



CITY OF
Albuquerque

January 8, 1997

Martin J. Chávez, Mayor
Celia Tomlinson
Rhombus P.A., Inc.
2620 San Mateo NE
Suite B
Albuquerque, NM 87110

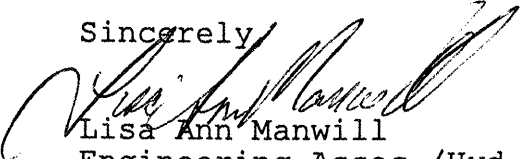
**RE: DUPLEXES AT 433-439 TENNESSEE NE (K19-D111). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S CERTIFICATION DATED 12-23-96.**

Dear Ms. Tomlinson:

Based on the information provided on your January 3, 1997
submittal, the above referenced site is approved for a
Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

Tennessee NE

PROJECT TITLE: DUPLEXES AT 433-439 ZONE ATLAS/DRNG. FILE #: K-19 / 10111

DRB #: NA EPC #: NA WORK ORDER #: NA

LEGAL DESCRIPTION: LOT 32-A BLOCK 31 MESA VERDE ADDITION

CITY ADDRESS: 433-439 Tennessee NE

ENGINEERING FIRM: RHOMBUS P.A., Inc. CONTACT: Celia Tomlinson

ADDRESS: 2620 San Mateo NE Suite B PHONE: 881-6690
Albuquerque, NM 87110

OWNER: Don Serna CONTACT: Don Serna

ADDRESS: 3014 Cielo Ct. Suite A PHONE: 473-9100
Santa Fe, NM 87505

ARCHITECT: RHOMBUS CONTACT: Celia Tomlinson

ADDRESS: same as Engineer's PHONE: 881-6690

SURVEYOR: RHOMBUS CONTACT: Celia Tomlinson

ADDRESS: same as Engineer's PHONE: 881-6690

CONTRACTOR: NA CONTACT: NA

ADDRESS: NA PHONE: NA

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

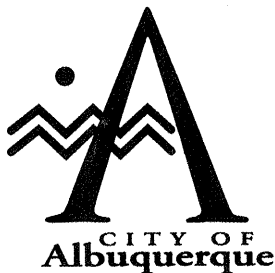
- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 1-2-97

BY: Celia S. Tomlinson



December 30, 1996

Martin J. Chávez, Mayor

Celia Tomlinson
Rhombus P.A., Inc.
2620 San Mateo NE
Suite B
Albuquerque, NM 87110

**RE: DUPLEXES AT 433-439 TENNESSEE NE (K19-D111). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S CERTIFICATION DATED 12-18-96.**

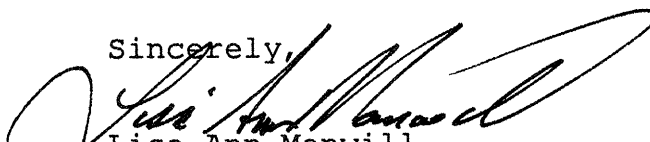
Dear Ms. Tomlinson:

Based on the information provided on your December 23, 1996
submittal, the above referenced site is approved for a 30-day
Temporary Certificate of Occupancy.

Prior to Final Certificate of Occupancy approval, the Engineer's
Certification will have to be stamped, signed, and dated.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,

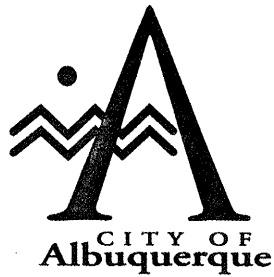


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





April 14, 1996

Martin J. Chávez, Mayor

Celia Tomlinson
Rhombus P.A., Inc.
2620 San Mateo NE
Suite B
Albuquerque, NM 87110

RE: DUPLEXES AT 433-439 TENNESSEE NE (K19-D111).

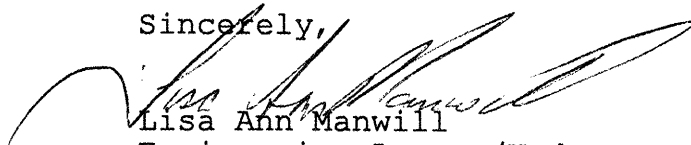
Dear Ms. Tomlinson:

It has been brought to my attention that the grades on the above referenced project are from an assumed datum. When I approved this plan, I presumed that since you showed the finish floor to mean sea level, the spot elevations were referenced to the same Albuquerque control datum.

When you submit an Engineer's Certification, please be certain to reference all elevations from an established bench mark, an assumed bench mark is not acceptable.

