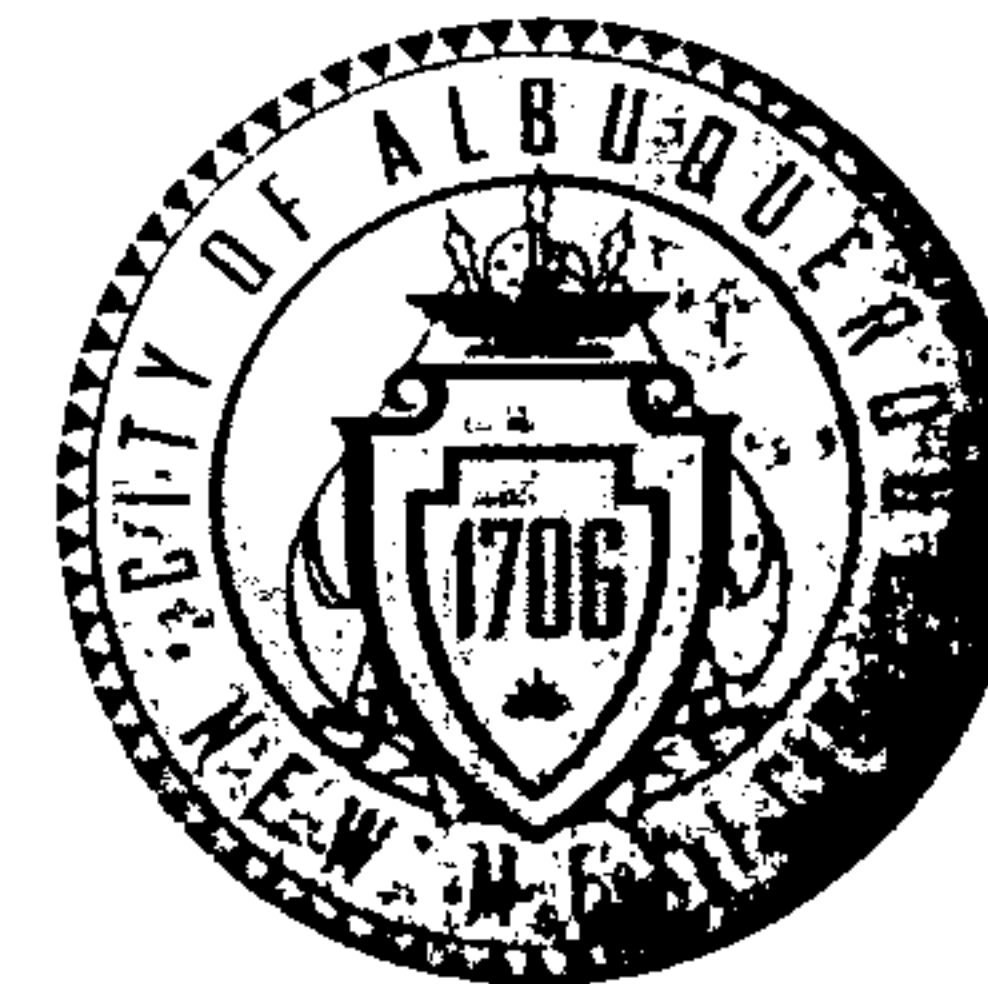


CITY OF ALBUQUERQUE



December 10, 2009

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

8416

**Re: Larry Miller Dodge West Parking Lot, 8528 Lomas Blvd NE, Grading and
Drainage Plan**

Engineer's Stamp dated 12-3-09 (K19/D115)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 12-9-09, the above referenced plan is approved for Grading Permit and Paving Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge.

Upon completion of the project, please provide an Engineer Certification for our files.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE #: K-19 1015
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: (505) 263-6965
ZIP CODE: 84070

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

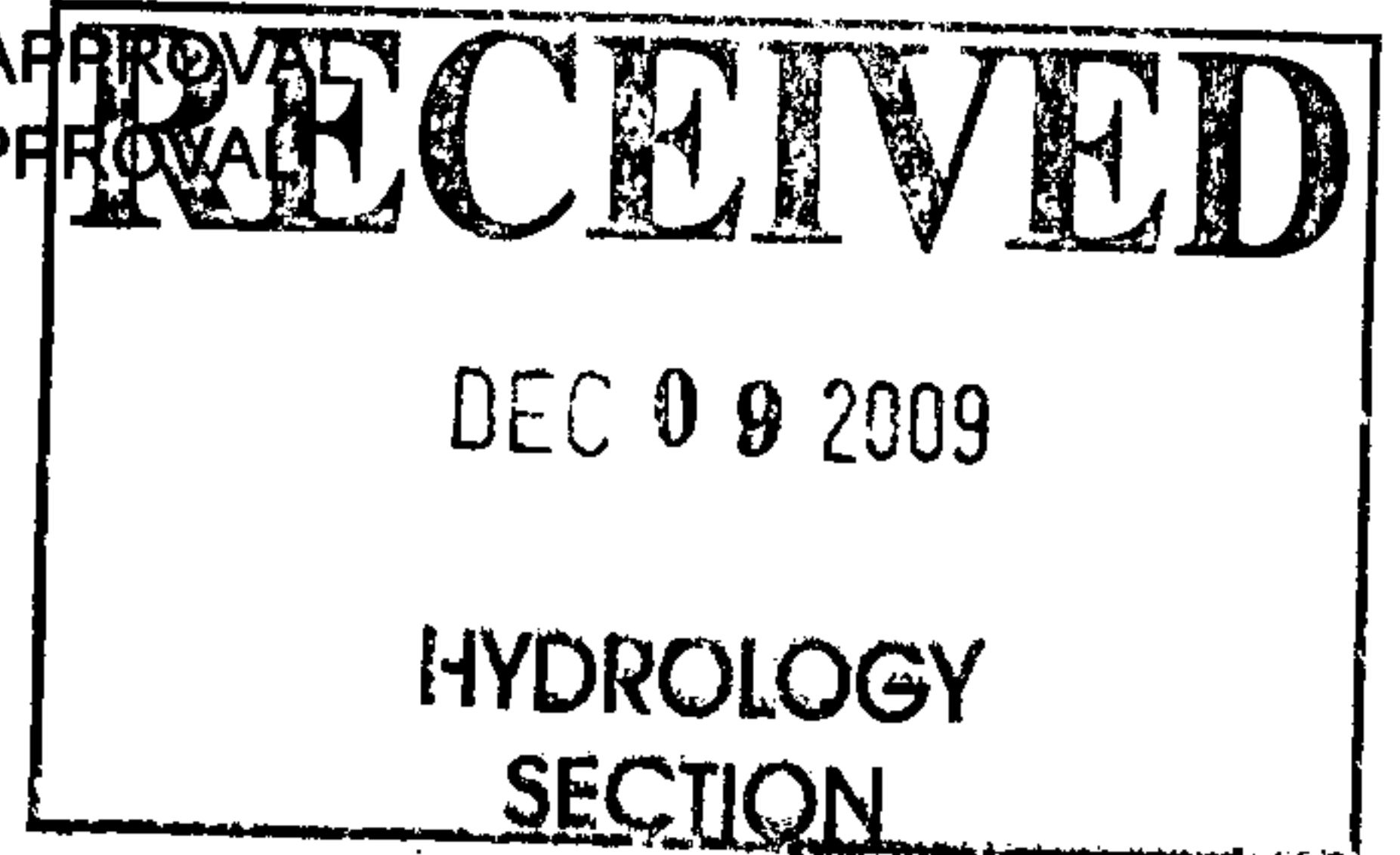
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CC - NO S/W
Culvert



DATE SUBMITTED: 12/9/2009 BY: Sara Lavy, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

December 9, 2009

Mr. Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: LARRY MILLER DODGE WEST PARKING LOT (K19/D115)
RESUBMITTAL LETTER**

Dear Mr. Cherne:

The grading and drainage plan for this project was approved by Hydrology on Oct. 23, 2009. We are resubmitting for approval due to changing the driveway configuration at Utah Street. The original plan showed closing off both existing driveways to Utah Street. The plan has been revised to show keeping one of the existing driveways open. No changes have been made to the drainage patterns or quantity of flows. The sidewalk culvert has been deleted as the flows can now exit the site at the driveway location.

If you have questions or need additional information regarding this project, please do not hesitate to call me.

Sincerely,

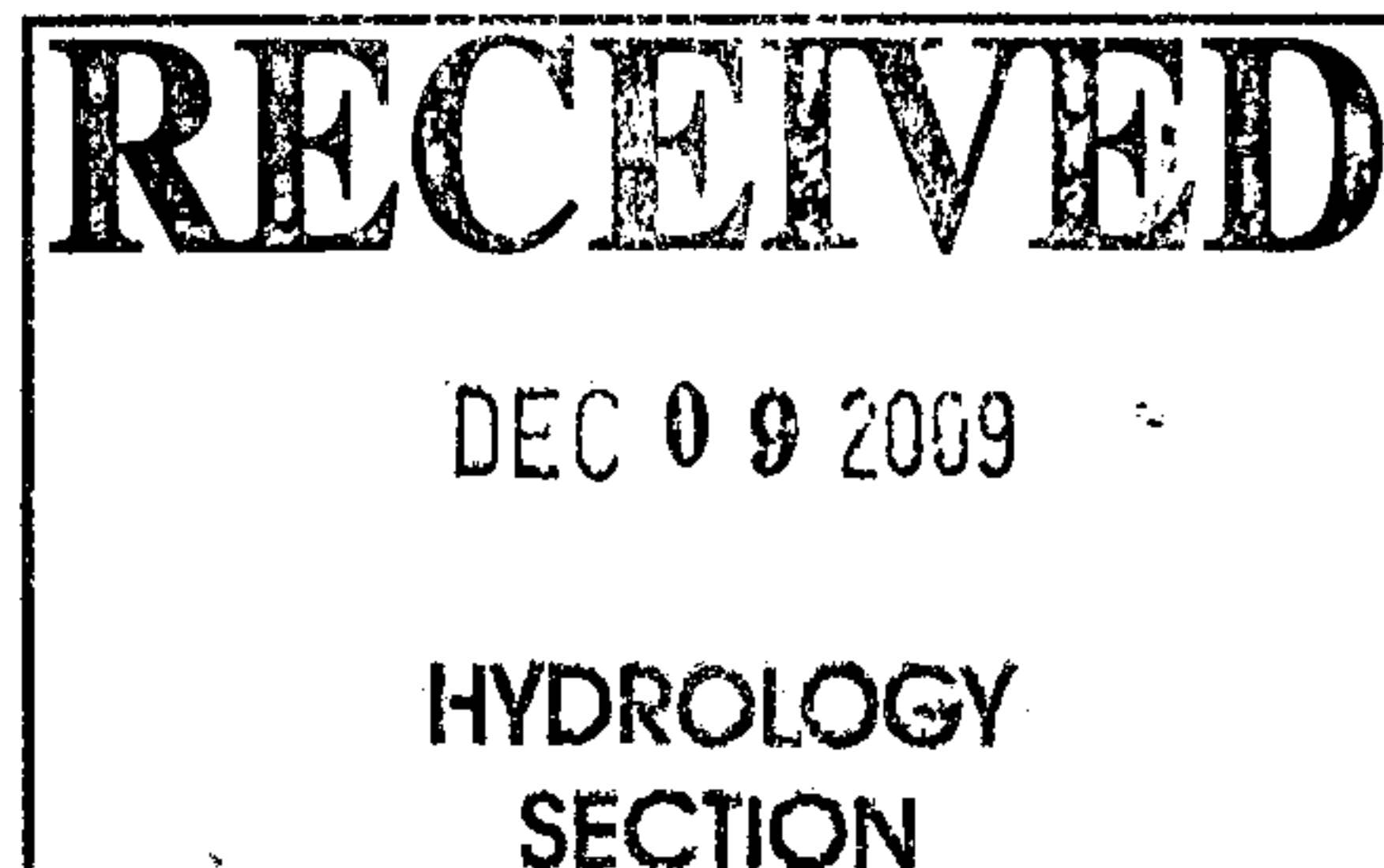

Sara Lavy, PE

Enclosure/s

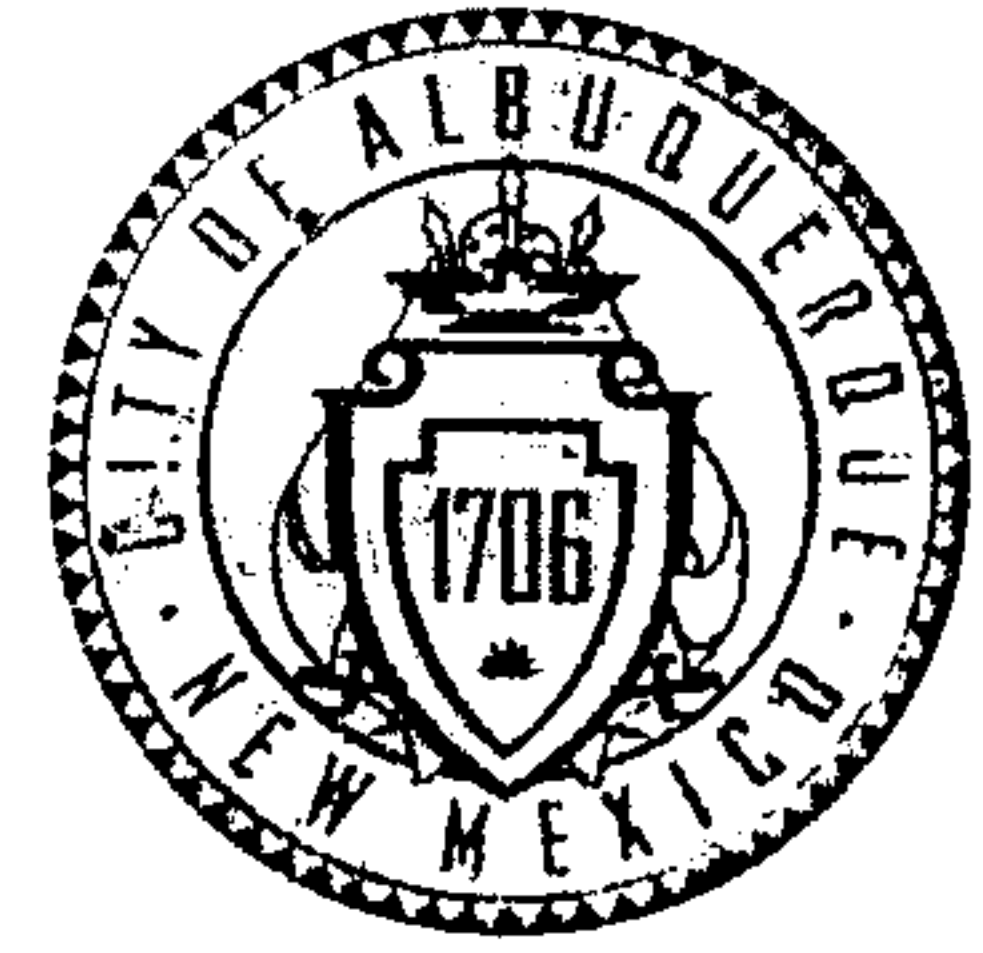
cc: Pat Joseph – PJ Development Commercial Construction

JN: 29040
SCL/cia

Z:\2009\29040\Correspondence\29040 Curtis Cherne Drainage Driveway Resubmittal Ltr.. 12-09-09.doc



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 25, 2011

Ronald R. Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for **Larry Miller Dodge** [K-19 / D115]
8528 Lomas NE
Engineer's Stamp Dated 10/20/11

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 10-24-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV: 1/28/2003rd)

PROJECT TITLE: Larry H Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC#: _____

ZONE MAP/DRG. FILE #: K-19 / D115
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 23-A & Lot 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West LLC

ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon

PHONE: 858-3100
ZIP CODE: 87109

OWNER: Larry H Miller Real Estate

ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph

PHONE: 263-6965
ZIP CODE: 84104

ARCHITECT: FFKR Architects

ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones

PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: Alpha Survey

ADDRESS: 1436 32nd Circle SE
CITY, STATE: Rio Rancho, NM

CONTACT: Gary Gritsko

PHONE: N/A
ZIP CODE: 87124

CONTRACTOR: P J Development Inc

ADDRESS: _____
CITY, STATE: _____

CONTACT: Pat Joseph

PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

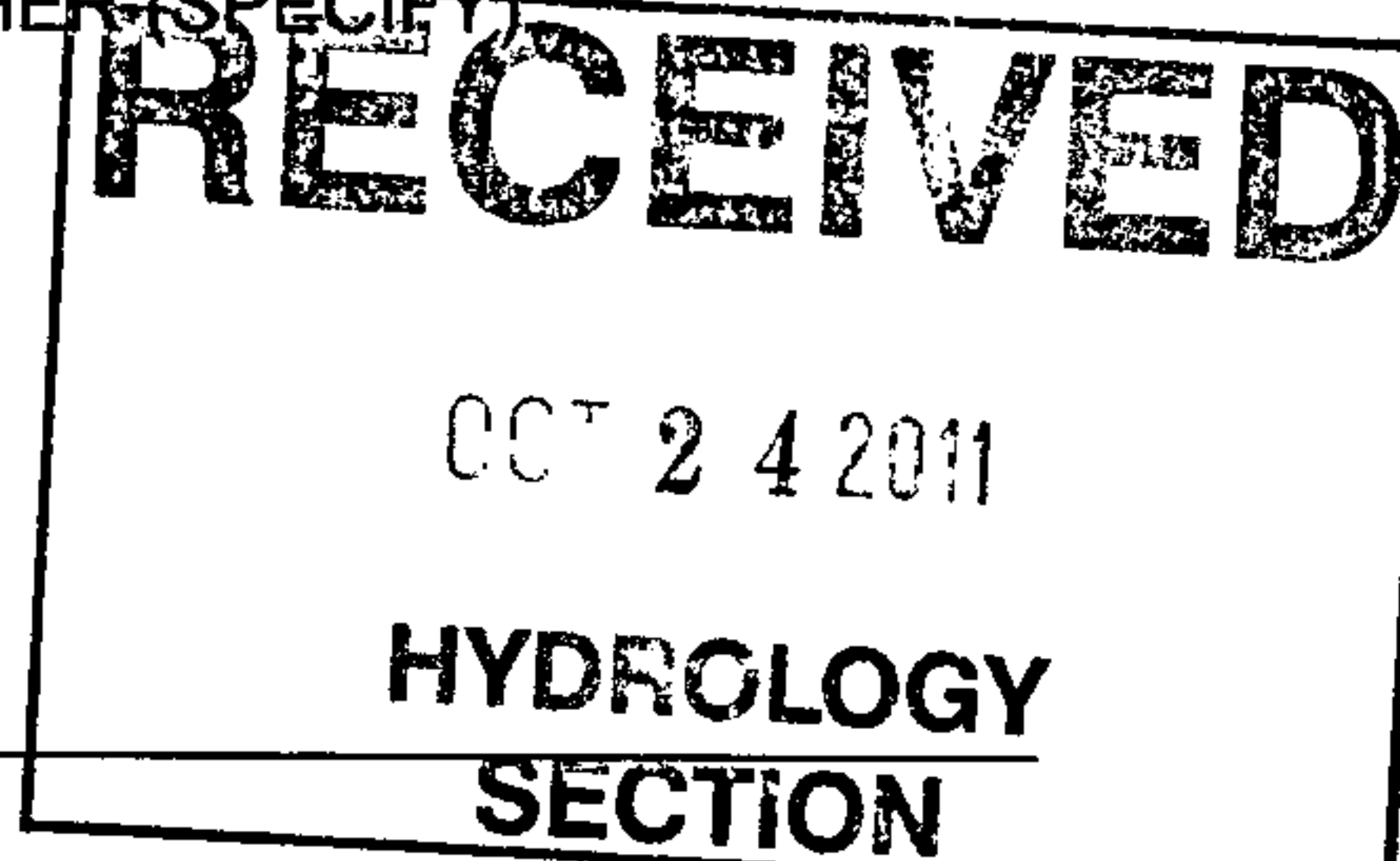
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 10/20/11

