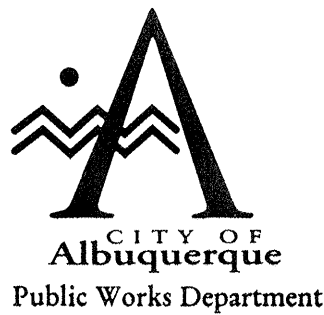




May 6, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Roger Martinez, Jr.
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

**RE: GORDON HALL RETAIL (K19/D110). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION DATED
APRIL 30, 1997.**

Dear Mr. Martinez:

Based on the information provided on your April 30, 1997 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3986.

Sincerely,

A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya CE
Engineering Associate

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: GORDON HALL RETAIL ZONE ATLAS/DRNG, FILE#: K-19 D110
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOTS 1 & 2 OF UNITY ADDITION PLAT
CITY ADDRESS: _____

ENGINEERING FIRM: D. MARK GOODWIN & ASSOC. CONTACT: ROGER MARTINEZ
ADDRESS: P.O. Box 90606, ALBU, NM 87199 PHONE: 345-2010
OWNER: GORDON HALL CONTACT: GORDON HALL
ADDRESS: P.O. Box 90606, ALBU, NM 87199 PHONE: 345-2010
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: HARRIS SURVEYING, INC. CONTACT: TONY HARRIS
ADDRESS: 2412 MONROE NE, ALBU, NM 87110 PHONE: 889-8056
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 30 APR 97

BY: Rgm Martinez Jr.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 26, 1996

Roger Martinez, Jr.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**RE: GORDON HALL RETAIL (K19-D110) DRAINAGE AND GRADING PLAN
SUBMITTAL FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP
DATED 2-9-96.**

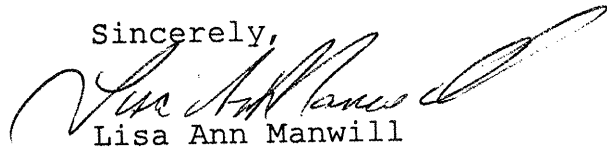
Dear Mr. Martinez:

Based on the information provided on your February 13, 1996 submittal, the above referenced project is approved for Building Permit.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 768-3622.

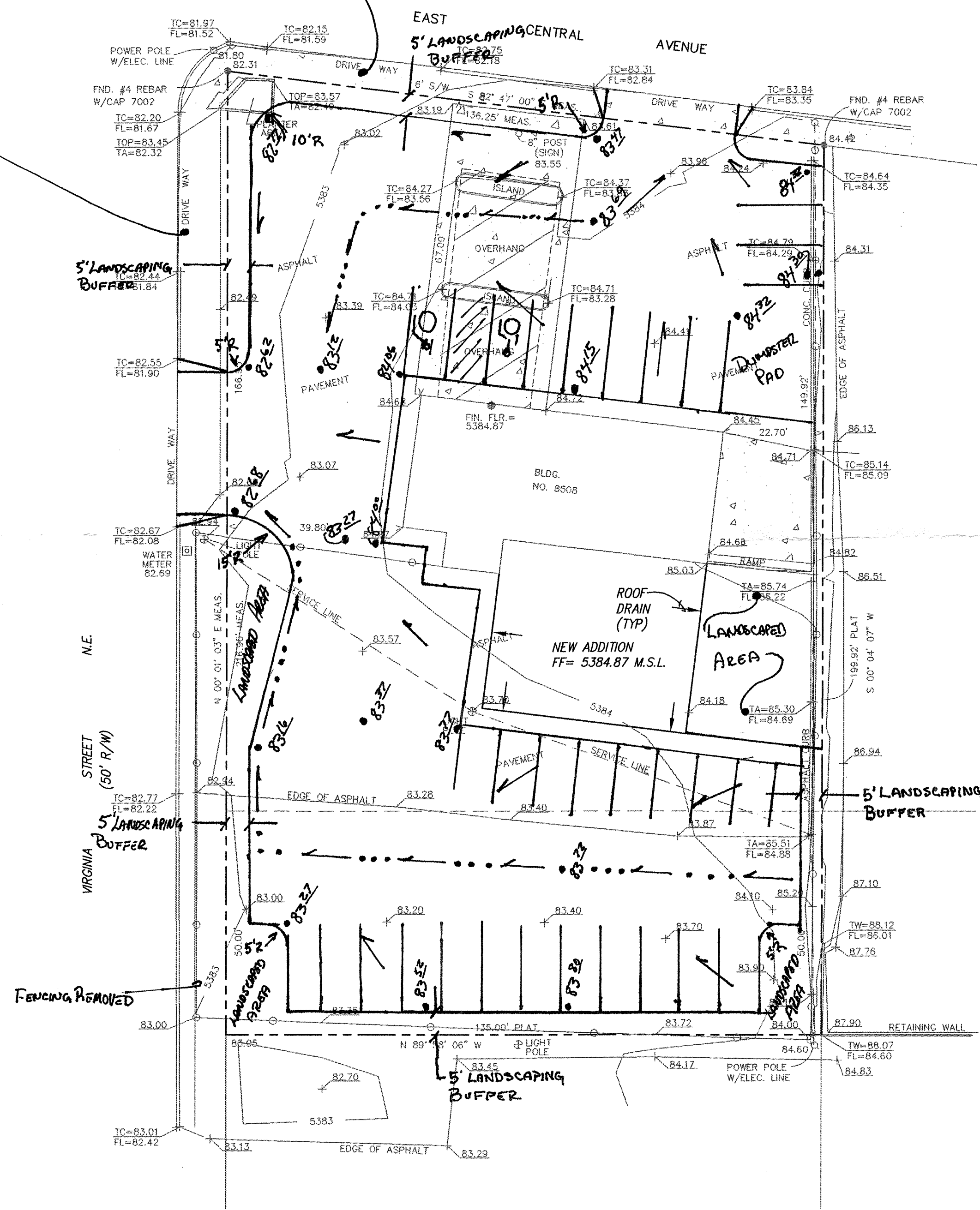
Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