If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Fred Aguirre
File

Good for You, Albuquerque!





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 12, 1996

Celia Tomlinson
Rhombus P.A., Inc.
2620 San Mateo NE
Suite B
Albuquerque, NM 87110

**RE: DUPLEXES AT 433-439 TENNESSEE NE (K19-D111). DRAINAGE AND
GRADING PLAN SUBMITTAL FOR BUILDING PERMIT APPROVAL.
ENGINEER'S STAMP DATED 2-29-96.**

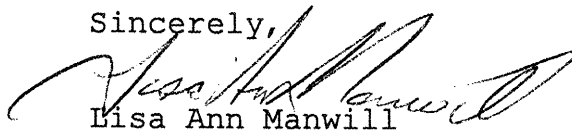
Dear Ms. Tomlinson:

Based on the information provided on your March 4, 1996
submittal, the above referenced site is approved for Building
Permit.

Prior to Certificate of Occupancy approval, an Engineer's
Certification will be required.

If I can be of further assistance, please feel free to contact me
at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 27, 1996

Celia Tomlinson
Rhombus P.A., Inc.
2620 San Mateo NE
Suite B
Albuquerque, NM 87110

**RE: DUPLEXES AT 433-439 TENNESSEE NE (K19-D111). DRAINAGE AND GRADING
PLAN SUBMITTAL FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP
DATED 2-13-96.**

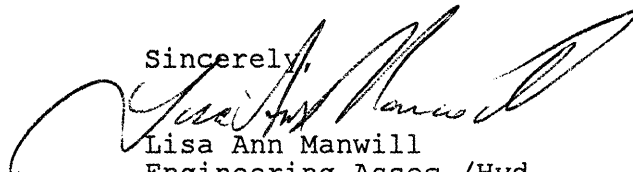
Dear Ms. Tomlinson:

Based on the information provided on your February 14, 1996 submittal, City Hydrology has the following comments:

1. Please show roof drain locations and/or direction of roof run off.
2. It appears that the north and west sides of the site are retaining water. Without information on the direction of roof flows, I can not tell whether these are landscaping ponds or retaining ponds. Retaining ponds are not allowed. If you want to use landscaping ponds, please provide pond volume calculations. Keep in mind that your finish floor elevations must be a minimum of 1 foot above your maximum water surface elevation.
3. Please show existing contours extending at least 25 feet beyond the property line.
4. Under the heading **CALCULATIONS** on your plan sheet, you show 100% land treatment "A" and 31% and 69% land treatments "B" and "D" respectively. This adds up to a total of 200%. Is some of this existing and some proposed? Please clarify.
5. Please show finish floor elevations to mean sea level.
6. Bench mark information must be shown on plan sheet.

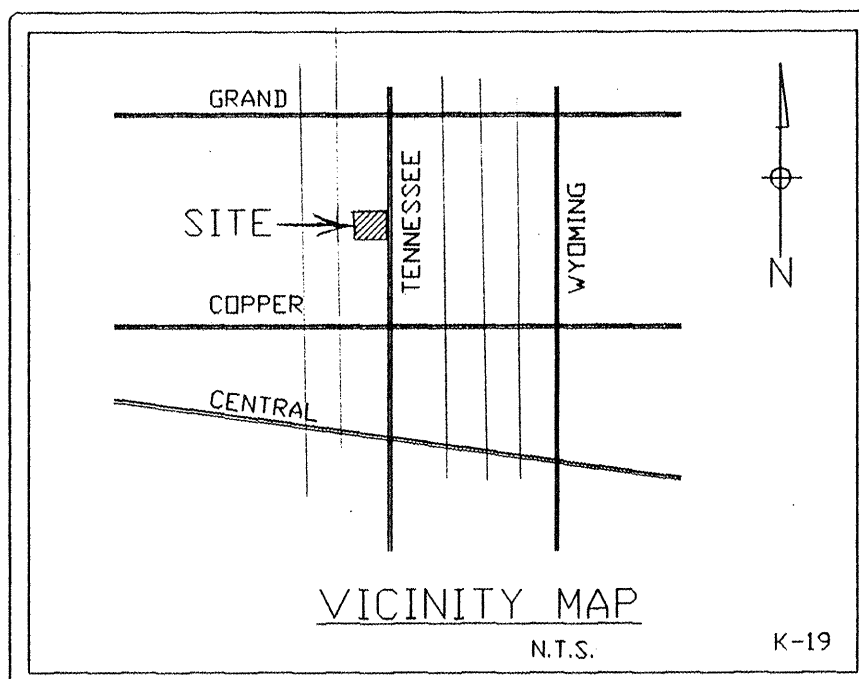
If I can be of further assistance, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



DUPLICES AT 433-439 TENNESSEE N.E. GRADING, LANDSCAPING & DRAINAGE PLAN

LEGAL DESCRIPTION: LOT 32-A, BLOCK 31, MESA VERDE ADDITION

NOTE:
THIS IS NOT A BOUNDARY SURVEY.
APPARENT PROPERTY CORNERS SHOWN
ARE FOR ORIENTATION PURPOSE ONLY.