BY: Brad Frosch



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

October 20, 2011

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: AA SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CERTIFICATION
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY
LARRY MILLER DODGE
8528 WYOMING BLVD. NE
PROJECT # 1007958**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved AA Site Development for Building Permit plan dated October 25, 2010. I further certify that I have personally visited the site on October 20, 2010 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

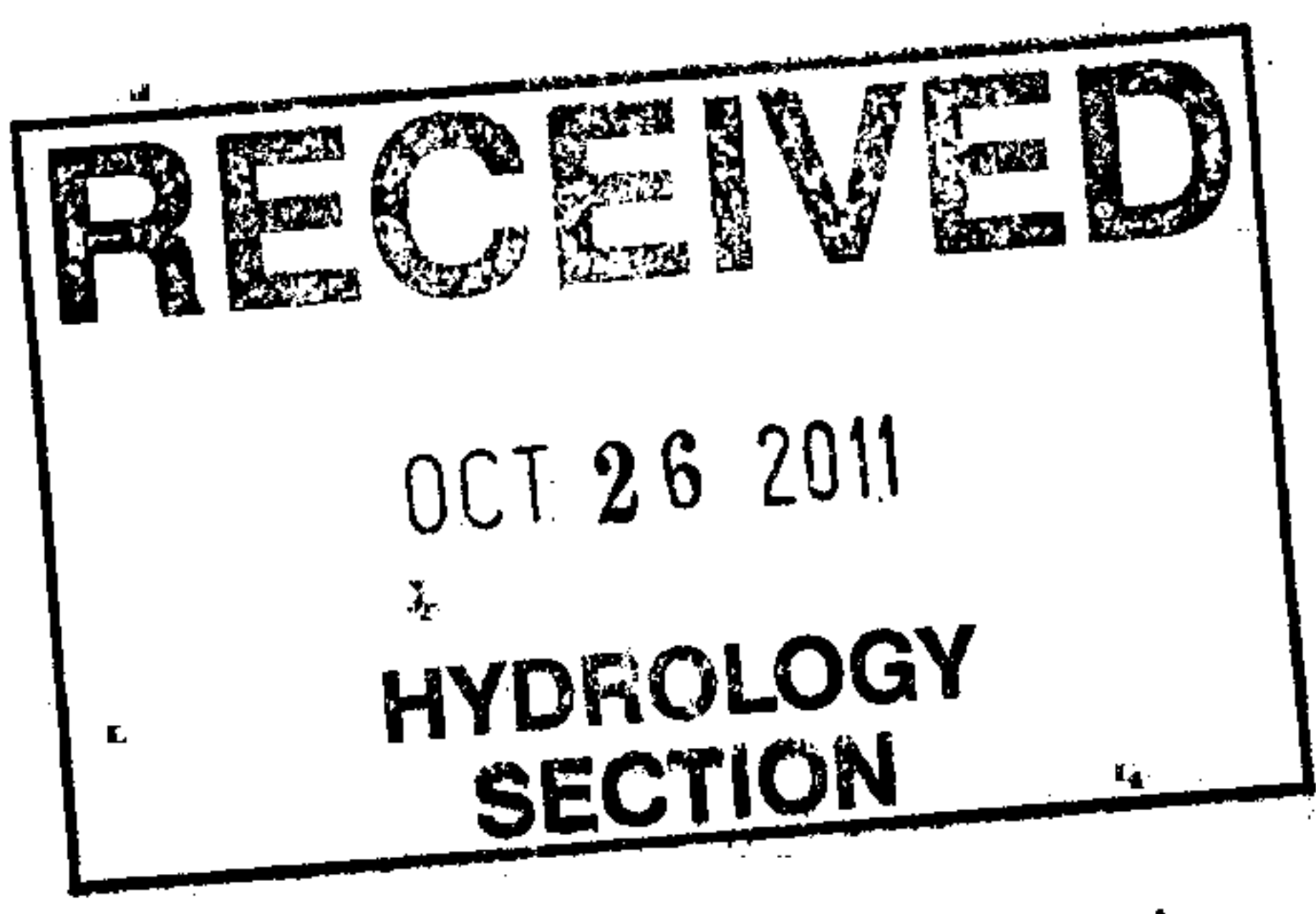
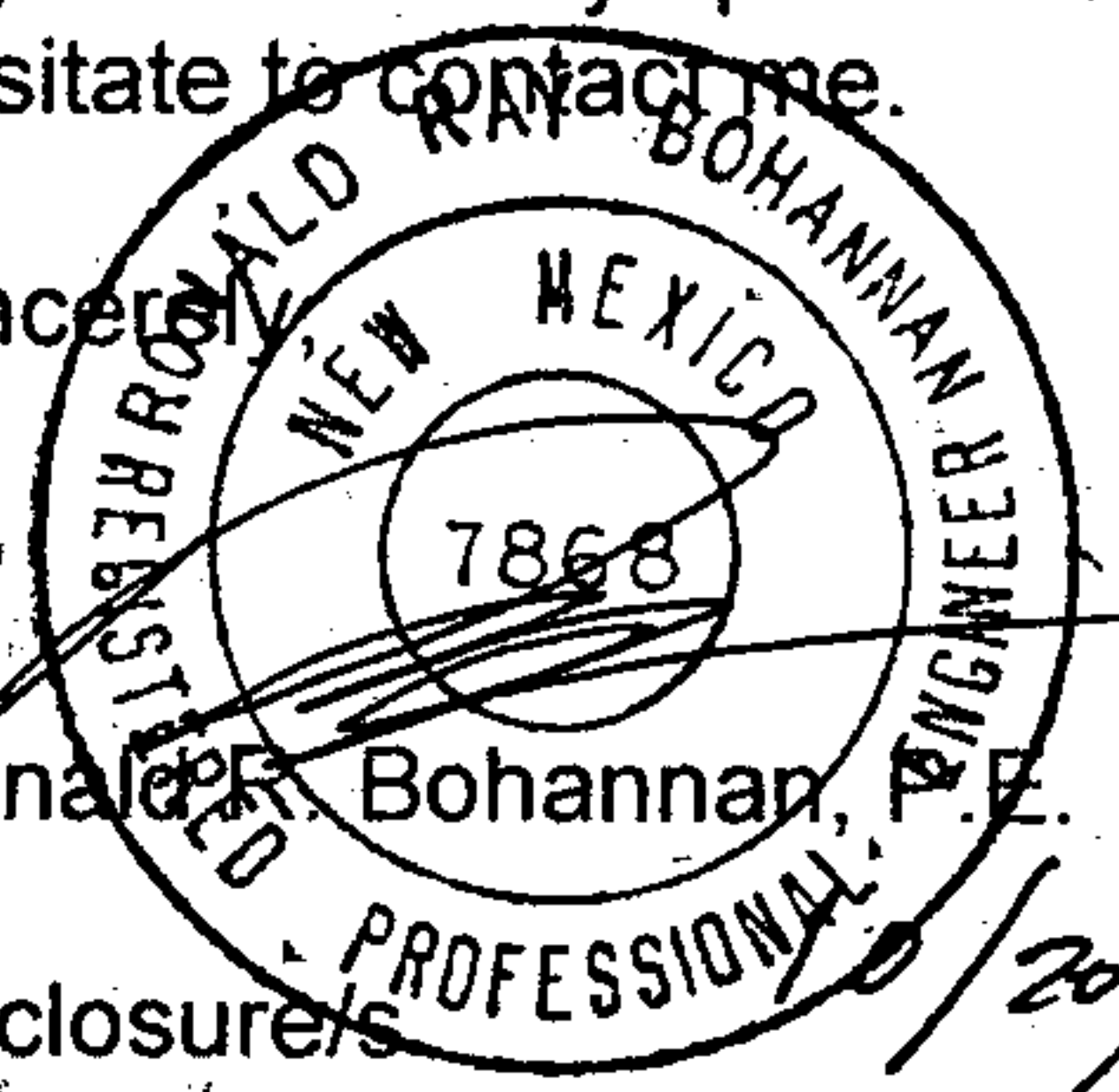
Enclosed, please find the information sheet and the as-built Administrative Amendment Site Development Plan for Building Permit. All punchlist items have been completed and the project has been constructed in substantial compliance with the approved plan. Therefore, we request approval of the as-built Administrative Amendment Site Plan for Building Permit for a Permanent Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosures



JN: 29040
JN/bf/cla

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

October 20, 2011

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: AA SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CERTIFICATION
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY
LARRY MILLER DODGE
8528 WYOMING BLVD. NE
PROJECT # 1007958**

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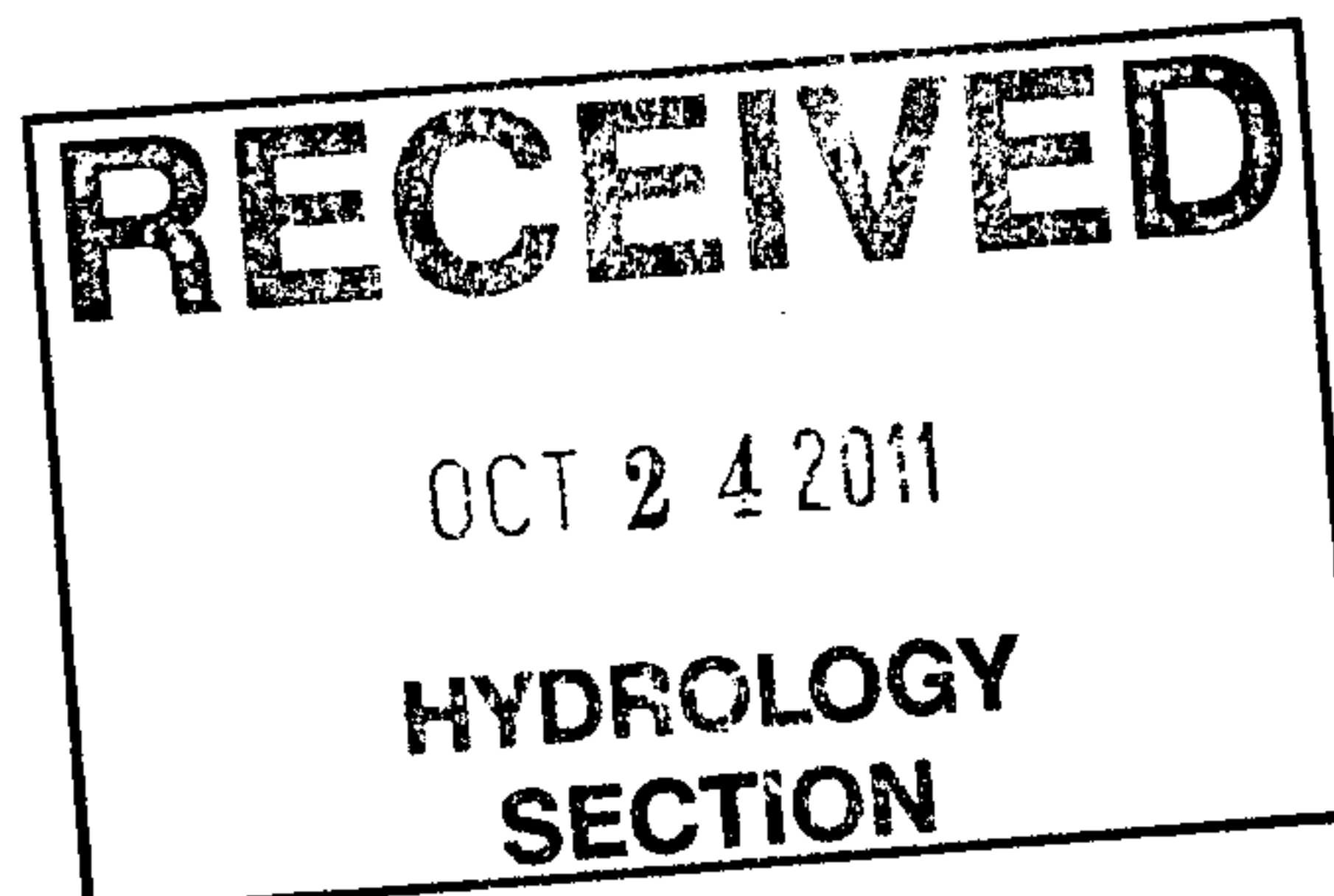
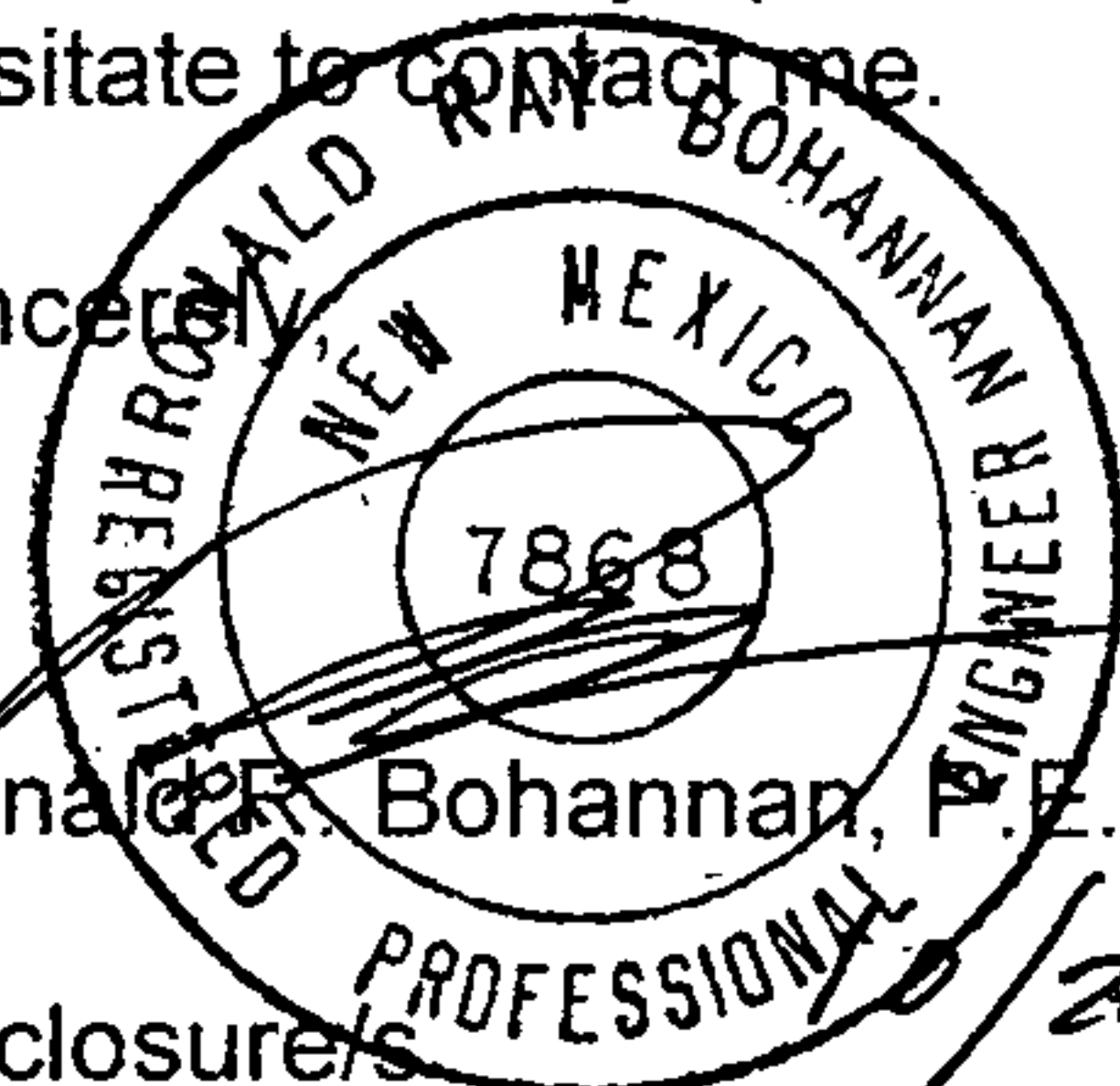
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If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