EXISTING DRIVEWAYS REMOVED
AND REPLACED W/ SIDEWALK.



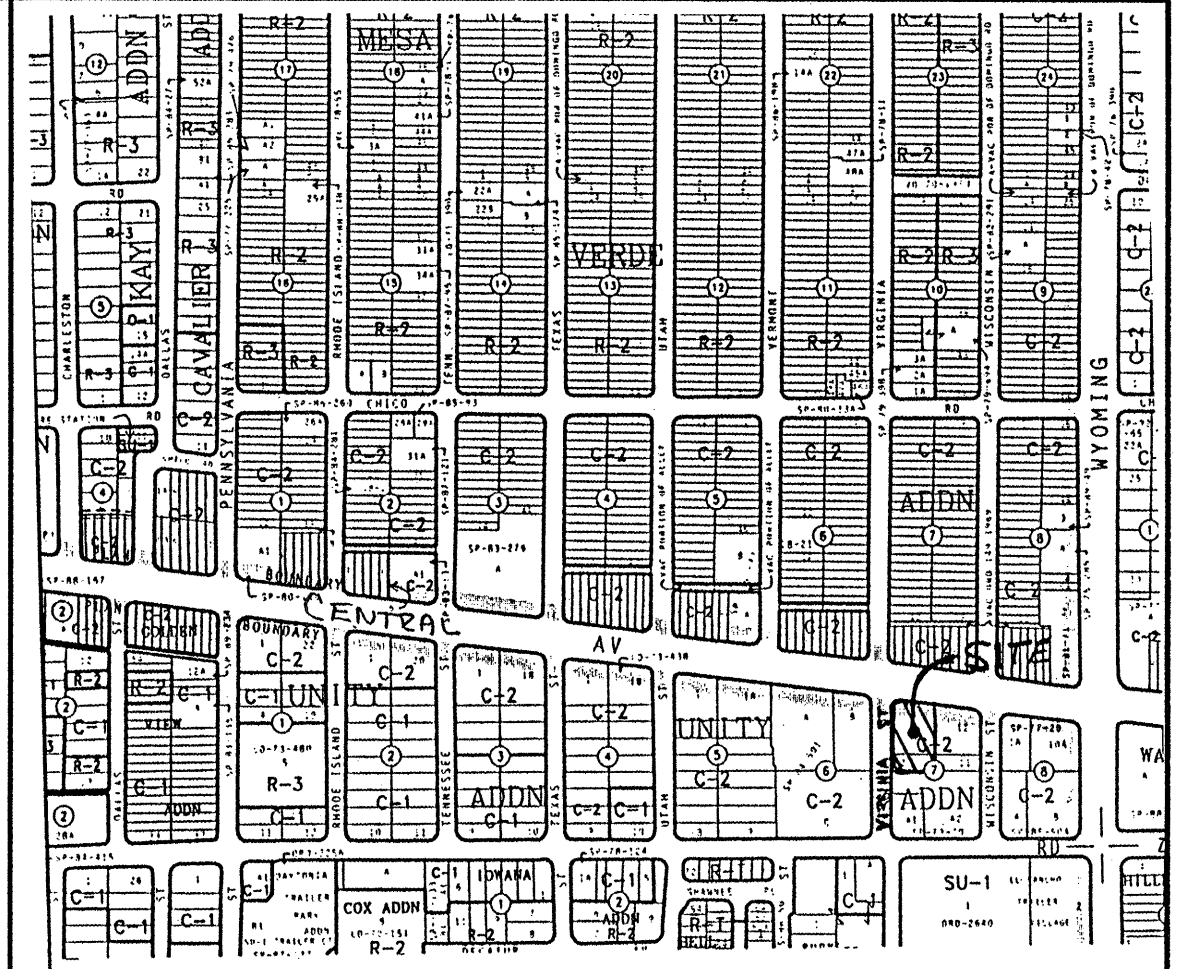
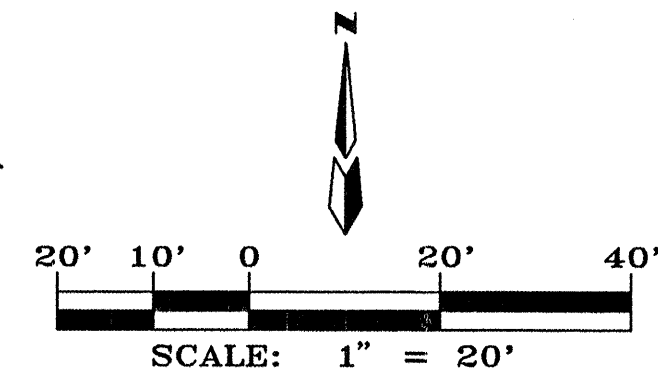
AS BUILT SITE CHANGES