TOTAL LAND AREA = 90' x 135.156' = 12,150.0 SF
LESS BUILDING AREA 4,200.0 SF
7,950.0 SF

AREA REQUIRED FOR LANDSCAPING (10%) = 795.0 SF
AREA PROVIDED FOR LANDSCAPING = 3,738.0 SF

$\frac{3,738.0}{12,150.0} = 31\% > 20\% > 10\%$

LEGEND

- TC 48.81 EXISTING TOP OF CURB ELEVATION
- FL 48.20 EXISTING FLOW LINE ELEVATION
- TA 51.30 EXISTING TOP OF PAVEMENT ELEVATION
- TG 52.10 EXISTING TOP OF GROUND ELEVATION
- TC 48.91 PROPOSED TOP OF CURB ELEVATION
- FL 48.40 PROPOSED FLOW LINE ELEVATION
- TA 52.51 PROPOSED TOP OF ASPHALT ELEVATION
- TP 49.40 PROPOSED TOP OF PAD ELEVATION
- TG 51.24 X PROPOSED TOP OF GROUND ELEVATION AT SPOT
- PROPOSED CONTOUR LINE
- PROPOSED CONCRETE PAD
- PROPOSED 2- 2 1/2 CALIPER SHADE TREE
- PROPOSED 15-GALLON ORNAMENTAL TREE
- PROPOSED GRASS
- DS DOWNSPOUT
- ... DIRECTION OF FLOW

DRAINAGE AND GRADING PLAN

LEGAL DESCRIPTION: Lot 32-A, Block 31 Mesa Verde Addition, Albuquerque, New Mexico
ADDRESS: 433-439 Tennessee NE, between Copper and Grand, just west of Wyoming

FLOODPLAIN INFORMATION: The property is located on Zone C, areas of minimal flooding according to the Floodway Boundary and Floodway Map of the City of Albuquerque, New Mexico, Community Panel 350002 0030, effective October 14, 1983.

EXISTING CONDITIONS: The area proposed for development consists of slightly less than one-third of an acre (12,150 square feet) of vacant land, surrounded by improvements: apartment buildings on the north, west and south sides; Tennessee Street - paved with curb and gutter and sidewalk - on the east side.

The land slopes to the back of the subject lot. The adjoining properties on all the other sides do not drain to this lot, therefore no offsite flows are involved in the drainage planning.

PROPOSED IMPROVEMENTS: Two duplexes with a combined total roof area of approximately 4,200 square feet will be built on the lot. The driveway will be paved with asphalt the site will be landscaped.

EROSION CONTROL: Water from activities during construction and/or from rain will be temporarily ponded on site to prevent silt from going into the downstream areas. Parking lot grading will take place after most of the building construction is completed to ensure that any runoff produced by rainfall during construction will remain on site.

CRITERIA: NDAA Atlas 2, Volume IV, New Mexico Figure 30, Isopluvials of the 10-year, 24-hour precipitation, City of Albuquerque Development Process Manual, Section 22.2 Hydrology

PRECIPITATION ZONE: Zone 3 (from Fig. A-1, page A-1, DPM Section 22.2)

LAND TREATMENTS: Runoff calculations are based on four typical types of treatment:

Treatment A - Natural terrain, undisturbed slopes less than 10%
Treatment B - Irrigated landscaping
Treatment C - Compacted soil, i.e. unpaved parking
Treatment D - Impervious areas, i.e. roofs, concrete, asphalt

EXCESS PRECIPITATION: The amount of rainfall that is not absorbed by the surface on which it falls is called excess precipitation and is measured in inches. The excess precipitation for zone 3 is tabulated below (from table A-8, page A-7, DPM Section 22.2)

CALCULATIONS:
Treatment A areas = Lot area + 90 x 135 = 12,150 SF = .28 Ac.
Treatment B areas = 3,738 SF = 0.0858 Ac.
Treatment C areas = 0
Treatment D areas = 8,412 SF = 0.19
Roofs 4,200 SF
Asphalt parking 4,140 SF
Concrete pads 72 SF
Total 8,412 SF

per cent of total area
Treatment A = 100% EXISTING
Treatment B = 31%
Treatment C = 0%
Treatment D = 69% PROPOSED