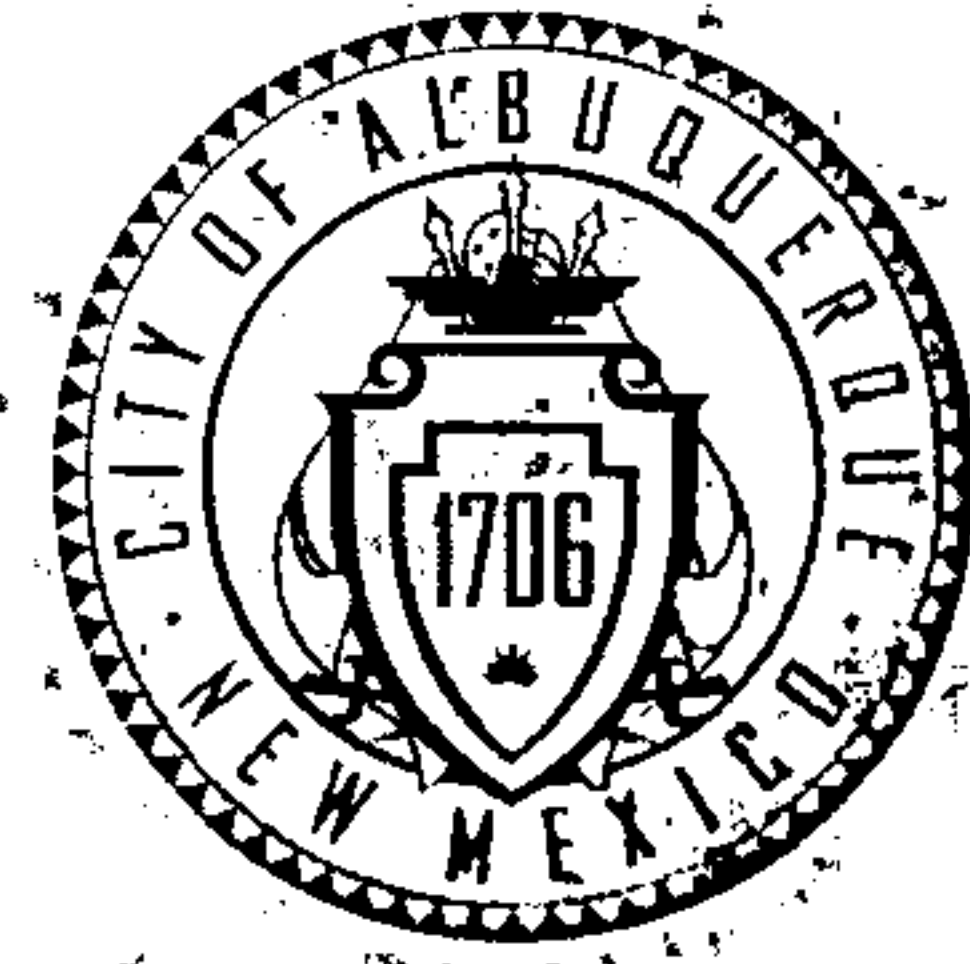
Ronald R. Bohannon, P.E.

Enclosures



JN: 29040
JN/bf/cia

CITY OF ALBUQUERQUE



October 25, 2011

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

**Re: Larry H. Miller Chrysler Dodge Jeep, 8528 Lomas Blvd NE,
Request for Certificate of Occupancy - Not Approved
Engineer's Stamp dated 09/20/10 (K-19/D115)
Certification dated 10-20-10**

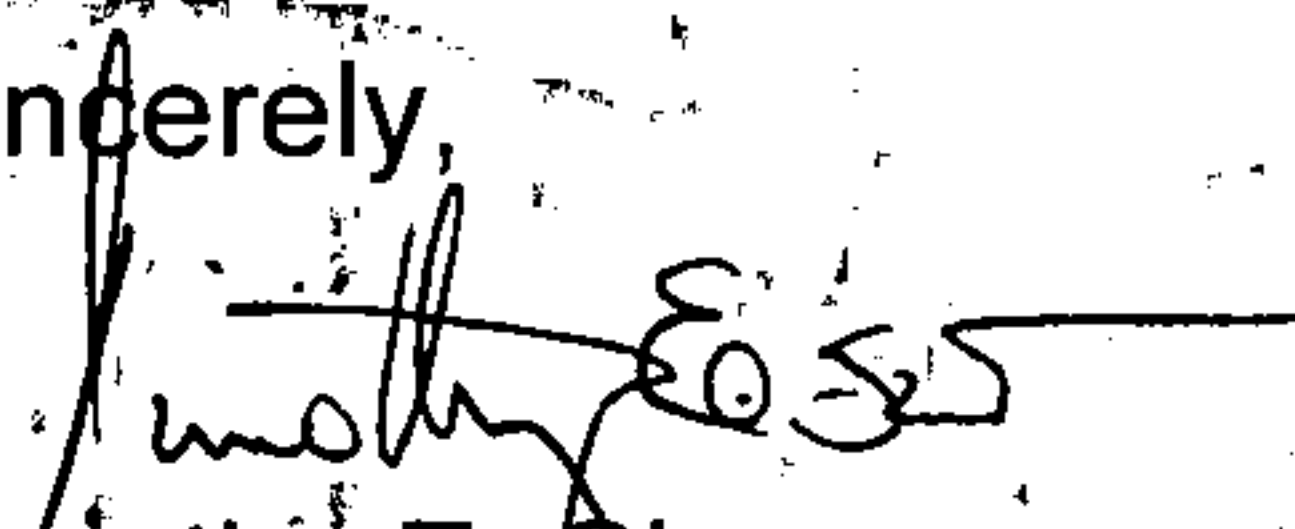
Dear Mr. Bohannon,

Based upon the information provided in the Certification received 10-24-11, the above referenced Certification cannot be approved for Certificate of Occupancy.

- The sidewalk culvert, in the right-of-way, will need inspection by Martin Pacheco 235-8016.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims,
Plan Checker—Hydrology, Planning Dept.
Development and Building Services

C File

[DRAINAGE] AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC#: _____

ZONE MAP/DRG. FILE #: K-19
WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 23-A & Lot 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West LLC

ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon

PHONE: 858-3100
ZIP CODE: 87109

OWNER: Larry H Miller Real Estate

ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph

PHONE: 263-6965
ZIP CODE: 84104

ARCHITECT: FFKR Architects

ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones

PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: Alpha Survey

ADDRESS: 1436 32nd Circle SE
CITY, STATE: Rio Rancho, NM

CONTACT: Gary Gritsko

PHONE: N/A
ZIP CODE: 87124

CONTRACTOR: P J Development Inc.

ADDRESS: _____
CITY, STATE: _____

CONTACT: Pat Joseph

PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

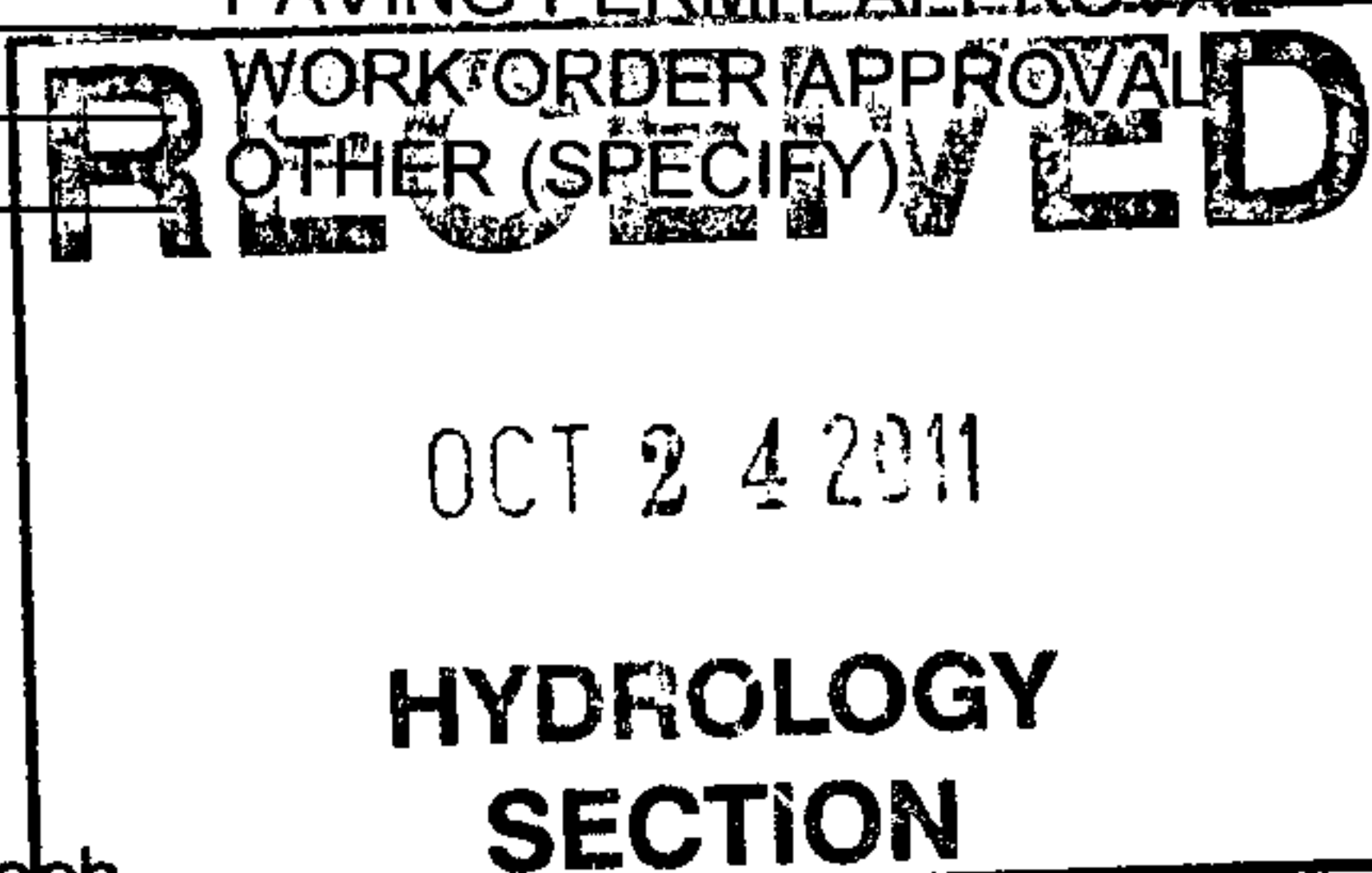
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 10/20/11

BY: Brad Frosch

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 3, 2011

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

**Re: Larry H. Miller Chrysler Dodge Jeep, 8528 Lomas Blvd NE,
Request for Certificate of Occupancy - Approved,
Engineer's Stamp dated 09/20/10 (K-19/D115)
Certification dated 10-20-10**

Dear Mr. Bohannon,

Based upon the information provided in the Certification received 10-24-11 and an e-mail on 11-3-11, the above referenced certification is approved for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology,
Development and Building Services

C: C.O. Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Pacheco, Martin

From: Pacheco, Martin
Sent: Monday, September 26, 2011 12:13 PM
To: 'Eloy Nevarez'
Subject: RE: Larry H Miller Dodge - Sidewalk Culvert
Eloy,

Sept. 2011
K-19/D115.
Rec 11-3-11

I have re-inspected the sidewalk culvert and it has Passed inspection.

Thank you,
Martin

From: Eloy Nevarez [mailto:eloy@cornerstonenm.com]
Sent: Tuesday, September 13, 2011 3:20 PM
To: Pacheco, Martin
Subject: Re: Larry H Miller Dodge - Sidewalk Culvert

Yes that's fine, I will see you there on Thursday at 8:15am.

Thanks,

Eloy

On Tue, Sep 13, 2011 at 3:17 PM, Pacheco, Martin <martinpacheco@cabq.gov> wrote:
Eloy,

I can be there between 8:15 - 8:30 AM. Will that work for you?

Martin Pacheco
DMD Storm/Arroyo Division
martinpacheco@cabq.gov
[505-235-8016](tel:5052358016) cell
[505-857-8201](tel:5058578201) office

From: Eloy Nevarez [mailto:eloy@cornerstonenm.com]
Sent: Tuesday, September 13, 2011 2:33 PM
To: Pacheco, Martin
Subject: Larry H Miller Dodge - Sidewalk Culvert

Hello Martin,

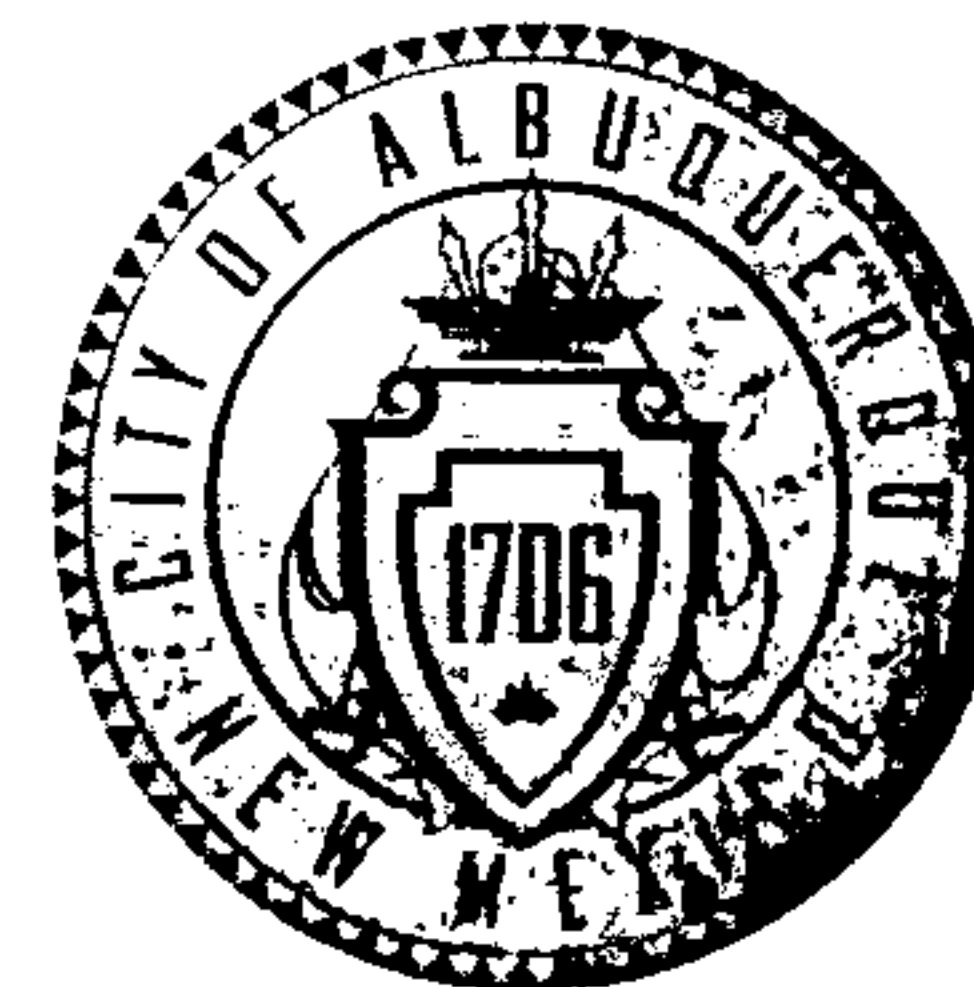
I am writing to follow up with you on the culvert installation at the Larry H Miller on Virginia Street off of Lomas. I believe you inspected our form work on 9/8/11. We have poured the culvert and will have the plate installed tomorrow. Can you come by for the final inspection on Thursday?

Thanks,

--

9/26/2011

CITY OF ALBUQUERQUE



February 17, 2010

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge, 8528 Lomas Blvd NE, Grading and Drainage Plan
Engineer's Stamp dated 1-28-10 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-1-10, the above referenced plan cannot be approved for Building Permit or SO 19 Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

- Provide existing spot elevations in the gutter at and near the proposed drive entrances. It is difficult to tell whether the proposed plan changes the existing flow line.
- Are adequate high points provided around Basin 1?
- Nuisance flows from landscape areas should be designed to prevent runoff from flowing over sidewalks on Lomas and Wyoming Blvds.
- The proposed spot elevation 5364.40 (1.5%) in the drive northeast of the building appears too high.