1. REMOVED & REPLACED ASPHALT IN PARKING LOT.
2. ISLANDS & DRIVEWAYS REMOVED FROM FRONT PARKING LOT.
3. LANDSCAPING ADDED TO SURROUND PROPERTY.
4. DRAINAGE FLOWS OVERLAND, DIRECTED TO DISCHARGE VIA DRIVEWAYS ON CENTRAL AND VIRGINIA. SEE FLOW ARROWS ON PLAN FOR DRAINAGE PATH.
5. THE ADDITIONAL LANDSCAPING HAS DECREASED THE AMOUNT OF DEVELOPED FLOW BY 5%.
6. LANDSCAPING IS XERISCAPE TYPE PLANTS WITH ROCK.

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, BCC Enterprises, and by the surveyor, Harris Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin 4/30/97
Mark Goodwin NMPE 8948



VICINITY MAP ZONE MAP: K-19-Z

TBM (TEMPORARY BENCHMARK)

EXISTING BUILDING FINISHED FLOOR = 5384.87 M.S.L.

ACS BENCHMARK

ELEVATIONS SHOWN ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION "6-K20(R)". A STANDARD BRASS TABLET SET IN THE CURB AND HAVING AN ELEVATION OF 5390.736'.

LEGAL DESCRIPTION

ALL OF LOTS NUMBERED ONE (1) AND TWO (2) OF THE PLAT OF UNITY ADDITION, AN ADDITION TO THE CITY OF ALBUQUERQUE, WITHIN SECTION 19, TOWNSHIP 10 NORTH, RANGE 4 EAST OF THE N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE SAID ADDITION THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 28, 1928 IN PLAT BOOK B, PAGE 36.

NOTES

1. THIS PROJECT ENTAILS AN 1800 S.F. ADDITION TO EXISTING BUILDING. THE PARKING LOT IS CURRENTLY PAVED, SO NO CHANGE IN PVIOUS AREA WILL OCCUR.
2. NO CHANGE IN RUNOFF LEVELS OR PATTERNS WILL OCCUR.

LEGEND

- PROPERTY LINE
- 00 EXISTING CONTOUR
- +2050 EXISTING SPOT ELEVATION
- ROOF DRAIN (TYP)

GORDON HALL RETAIL

GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: RMJ	Drawn: MCG	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 02/96	Job: 96017	