DISCHARGE/ACRE: (from Table A-9, page A-9, DPM Section 22.2)

For zone 3:

PEAK DISCHARGE BEFORE DEVELOPMENT: Land Treatment A
 $90 \times 135 / 43560 \times 100\% \times 1.87 = 0.52 \text{ CFS} = 0.100$
 $90 \times 135 / 43560 \times 100\% \times 0.58 = 0.16 \text{ CFS} = 0.10$

CONCLUSION:

- The tiny amount of discharge from the lot after development will have negligible effect on the capacity of the existing storm drain system that will receive flow.
- The drainage of the proposed development will not adversely impact the surrounding areas and vice versa.

LAND TREATMENT	EXCESS DISCHARGE/ACRE 100 YEAR	EXCESS DISCHARGE/ACRE 10 YEAR
A	.66	.019
B	.92	.36
C	1.29	.62
D	2.36	1.50

LAND TREATMENT	100-YEAR	10-YEAR
A	1.87	.58
B	2.60	1.19
C	3045	2.00
D	5.02	3.39

PEAK DISCHARGE AFTER DEVELOPMENT: 100-Year

LAND TREATMENT	AREA (ACRES)	PEAK DISCHARGE CFS/ACRE	TOTAL DISCHARGE
A			
B	0.0858	2.60	0.22 CFS
C			
D	0.1931	5.02	0.97 CFS
TOTAL			1.19 CFS

RUNOFF VOLUME BEFORE DEVELOPMENT

$90 \times 135 \times 0.66 / 12 = 669 \text{ CF} = V \text{ 100-YEAR}$

RUNOFF VOLUME AFTER DEVELOPMENT: 100-Year

LAND TREATMENT	AREA/ACRES	EXCESS PRECIPITATION (INCHES)	DIVIDE BY 12	MULTIPLY BY 43560
A				
B	0.0858	0.92	0.006578	286 CF
C				
D	0.1931	2.36	0.03797	1654 CF
TOTAL				1940 CF

BENCHMARK: 18-K19 STANDARD ACS 3-1/4" ALUMINUM DISK
STAMPED "ACS, 18-K19", 1990" SET FLUSH WITH CURB.
ELEVATION = 5363.32 FEET

ENGINEER'S AS-BUILT CERTIFICATION:

I HEREBY CERTIFY THAT ON DECEMBER 18, 1996 I PERSONALLY INSPECTED THE PROPERTY.
I FURTHER CERTIFY THAT THE PROPERTY SITE GRADING AND DRAINAGE WERE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING DRAINAGE PLAN.

Celia S. Tomlinson 12/23/96
CELIA S. TOMLINSON, P.E.