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE #: K-19 1115
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: (505) 263-6965
ZIP CODE: 84070

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
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☐ GRADING PLAN
☐ EROSION CONTROL PLAN
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☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

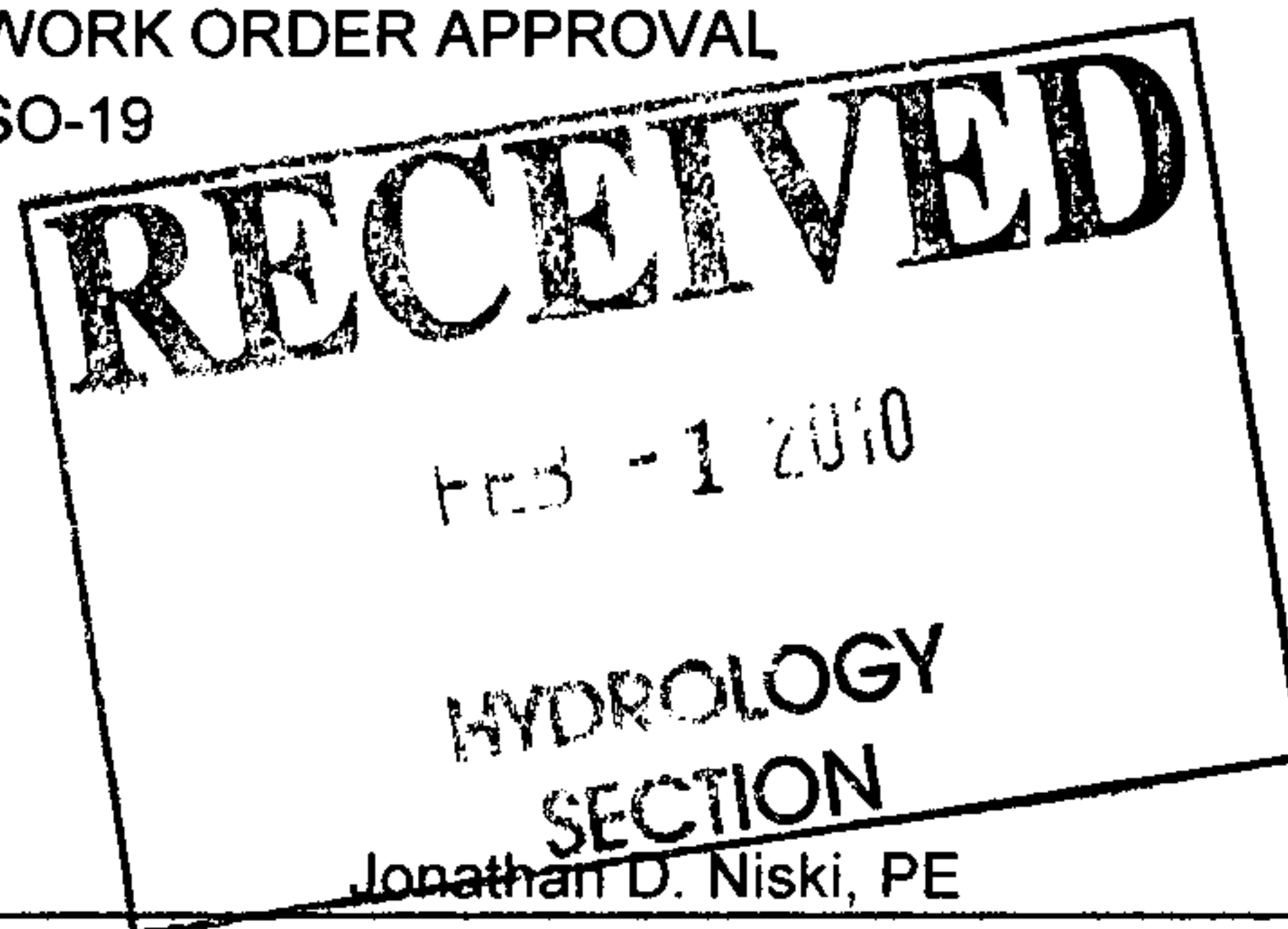
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- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1/28/2010 BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT

for

**Larry Miller Dodge Auto Dealership
Southwest Corner of Lomas/Wyoming
Albuquerque, New Mexico**

Prepared by

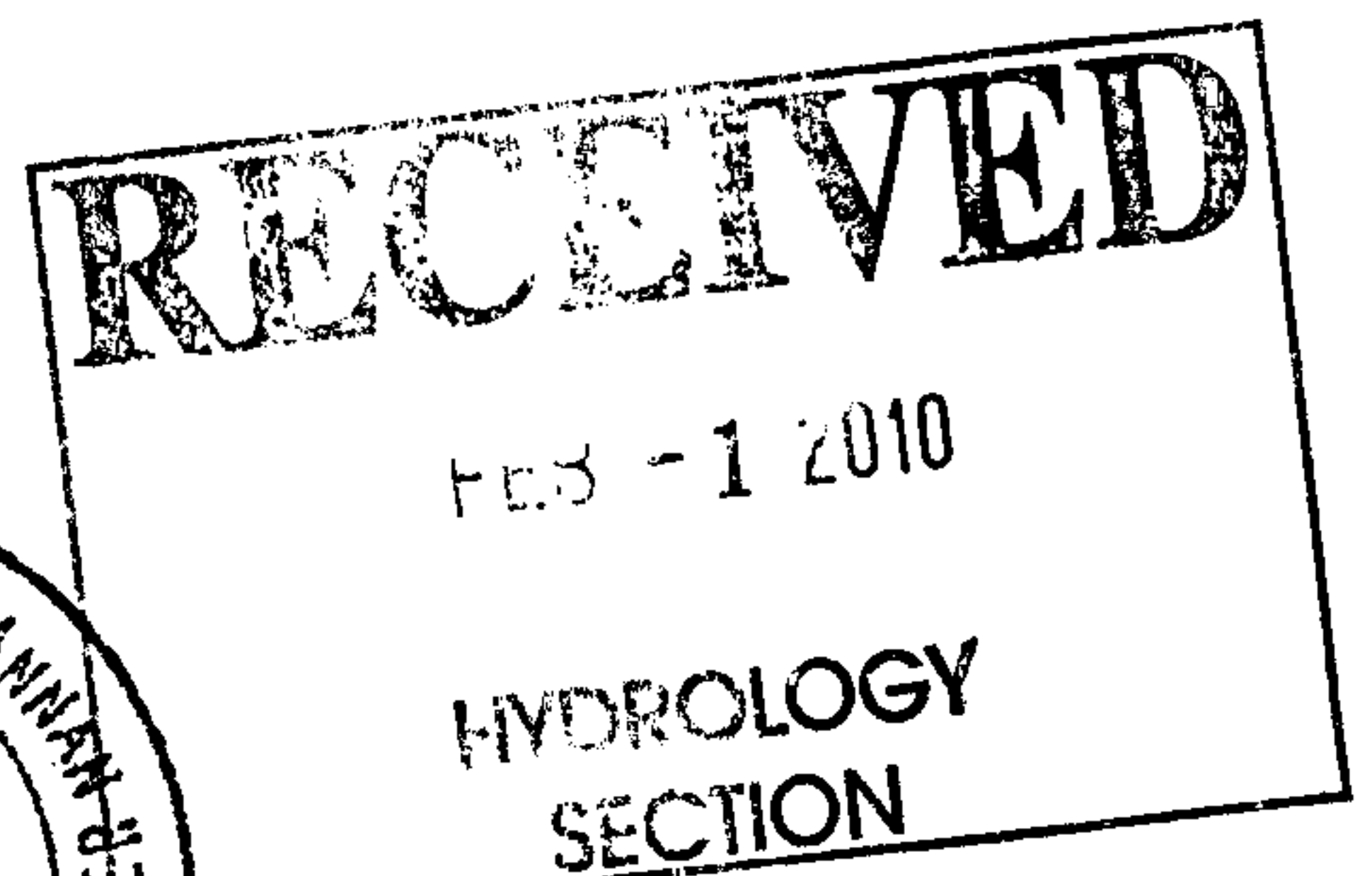
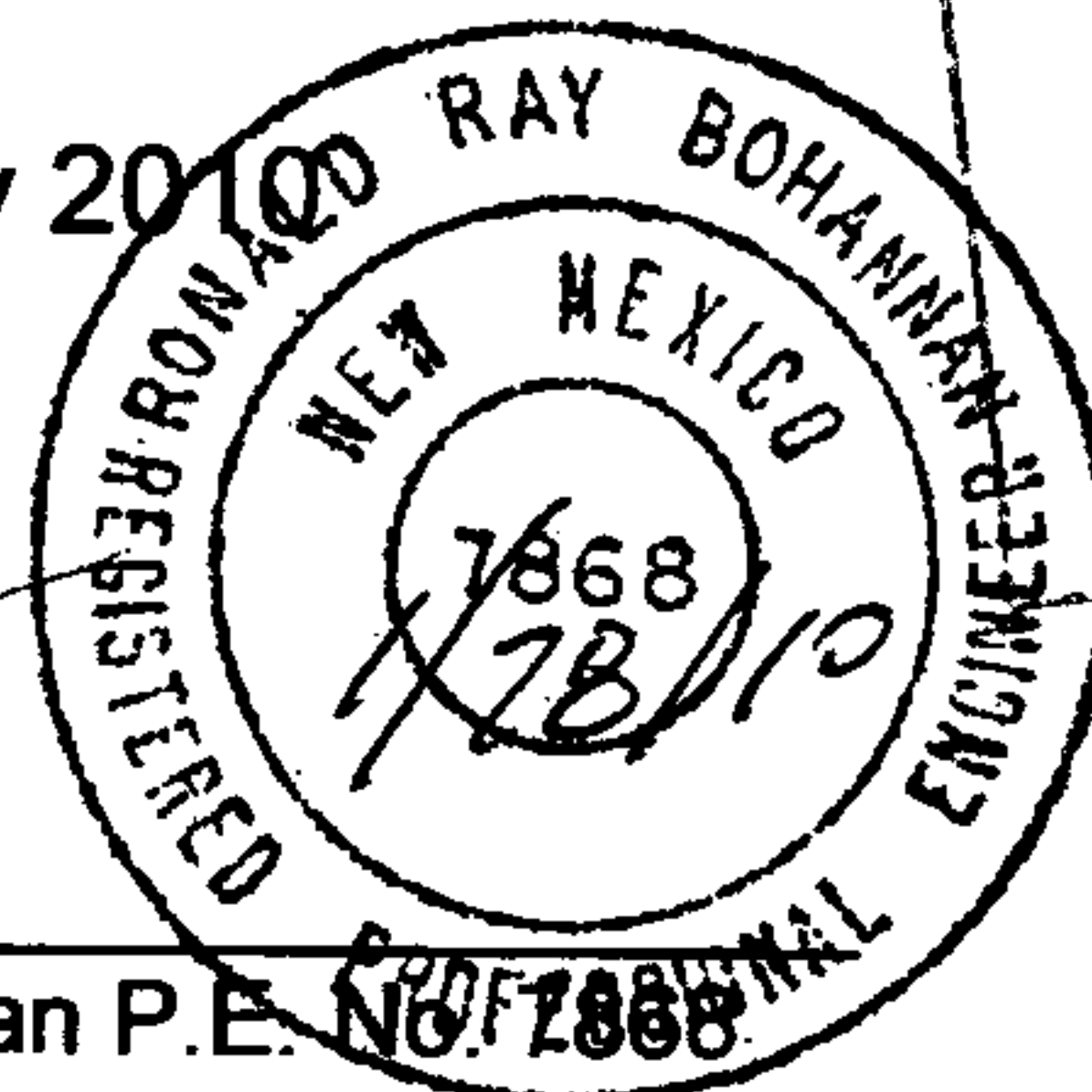
Tierra West, LLC
5571 Midway Park Place
Albuquerque, New Mexico 87109

Prepared for

Pat Joseph
PJ Development and Commercial Construction
PO Box 14903
Albuquerque, NM 87191

January 2010

Ronald R. Bohannon P.E. No. 7868



Location

The project is located on the south side of Lomas Boulevard between Wyoming and Virginia Streets. The site is the location of an existing car dealership and has been developed for many years. The new project is still a car dealership, but the owners propose to demolish the old buildings on the site and build a new 76,047 square foot dealership building. The existing parking lot will be removed and a new parking lot and landscaping installed. The site is located on Zone Atlas Page K19 and contains approximately 5.0 acres. The purpose of this report is to provide the drainage analysis and management plan for the development.

Firm Map

The site is located on FIRM map 35001C0358 G which shows the site is not within a 100-year floodplain.

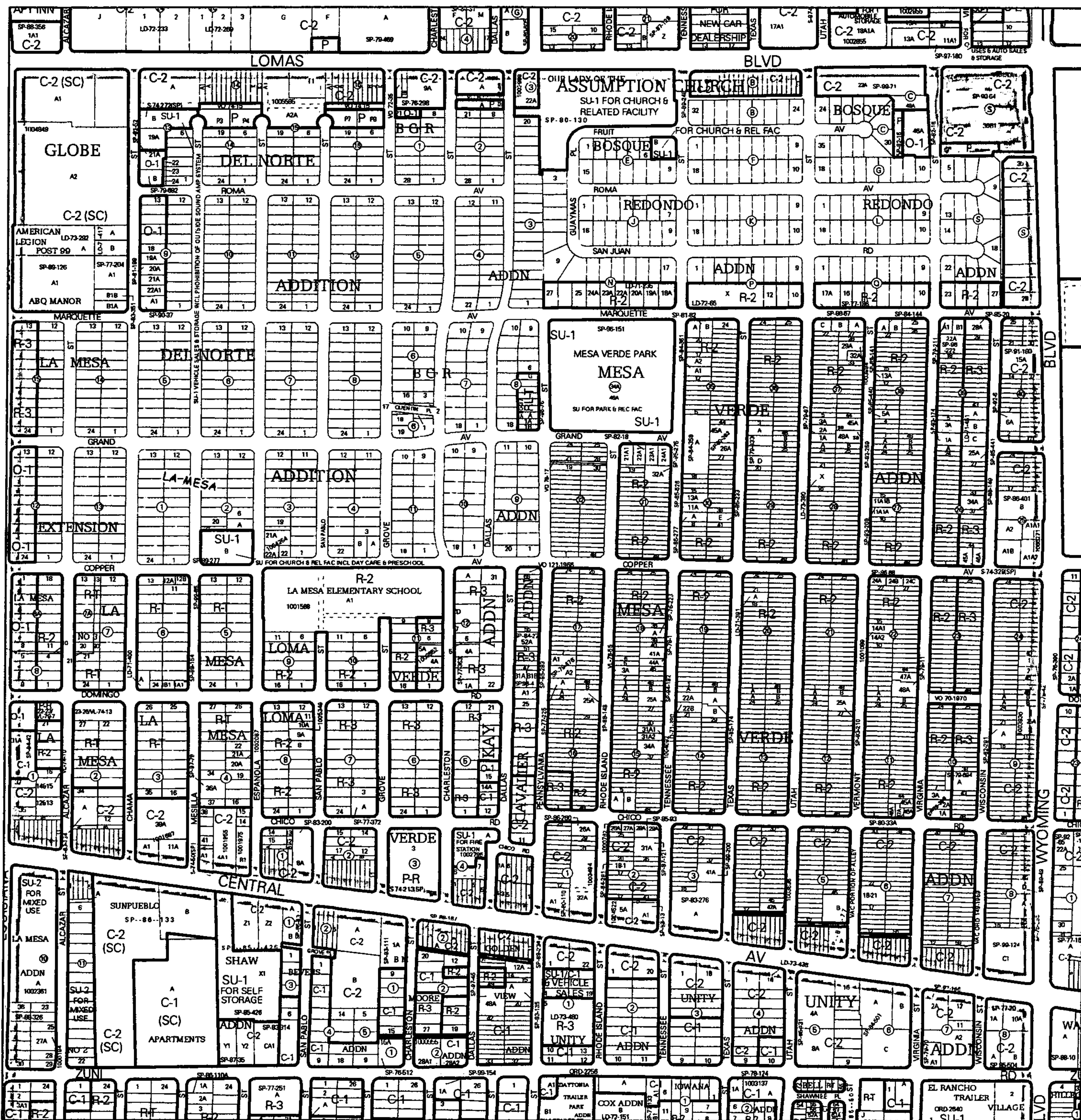
Existing Drainage Conditions

Drainage from the north is captured by Lomas Boulevard. South of the site is developed with existing residential houses and an existing alley and no water enters the site.

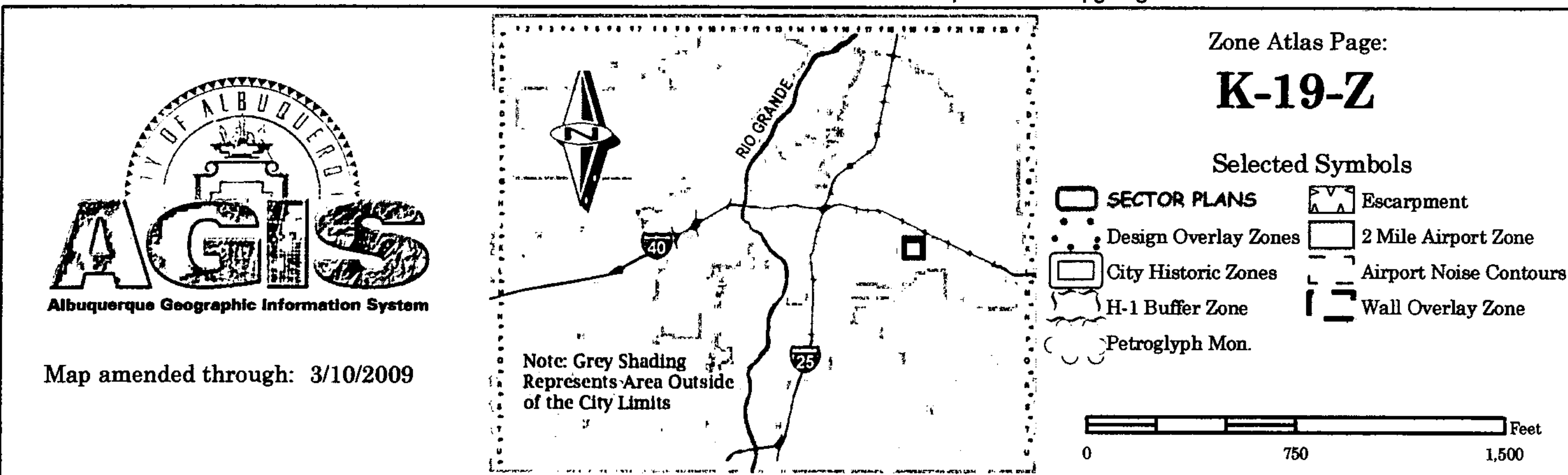
Virginia Street and Wyoming Boulevard prevent any flows from entering the site from the west and east, respectively.

