p", TABLES A-8 & A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES		FACTOR		CFS
C	0.27	X	3.45	=	0.93
D	0.04	X	5.02	=	0.20

"Q_p" = 1.13 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES		FACTOR		CFS
C	0.12	X	3.45	=	0.41
D	0.19	X	5.02	=	0.95

"Q_p" = 1.36 CFS

THEREFORE, 1.36 - 1.13 = 0.23 CFS INCREASE

GENERAL NOTES:

1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT SITE.

2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAN HEREON.

3.) TOPOGRAPHY SURVEY INFORMATION SHOWN ON THE PLAN HEREON WAS PROVIDED FROM AN ACTUAL FIELD SURVEY PERFORMED BY **TORRES SURVEYING COMPANY**, ALBUQUERQUE, NEW MEXICO.

4.) CONTRACTOR IS TO PROVIDE A POSITIVE GRADE SLOPE AWAY FROM ALL NEW OR EXISTING BUILDING STRUCTURES.

36A

APPROVALS:

CITY OF ALBUQUERQUE - ZONING DEPARTMENT — DATE 2-12-96

CITY OF ALBUQUERQUE - TRANSPORTATION DEVEL. — DATE 2/12/96

PROJECT DATA:

ADDRESS: 134 MESILLA STREET N.E.
ZONING: "R-2"
SITE AREA: 0.31 ACRE
NEW BUILDING: 2,950.0 SQ. FT.
TYPE OF CONSTRUCTION: VN
OCCUPANCY GROUP: R1
PARKING SPACES REQUIRE: 6 SPACES
PARKING SPACES PROVIDED: 7 SPACES

LEGAL DESCRIPTION:

LOTS NUMBERED THIRTY-SIX (36) AND THIRTY-FIVE (35), IN BLOCK NUMBERED FOUR (4), OF THE **LA MESA SUBDIVISION**, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (PLAT FILED: MARCH 14, 1933).

BENCH MARK REFERENCE:

ACS STATION "15-K19", M.S.L.D. ELEVATION = 5337.86; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.

CONSTRUCTION NOTES:

1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.

2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS: SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.

2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.

3.) THE CONTRACTOR SHALL IMMEDIATELY AND THROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGEND:

EXISTING CONTOUR = 36
EXISTING SPOT ELEVATION = 36.6
PROPOSED CONTOUR = 36
PROPOSED SPOT ELEVATION = 36.50
TOP OF CURB / FLOWLINE ELEVATION = TC=33.98 FF=33.32
PROPOSED OR EXISTING CONCRETE SURFACE =

LEVI J. VALDEZ NEW MEXICO 5693 REGISTERED PROFESSIONAL ENGINEER

12-16-96

ENGINEER'S SEAL

ENGINEER'S CERTIFICATION (JANUARY, 2001)

A SITE PLAN & DRAINAGE PLAN FOR IMPROVEMENTS AT 134 MESILLA STREET, N.E. ALBUQUERQUE, NEW MEXICO FEBRUARY, 1996

RECEIVED JAN 18 2001 PWD/DESIGN REVIEW