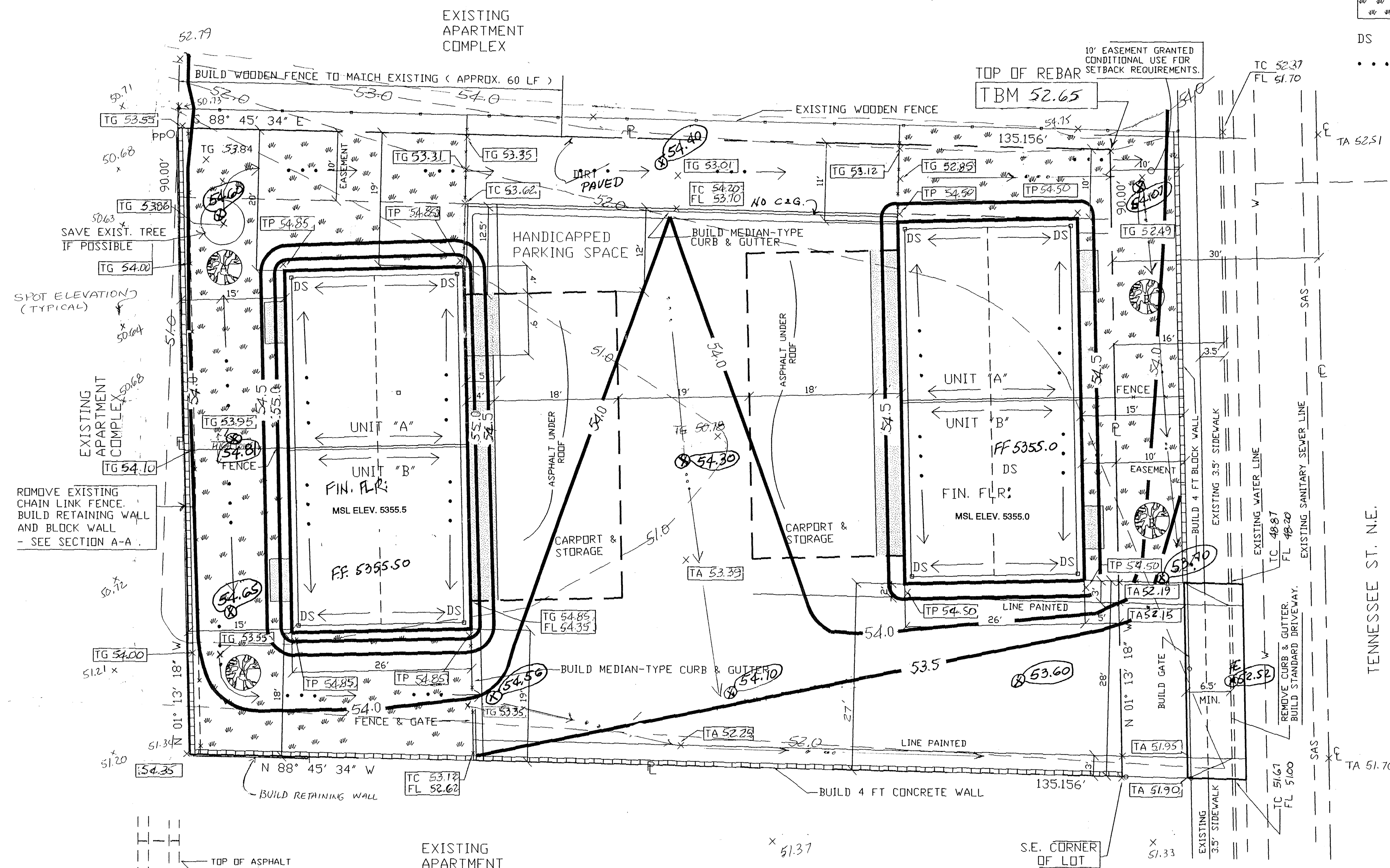
ENGINEER'S SEAL, SIGNATURE, AND DATE:

Celia S. Tomlinson 2/29/96



RHOMBUS
2620 SAN MATEO BLVD. NE SUITE B
ALBUQUERQUE, NEW MEXICO 87110

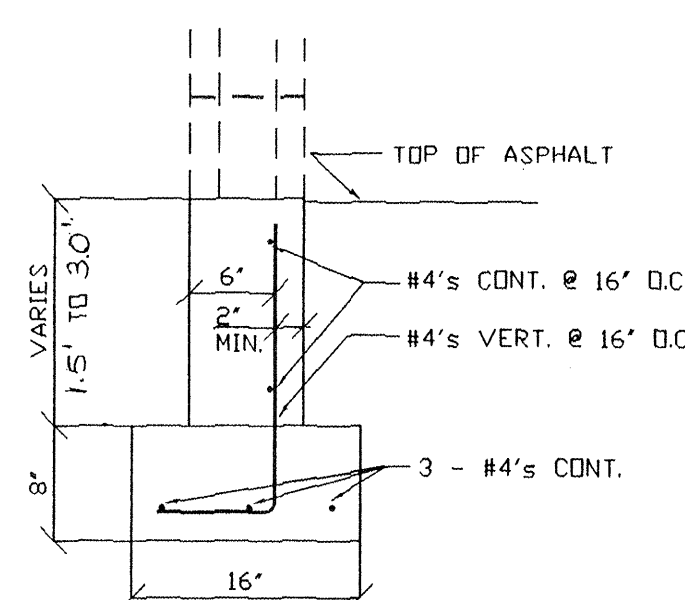
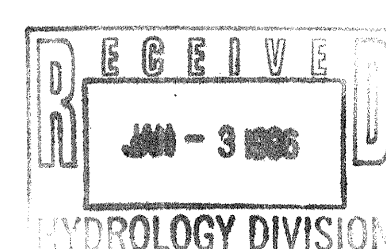
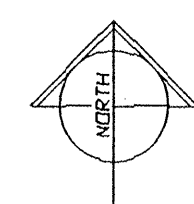
TEL: (505) 881-6690 FAX: (505) 881-6896



EXISTING APARTMENT COMPLEX

SITE PLAN

1" = 10.0'



SECTION A-A N.T.S.
RETAINING WALL