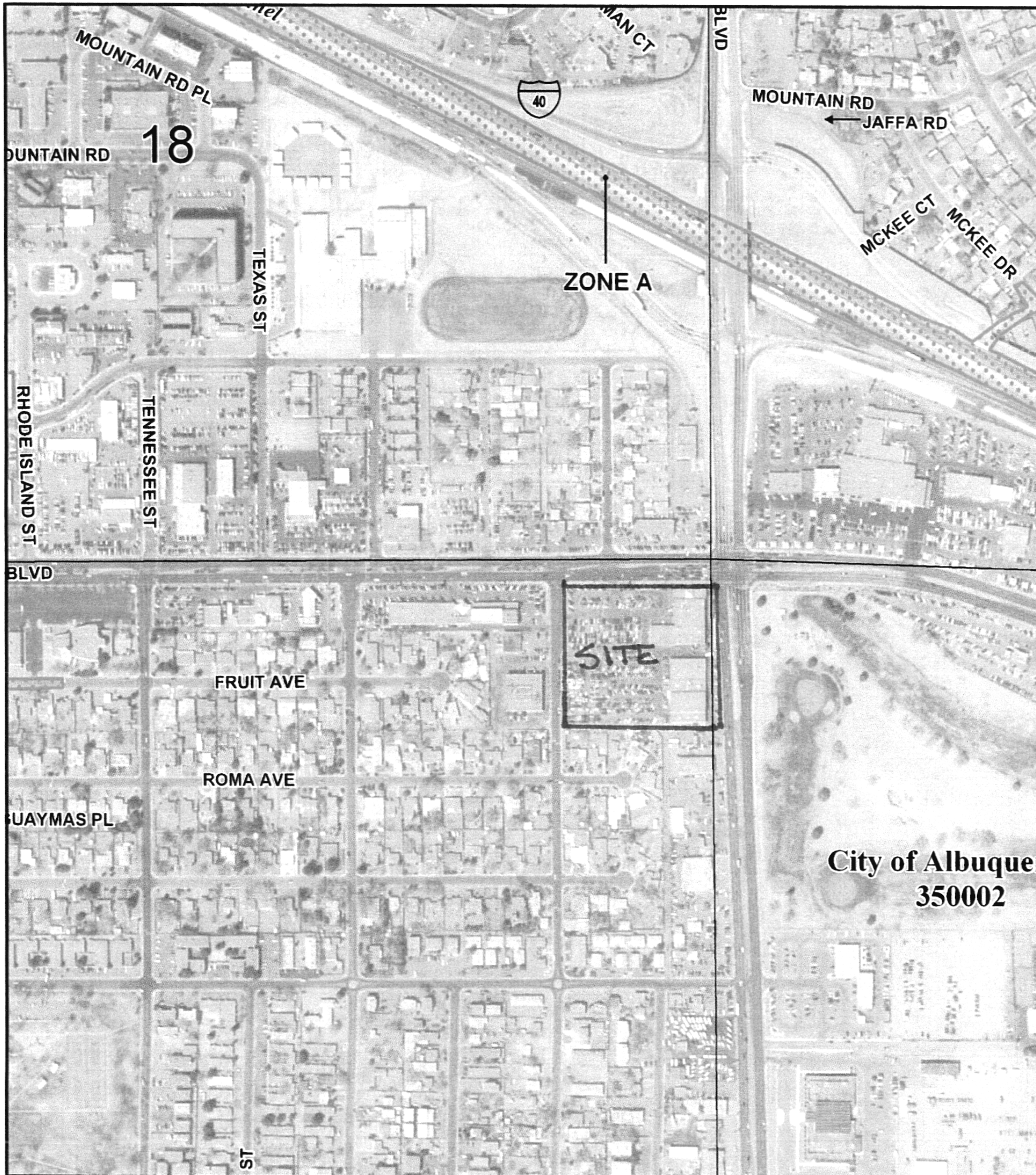
Proposed Drainage Management Plan

No change to the existing drainage pattern or quantity of flows is anticipated with this development. The property was developed previously and the land treatments remain the

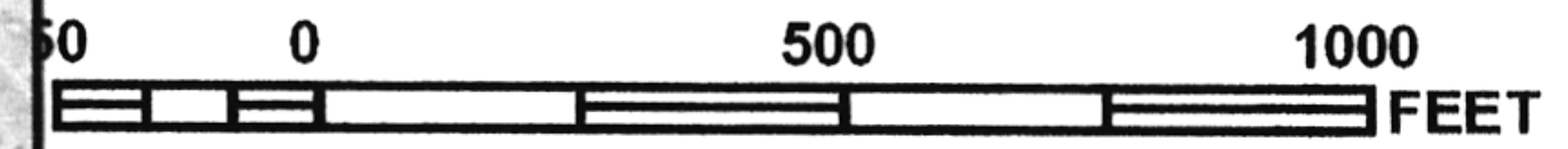


For more current information and more details visit: <http://www.cabq.gov/gis>





MAP SCALE 1" = 500'



NFIP

PANEL 0358G

FIRM

FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 358 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

<u>COMMUNITY</u>	<u>NUMBER</u>	<u>PANEL</u>	<u>SUFFIX</u>
ALBUQUERQUE, CITY OF	350002	0358	G
BERNALILLO COUNTY UNINCORPORATED AREAS	350001	0358	G

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0358G

MAP REVISED
SEPTEMBER 26, 2008

Federal Emergency Management Agency

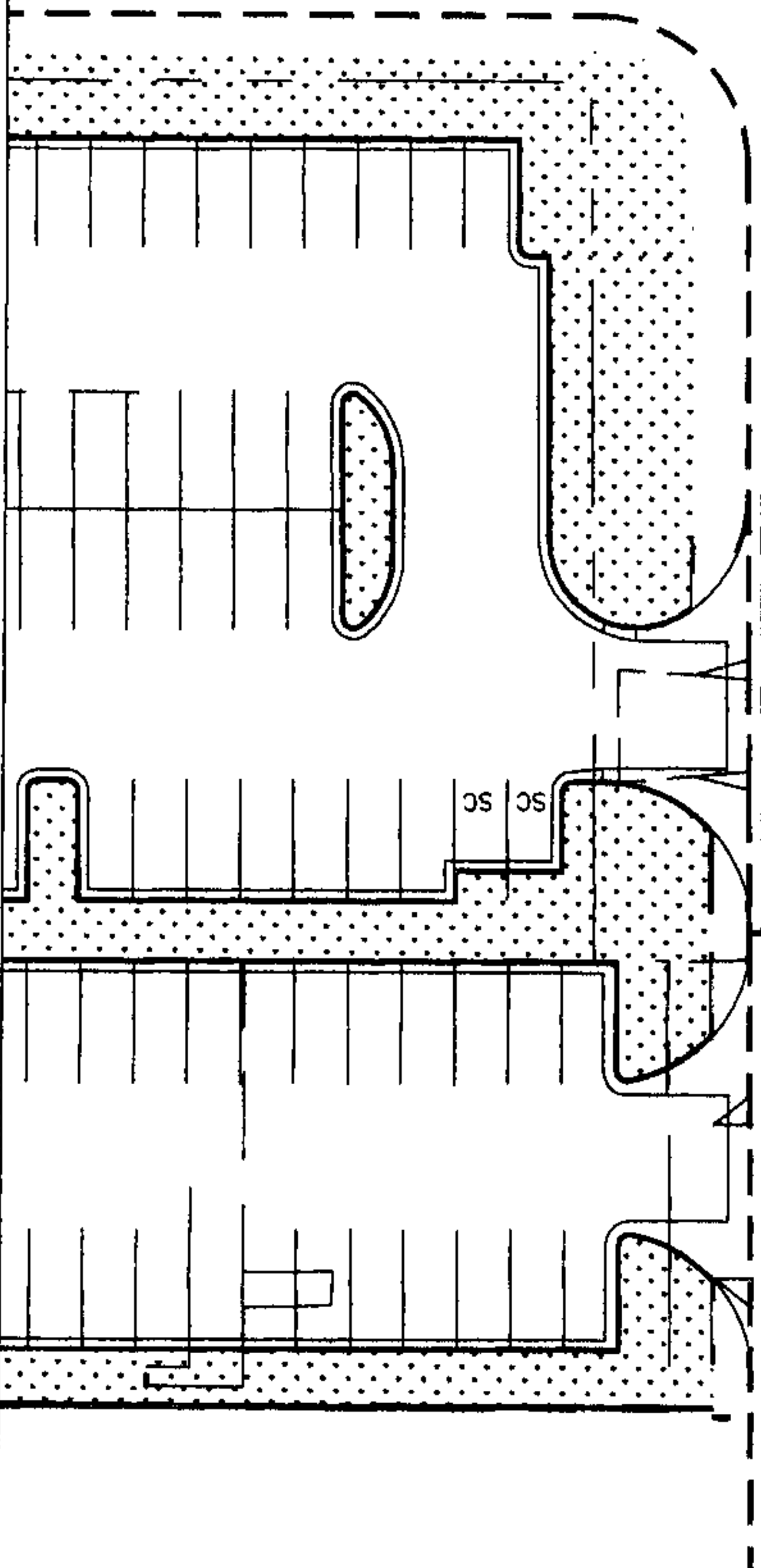
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

same. The old buildings will be demolished and replaced with new buildings or asphalt parking lot. The developed drainage of 23.80 cfs flows across the site from the east to the west and enter the adjacent streets of Lomas and Virginia. From there, the flows enter the existing public storm drain system in Lomas Boulevard.

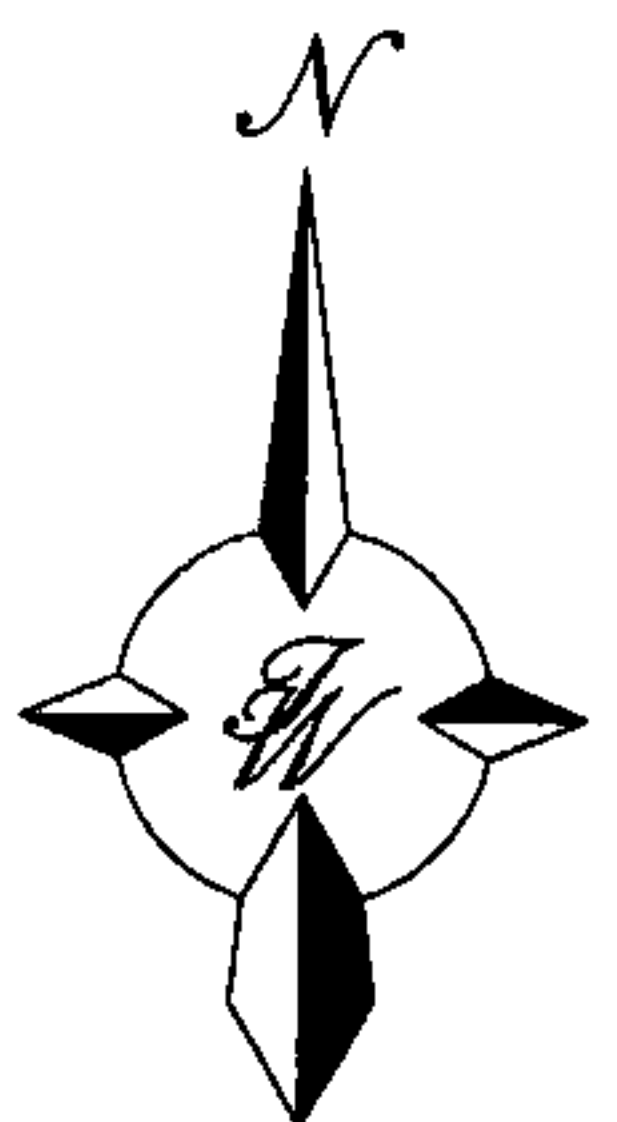
The site is divided into five drainage basins to facilitate the design of the drainage channels and sidewalk culverts than convey the flows to the adjacent streets. Also, at the request of EPC, passive water harvesting techniques in the landscape islands will be used where appropriate. The landscaped parking lot islands will have small notches that allow runoff to enter the island. Another small notch is located on the opposite (downstream) side of the island to allow overflow from large rain events to flow freely across the parking lot. The landscape area at the southwest corner of the site will be graded with a slight depression for water harvesting. Notches in the curb will allow water to enter the landscape area before flowing to a new concrete channel and sidewalk culvert to Virginia Street.

Conclusion

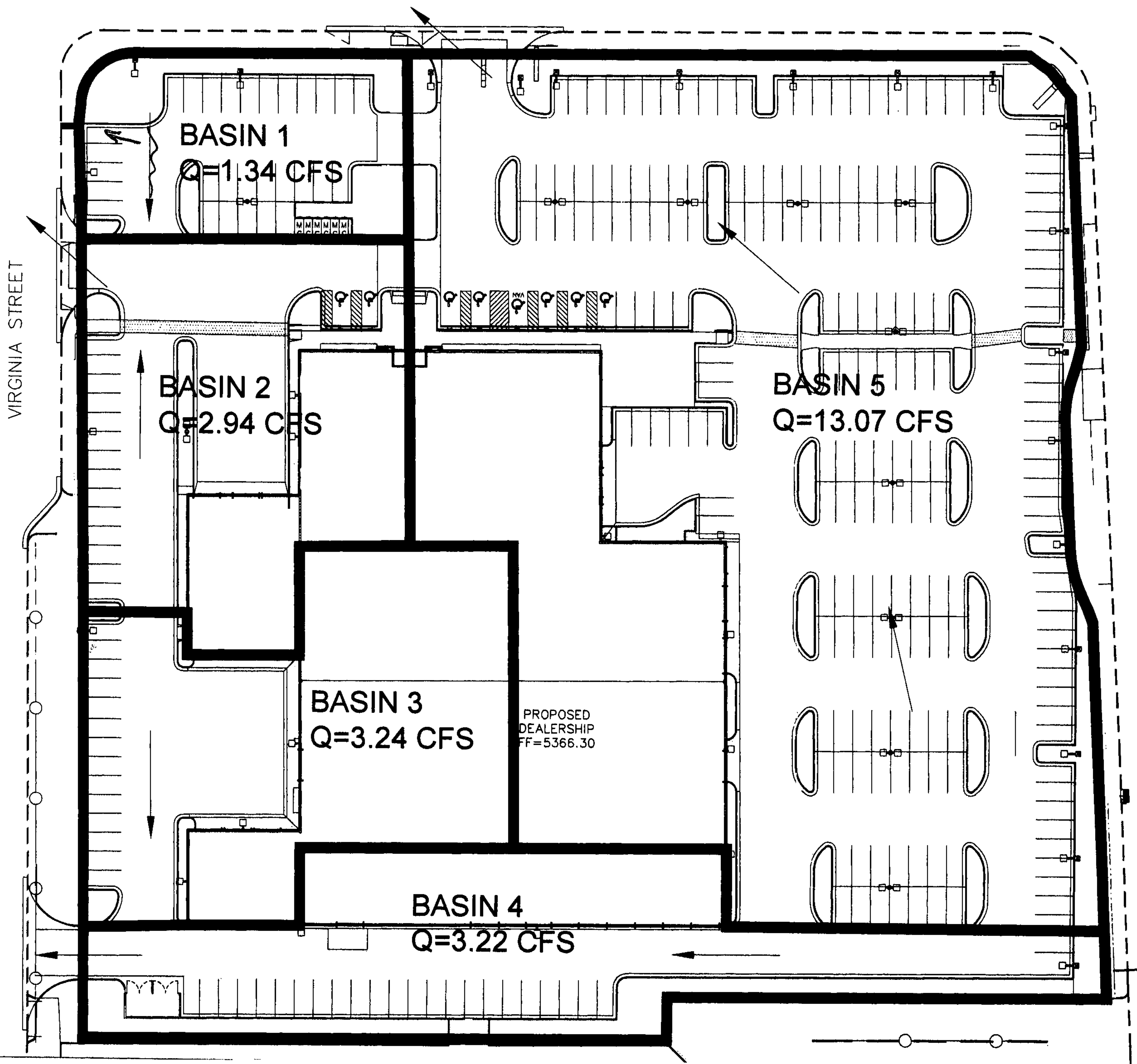
The site was the location of an existing car dealership for a number of years and is being redeveloped as a new dealership. No change to the flow quantity or pattern is anticipated with this project. The current and developed flow of 23.80 cfs will continue to drain across the site in a northwesterly direction to Lomas Boulevard and Virginia Street. New drainage channels and sidewalk culverts will convey the flows to the surrounding streets.



46A, BLOCK "C",
E REDONDO ADDITION
5/82, VOL. A8, FOLIO 120



DEVELOPED BASIN MAP



BASIN 1
Q=1.34 CFS

BASIN 2
Q=2.94 CFS

BASIN 3
Q=3.24 CFS

BASIN 4
Q=3.22 CFS

BASIN 5
Q=13.07 CFS

PROPOSED
DEALERSHIP
FF=5366.30



Calculations

Weighted E Method

On-Site Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
1	13,562	0.31	0%	0	30%	0.09	0%	0.00	70%	0.22	1.928	0.050	1.34	1.158	0.030	0.85
2	26,846	0.62	0%	0	10%	0.06	0%	0.00	90%	0.55	2.216	0.114	2.94	1.386	0.071	1.95
3	28,785	0.66	0%	0	5%	0.03	0%	0.00	95%	0.63	2.288	0.126	3.24	1.443	0.079	2.17
4	29,311	0.67	0%	0	10%	0.07	0%	0.00	90%	0.61	2.216	0.124	3.22	1.386	0.078	2.13
5	119,148	2.74	0%	0	10%	0.27	0%	0.00	90%	2.46	2.216	0.505	13.07	1.386	0.316	8.67
Total	217,652	5.00		0		0.53		0.00		4.47		0.919	23.80		0.574	15.77

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)		
Zone 3	100-Year	10 - Year
E _a	0.66	0.19
E _b	0.92	0.36
E _c	1.29	0.62
E _d	2.36	1.5

Peak Discharge (cfs/acre)		
Zone 3	100-Year	10 - Year
Q _a	1.87	0.58
Q _b	2.6	1.19
Q _c	3.45	2
Q _d	5.02	3.39

Channel Capacity

Basin	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
1	1	1	0.5	0.50	2.00	0.2500	1	2.27	1.34	2.68

Manning's Equation:

$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$
A = Area
R = A/WP
S = Slope
n = 0.013 Concrete

Channel Inlet Capacity

Basin	Flow	Height	Length
	(cfs)	(ft)	(ft)
1	1.02	0.5	0.98
4	5.53	0.5	5.30
5	11.88	0.5	11.39

Weir Equation:

$Q = CLH^{(3/2)}$
C = 2.95
L = Length
H = Height of Weir
Q = Flow (cfs)

SIDEWALK CULVERTS

Orifice Equation:

$$Q = CA\sqrt{2gH}$$

Where:

$$C = 0.6$$

$$A = 0.5833 \times 2 = 1.167 \text{ ft}^2$$

$$g = 32.2$$

H = Height of water measured from center of orifice

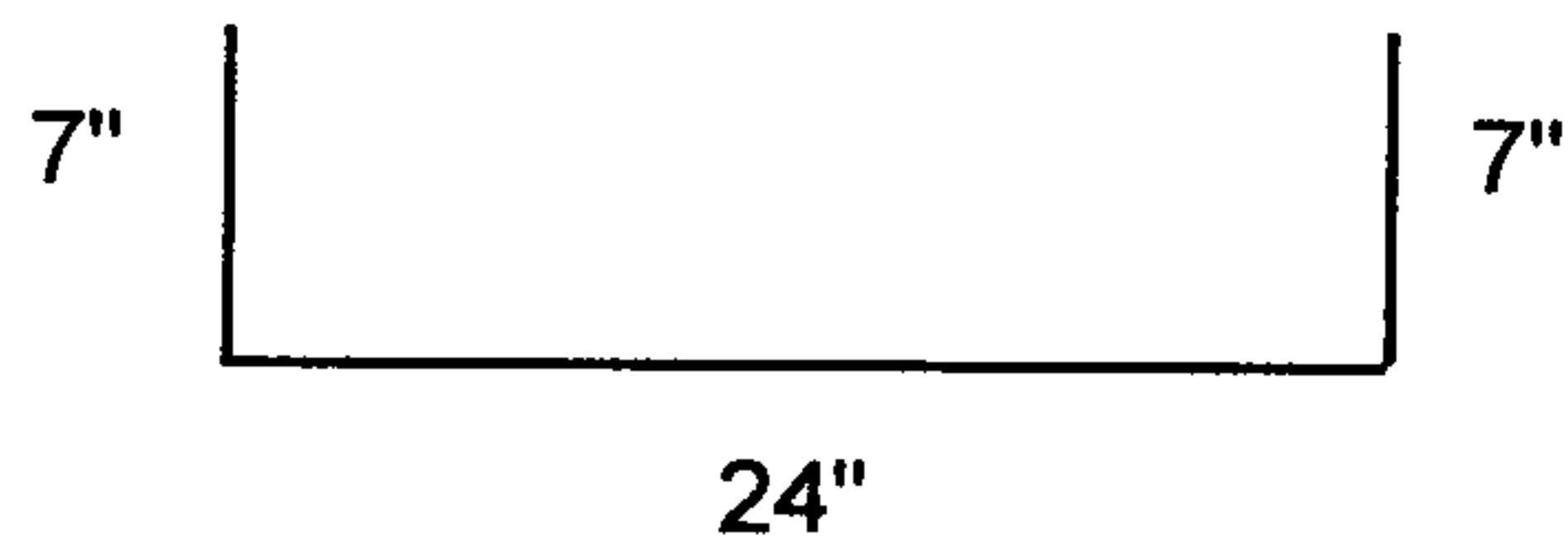
$$Q = 0.6 \times 1.167 \times \sqrt{2 \times 32.2 \times 0.2917}$$

$$Q = 3.035 \text{ cfs}$$

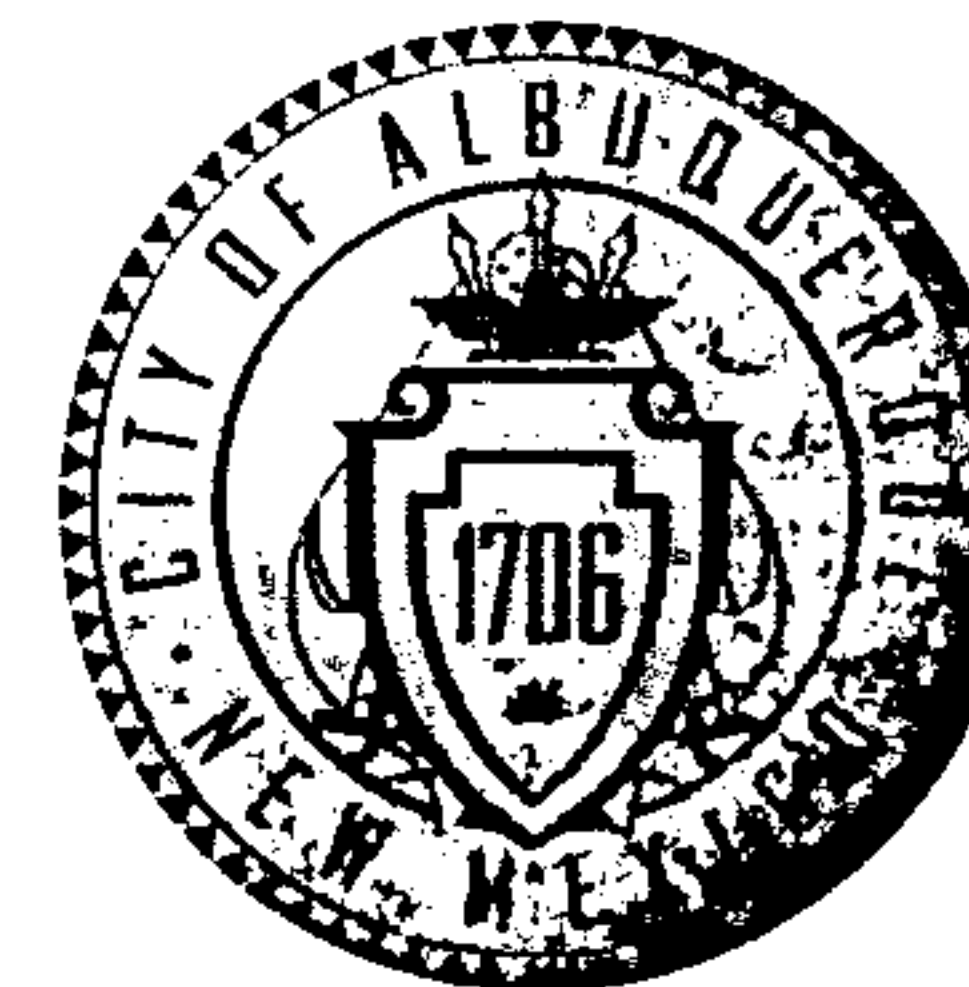
Basin 1

$$3.04 \text{ cfs} > 1.34 \text{ cfs}$$

Use one 24" sidewalk culvert



CITY OF ALBUQUERQUE



March 1, 2010

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge, 8528 Lomas Blvd NE, Grading and Drainage Plan
Engineer's Stamp dated 2-26-10 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 3-1-10, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the sidewalk culvert in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE #: K-19 10115
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: (505) 263-6965
ZIP CODE: 84070

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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☐ WORK ORDER APPROVAL
☒ SO-19

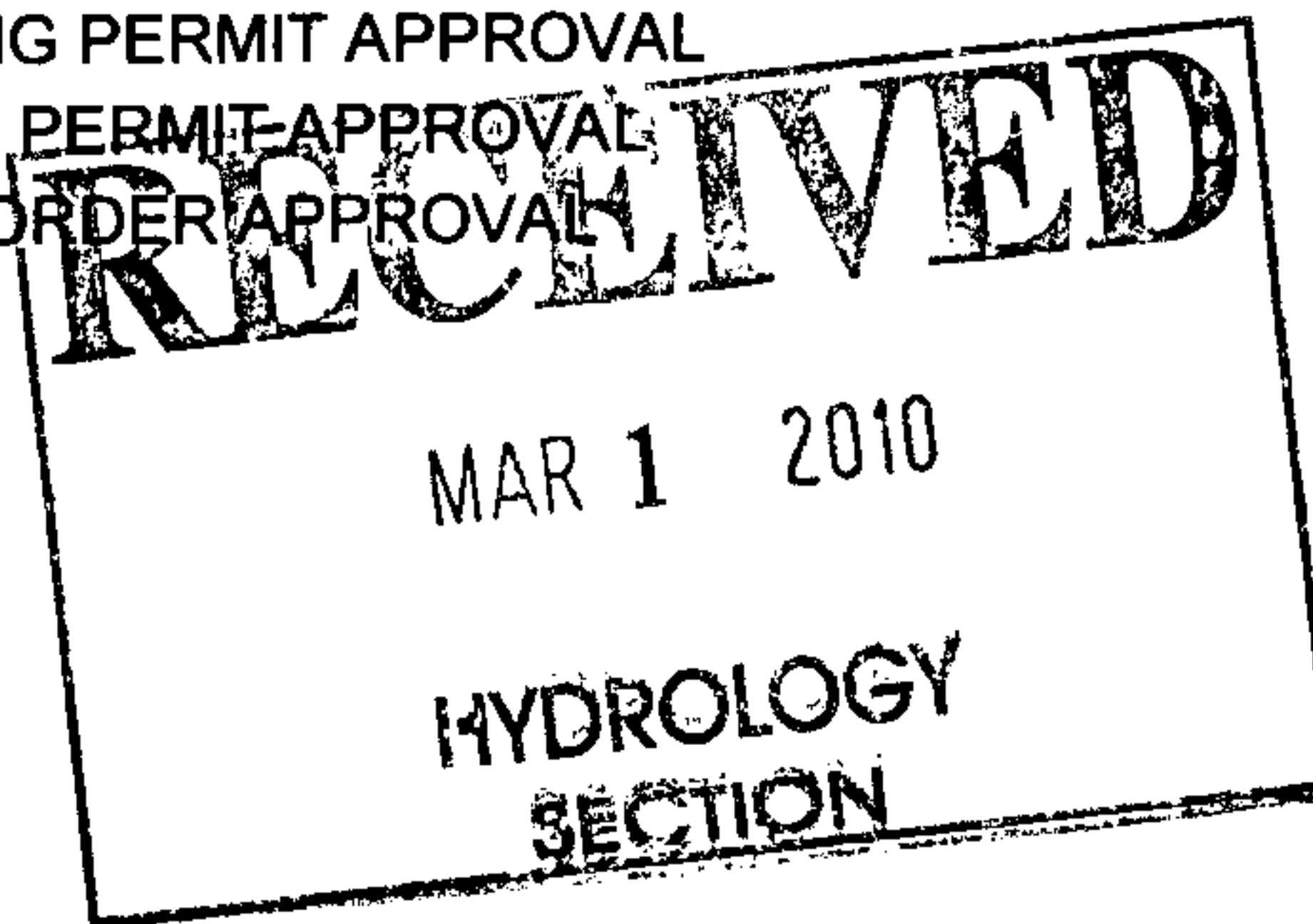
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/26/2010 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



gan

TIERRA WEST, LLC

February 26, 2010

Mr. Curtis Cherne, P.E.
Senior Engineer, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: LARRY MILLER DODGE, 8528 LOMAS BLVD NE,
GRADING AND DRAINAGE PLAN
ENGINEER'S STAMP DATED 1-28-10 (K19/1)115)**

Dear Mr. Cherne:

Per your correspondence dated February 17, 2010, regarding the above-referenced project, we are resubmitting Grading and Drainage Plan for Building Permit approval. Please find the following responses addressing your comments listed below:

1. Provide existing spot elevations in the gutter at and near the proposed drive entrances. It is difficult to tell whether the proposed plan changes the existing flow line.
Existing spot elevations were added to all the streets. We are not proposing to change any of the existing street grades.
2. Are adequate high points provided around Basin 1?
Adequate high points are provided around Basin 1 and a break line was added to the plan clarifying where the high point is located.
3. Nuisance flows from landscape areas should be designed to prevent runoff from flowing over sidewalks on Lomas and Wyoming Boulevard.
Nuisance flows will be captured in the depressed landscape areas for water harvesting. The site grades are lower along Wyoming so the water from that landscape area will flow into the site.
4. The proposed spot elevation 5364.40(1.5%) in the drive northeast of the building appears too high.
There was a typographical error at that location and the spot elevation was corrected to reflect positive flow.

Sincerely,

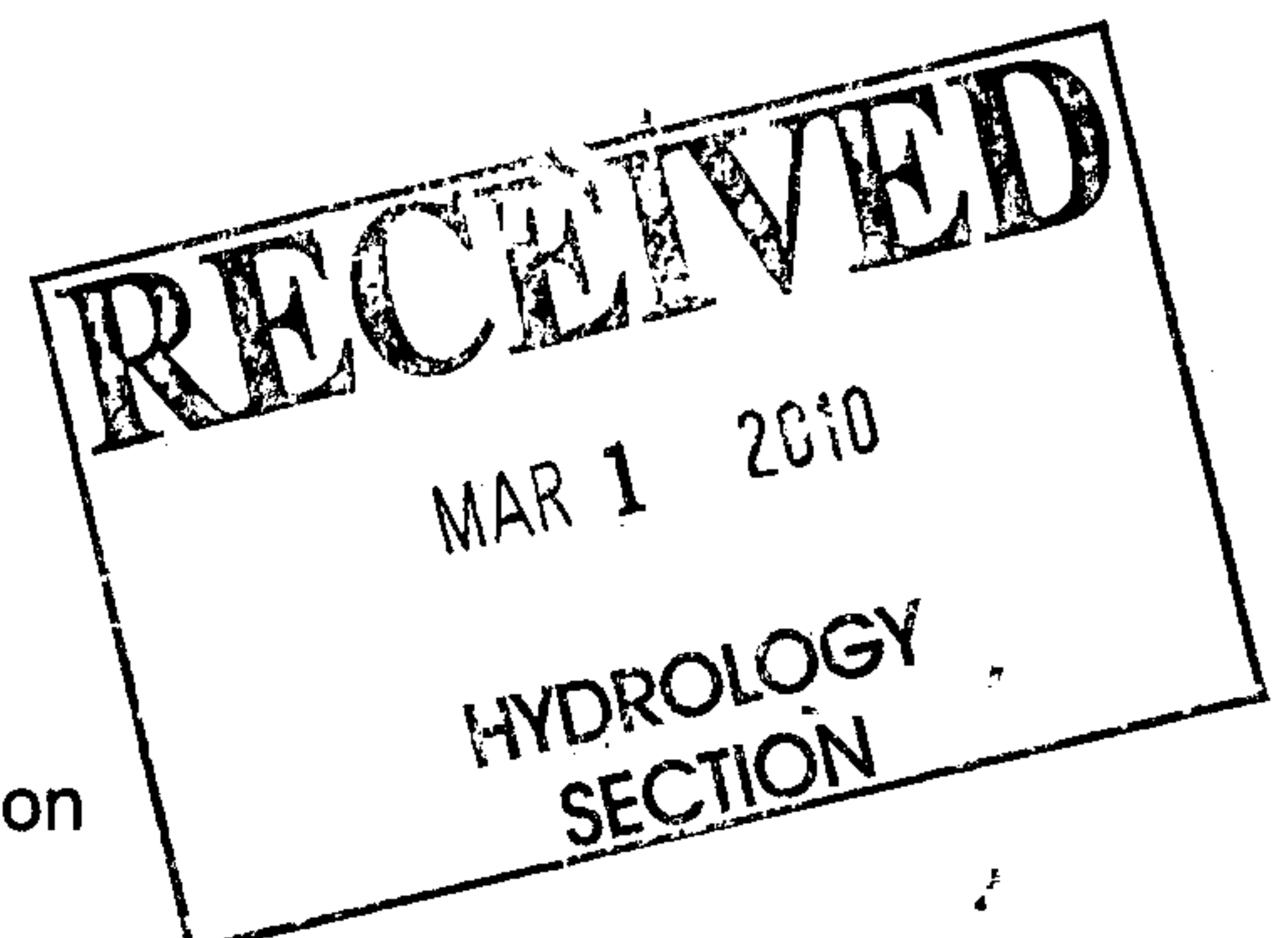


Ronald R. Bohannon, P.E.

Enclosure/s

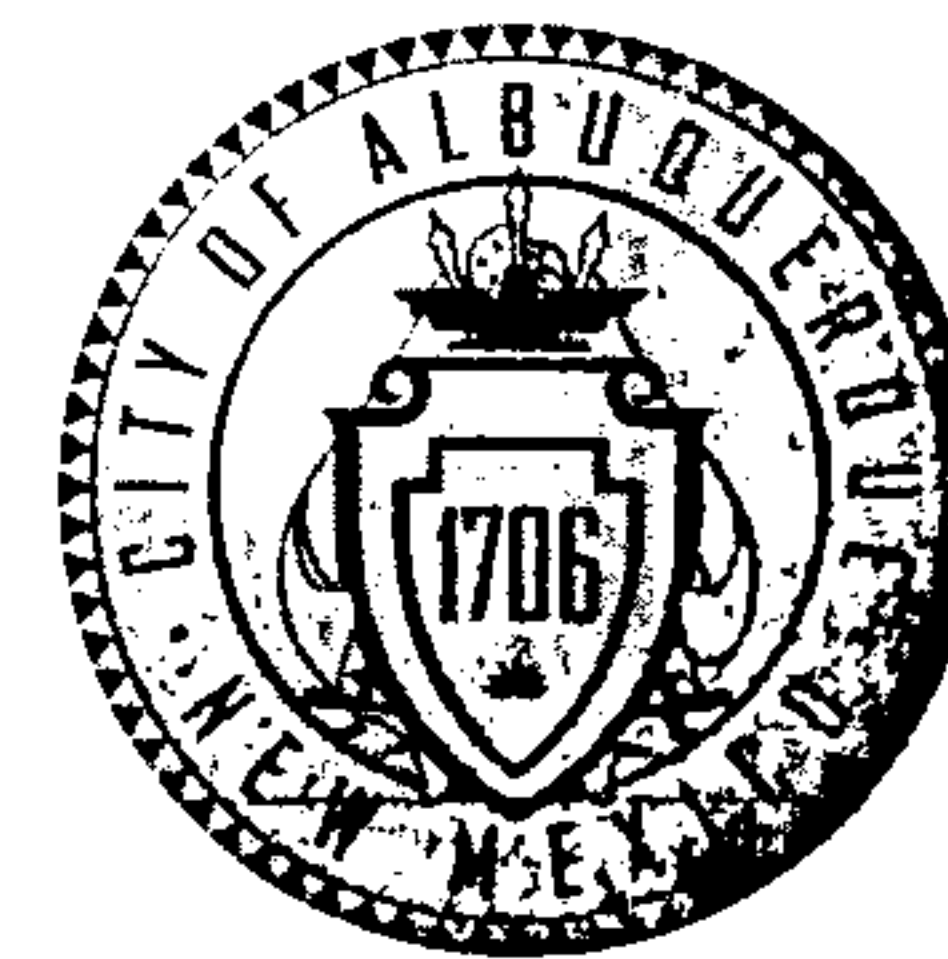
cc: Pat Joseph – PJ Development Commercial Construction

JN: 29040
JN/cia



5571 Midway Park Place NE
Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

CITY OF ALBUQUERQUE



November 8, 2010

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge Administrative Amendment, 8528 Lomas Blvd NE,
Grading and Drainage Plan
Engineer's Stamp dated 9-20-10 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 11-4-10, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the sidewalk culvert in the City ROW must be inspected and accepted. Please contact Dave Silva, 857-8074, to schedule an inspection. This is the plan to certify to obtain a C.O.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep ZONE MAP/DRG. FILE # K-19 115
DRB #: 1007958 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC CONTACT: Jonathan D. Niski, P.E.
ADDRESS: 5571 Midway Park Place NE PHONE: (505) 858-3100
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate CONTACT: Pat Joseph
ADDRESS: 9350 S 150 E., Suite 1000 PHONE: (505) 263-6965
CITY, STATE: Sandy, Utah ZIP CODE: 84070

ARCHITECT: FFKR Architects CONTACT: Trent Jones
ADDRESS: 730 Pacific Avenue PHONE: 801-517-4388
CITY, STATE: Salt Lake City, Utah ZIP CODE: 84104

SURVEYOR: N/A CONTACT: N/A
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: N/A CONTACT: N/A
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANACIAL GUARANTEE RELEASE
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☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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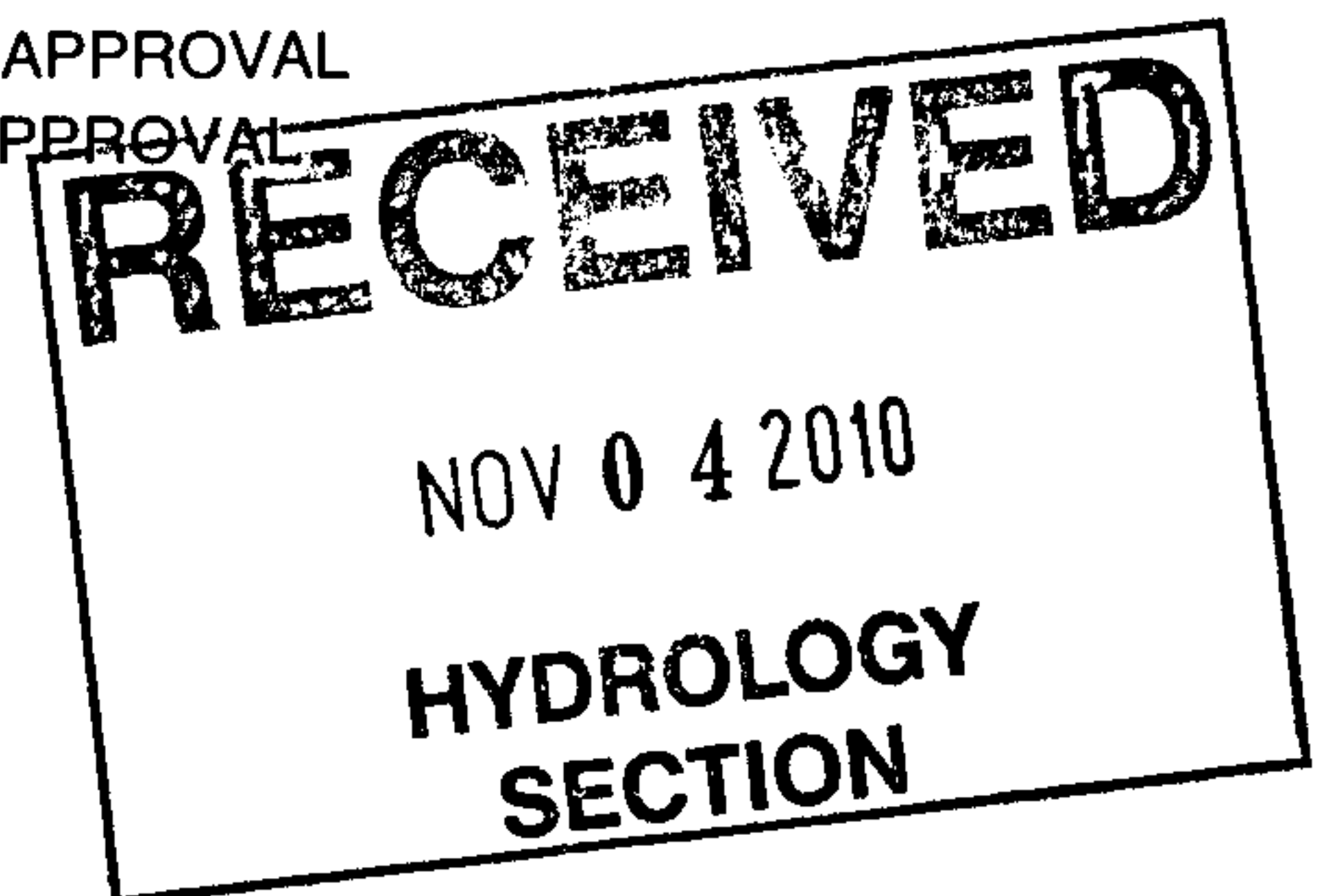
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 11/3/2010 BY: Jonathan D. Niski, PE

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5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

November 3, 2010

Mr. Brad Bingham, PE
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: GRADING AND DRAINAGE PLAN UPDATE TO
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
LARRY MILLER CHRYSLER DODGE JEEP
(K19/D115)**

Dear Mr. Bingham:

Tierra West LLC, on behalf of Larry Miller Chrysler Dodge Jeep, requests approval of a updated Grading and Drainage Plan to accompany an Administrative Amendment to the approved Site Development Plan for Building Permit for the above-referenced site. The site is the long-time location of an automobile dealership and the approved Site Development Plan for Building Permit is for the construction of a more modern, up-to-date facility. The previous Grading and Drainage Plan was approved by the on March 1, 2010. The purpose of the Administrative Amendment and the reason for this update is to reduce the size of the building footprint, modify the building elevations to match the new footprint and change the orientation of the parking lot/display area. All of the flow paths and volumes remain the same and the drainage concept is the same as well.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

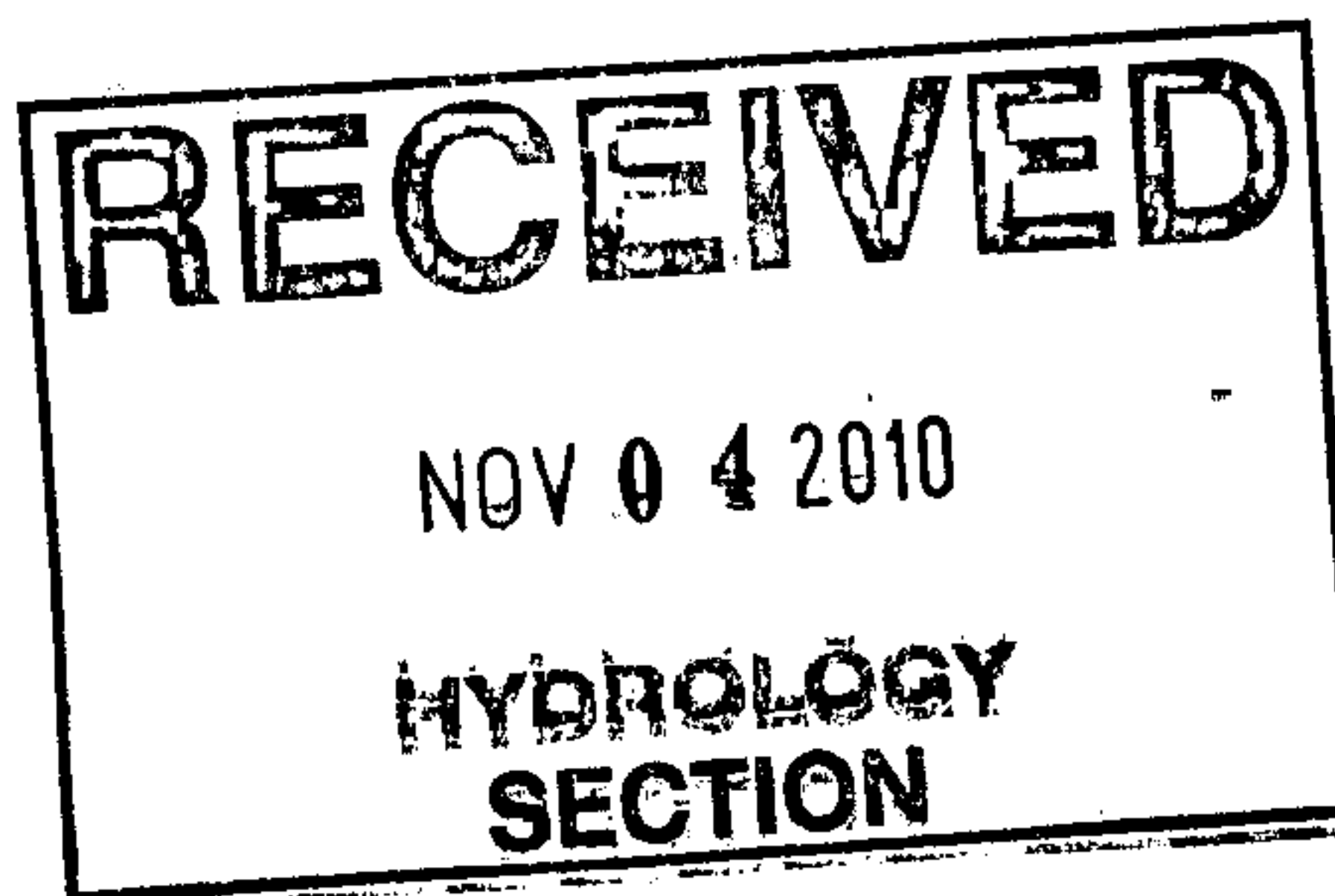


Jonathan D. Niski, PE

Enclosure/s

cc: Pat Joseph

JN: 29040.
JDN/cia



DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PHASE I

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE # K-19 / D115
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Jonathan D. Niski, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: (505) 263-6965
ZIP CODE: 84070

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: N/A
PHONE: _____
ZIP CODE: _____

CONTRACTOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: N/A
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

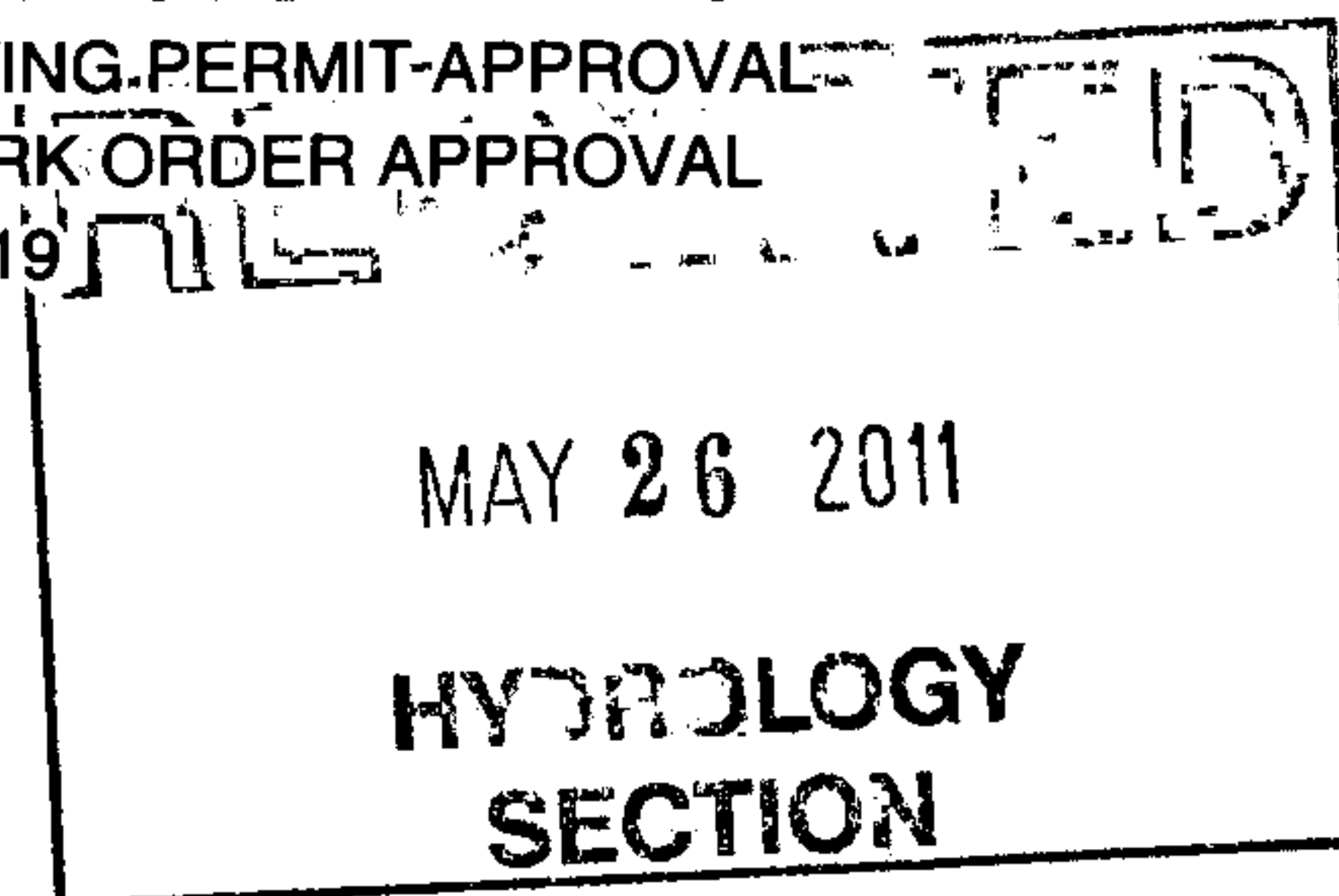
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 5/25/2011 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



June 2, 2011

Ronald R. Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Larry Miller Chrysler, Dodge, Jeep Dealership (Phase I)
8528 Lomas Blvd. NE
Temporary Certificate of Occupancy – Transportation Development
Engineer's Stamp dated 05-26-11 (K19-D115)
Certification dated 05-26-11

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 05-26-11, Transportation Development has approved your request for a 120-day Temporary Certificate of Occupancy (C.O.). This letter serves as a "green tag" from Transportation Development for a **120-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File



TIERRA WEST, LLC

May 26, 2011

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CERTIFICATION FOR
TEMPORARY CERTIFICATE OF OCCUPANCY
LARRY MILLER DODGE, 8528 LOMAS BLVD. NE**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby certify that this project is in substantial compliance as inspected on May 25, 2011, with and in accordance with the design intent of the Approved Administrative Amended Site Development Plan for Building Permit dated 10/25/10. It was determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Administrative Amended Site Development Plan for Building Permit. The project is being constructed in phases in order to keep the existing business operating during construction. Phase I is substantially complete as indicated on the enclosed plan. Phase II will consist of the demolition of the existing buildings, Phase III, the construction of the rest of the parking areas. Therefore, we request approval of the as-built Approved Administrative Amended Site Development Plan for Building Permit for a Temporary Certificate of Occupancy.

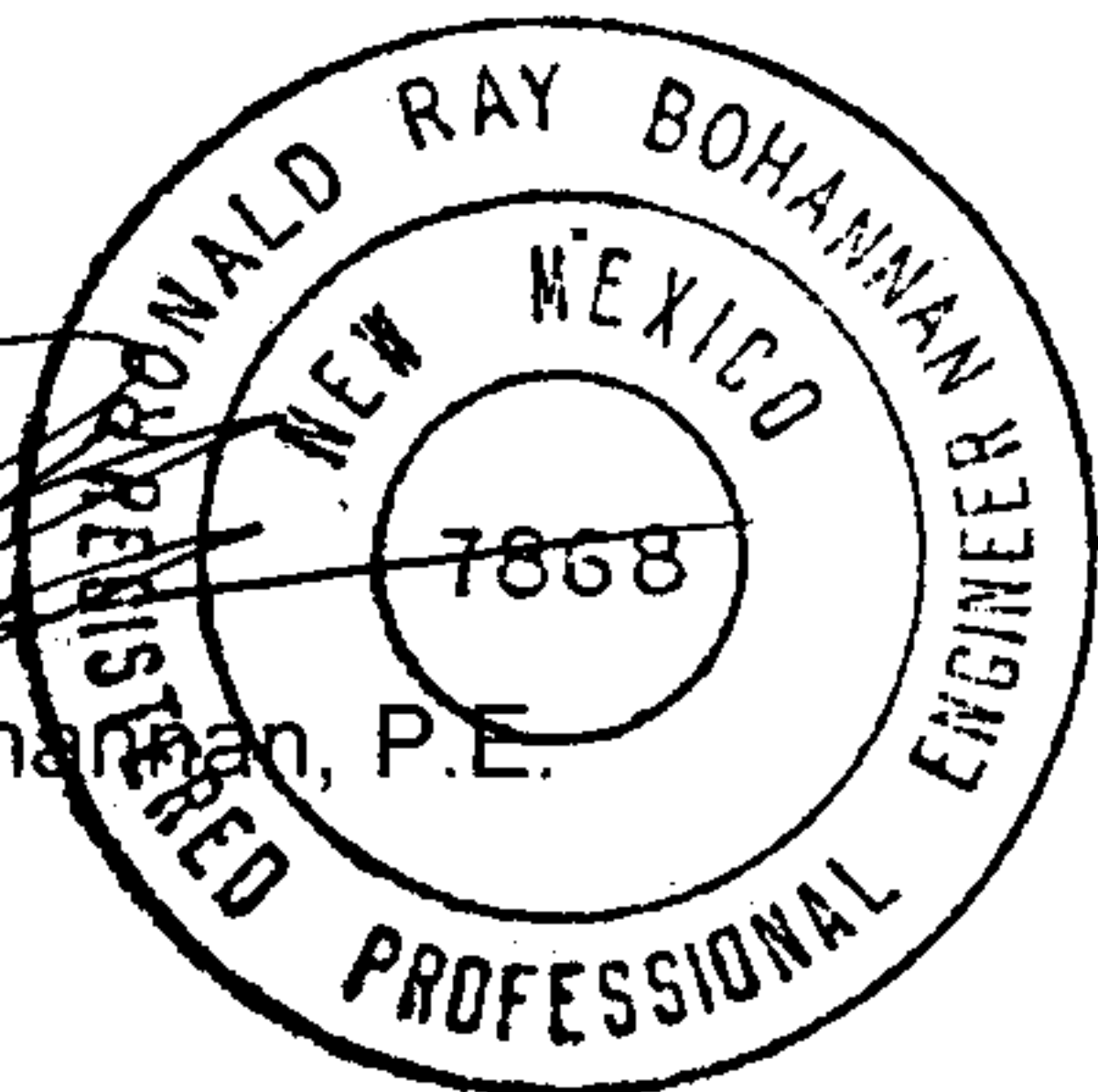
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

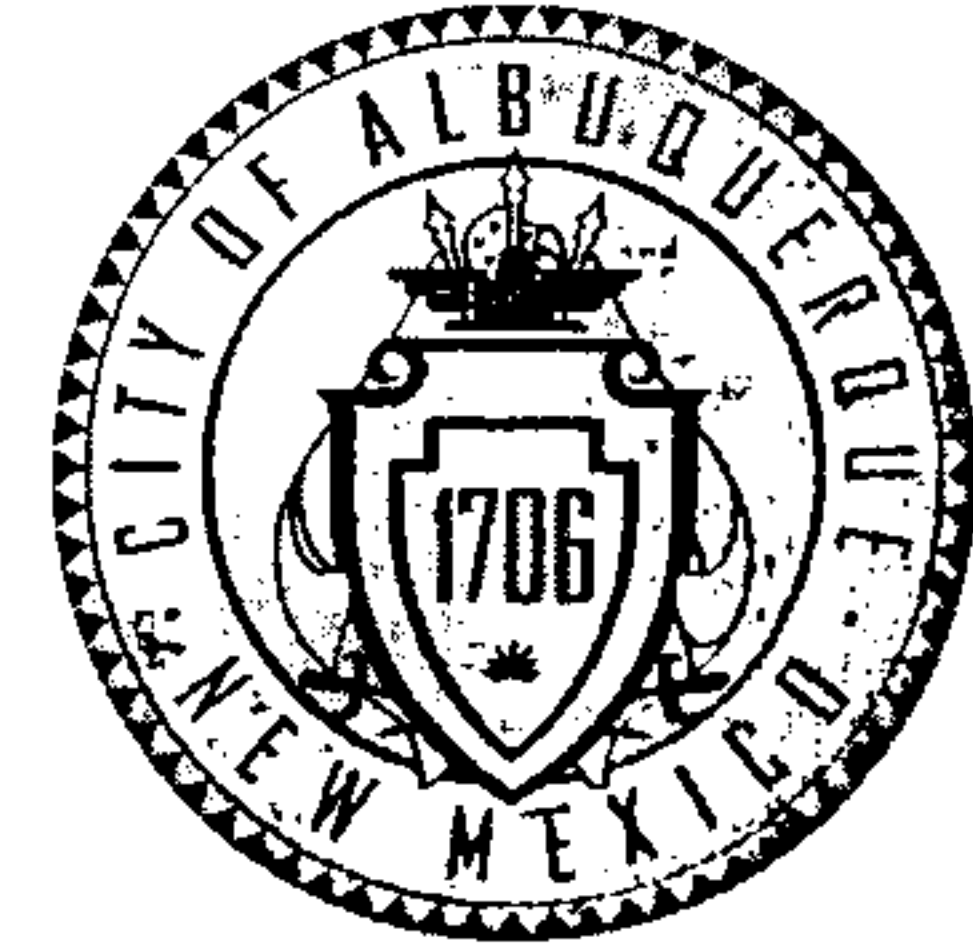
Enclosure/s

JN: 29040
RRB/BF/cia



5571 Midway Park Place NE
Albuquerque, NM 87109
(505) 858-3100
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

CITY OF ALBUQUERQUE



May 27, 2011

Ronald Ray Bohannon, P.E.
Tierra West, LLC.
5571 Midway Park Place N.E.
Albuquerque, NM 87109

**Re: Larry H. Miller Chrysler Dodge Jeep, 8528 Lomas Blvd NE,
Request for 90-Day Temporary C.O.—Approved
Engineer's Stamp dated: 09/20/10 (K-19/D115)
Certification dated: 05-26-11**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 05-26-11, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker—Hydrology,
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE # K-19 1D115
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Jonathan D. Niski, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: (505) 263-6965
ZIP CODE: 84070

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: N/A
PHONE: _____
ZIP CODE: _____

CONTRACTOR: N/A
ADDRESS: _____
CITY, STATE: _____

CONTACT: N/A
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
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- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

MAY 26 2011

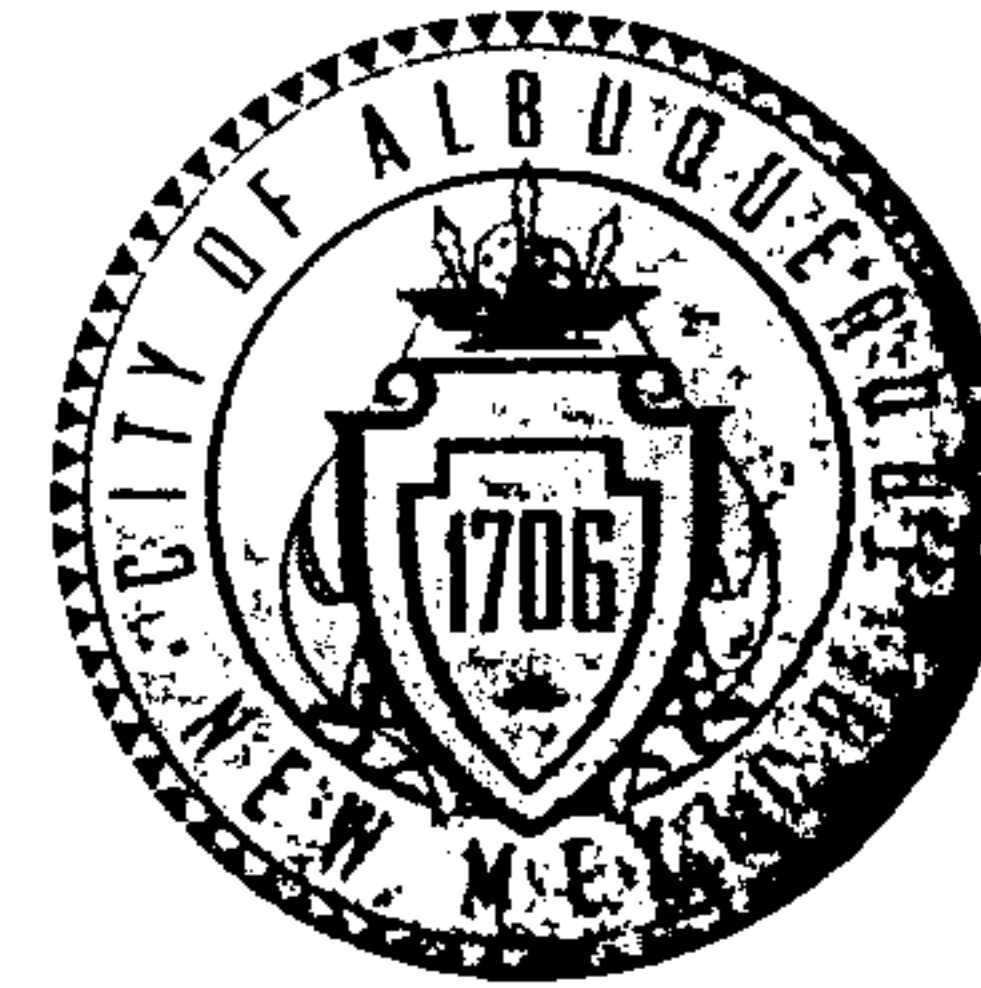
HYDROLOGY
SECTION

DATE SUBMITTED: 5/25/2011 BY: Jonathan D. Niski, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



October 23, 2009

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge West Parking Lot, 8528 Lomas Blvd NE, Grading and
Drainage Plan
Engineer's Stamp dated 10-20-09 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-20-09, the above referenced plan is approved for Grading Permit, Paving Permit and SO 19 Permit.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

The sidewalk culverts in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge.

Upon completion of the project, please provide an Engineer Certification for our files.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance
Kathy Verhage, DMD

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE # K-19 / D115
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: _____
ZIP CODE: _____

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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☐ GRADING PLAN
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☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

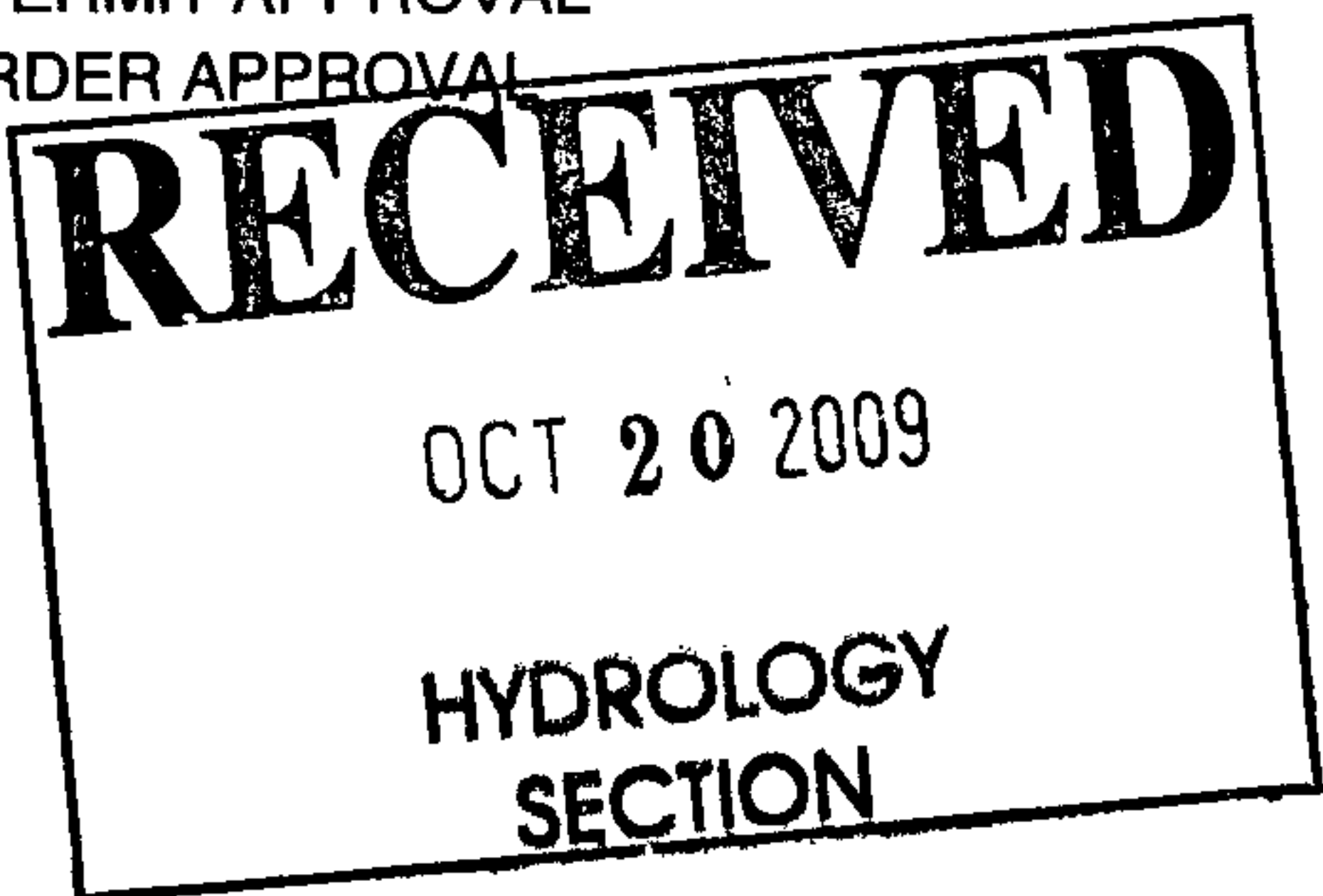
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☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10/20/2009 BY: Sara Lavy, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



December 4, 2009

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Larry Miller Dodge West Parking Lot, 8528 Lomas Boulevard,
Traffic Circulation Layout
Engineer's Stamp dated 12-06-09 (K19-D115)

Dear Mr. Bohannon,

The TCL submittal received 12-04-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

K19/D115

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE #: K-19
WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: _____
ZIP CODE: _____

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

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☐ CLOMR/LOMR
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☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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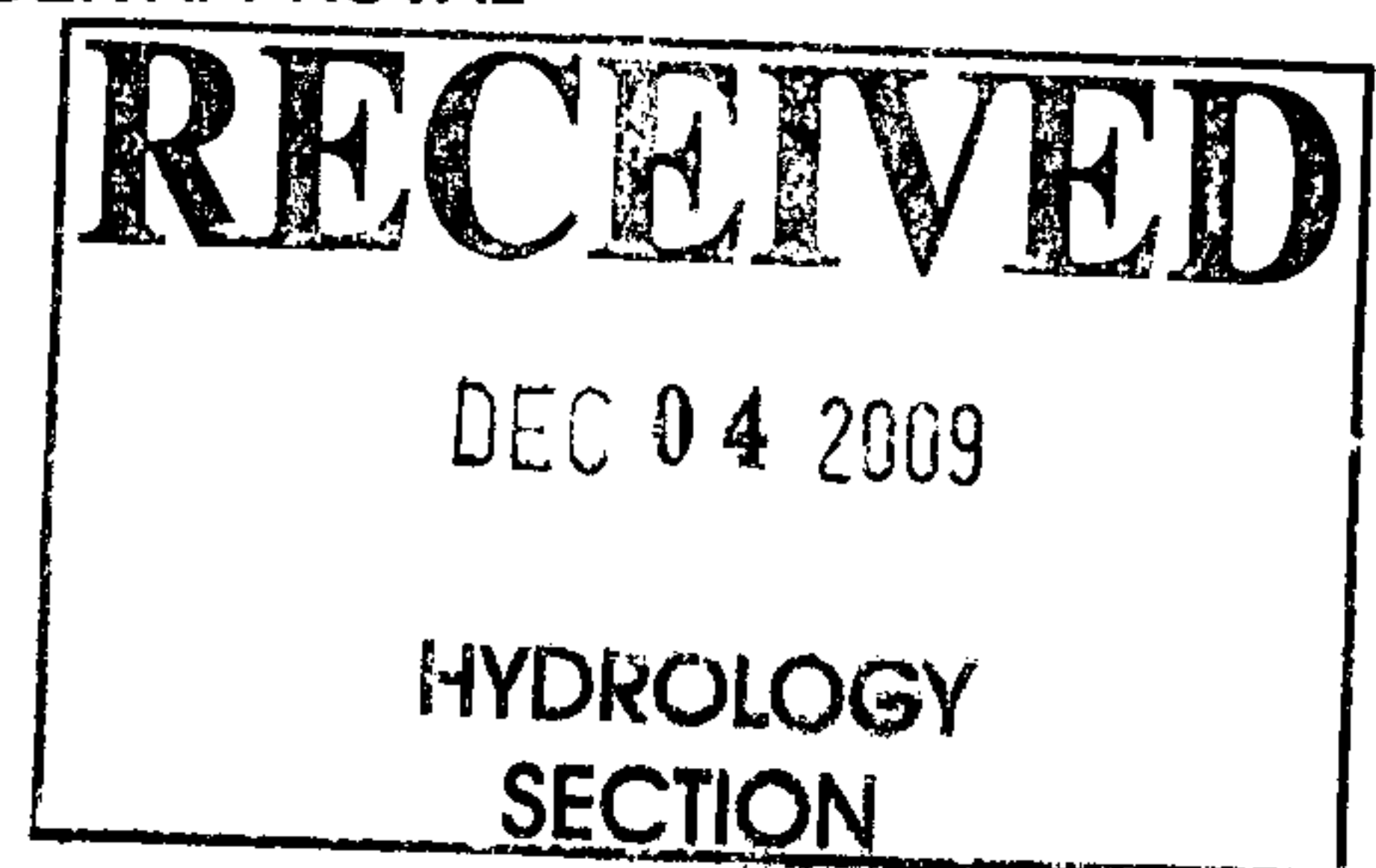
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☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12/4/2009 BY: Sara Lavy, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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gaw

TIERRA WEST, LLC

December 4, 2009

Ms. Kristal Metro, PE
Traffic Engineer, Planning Dept.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

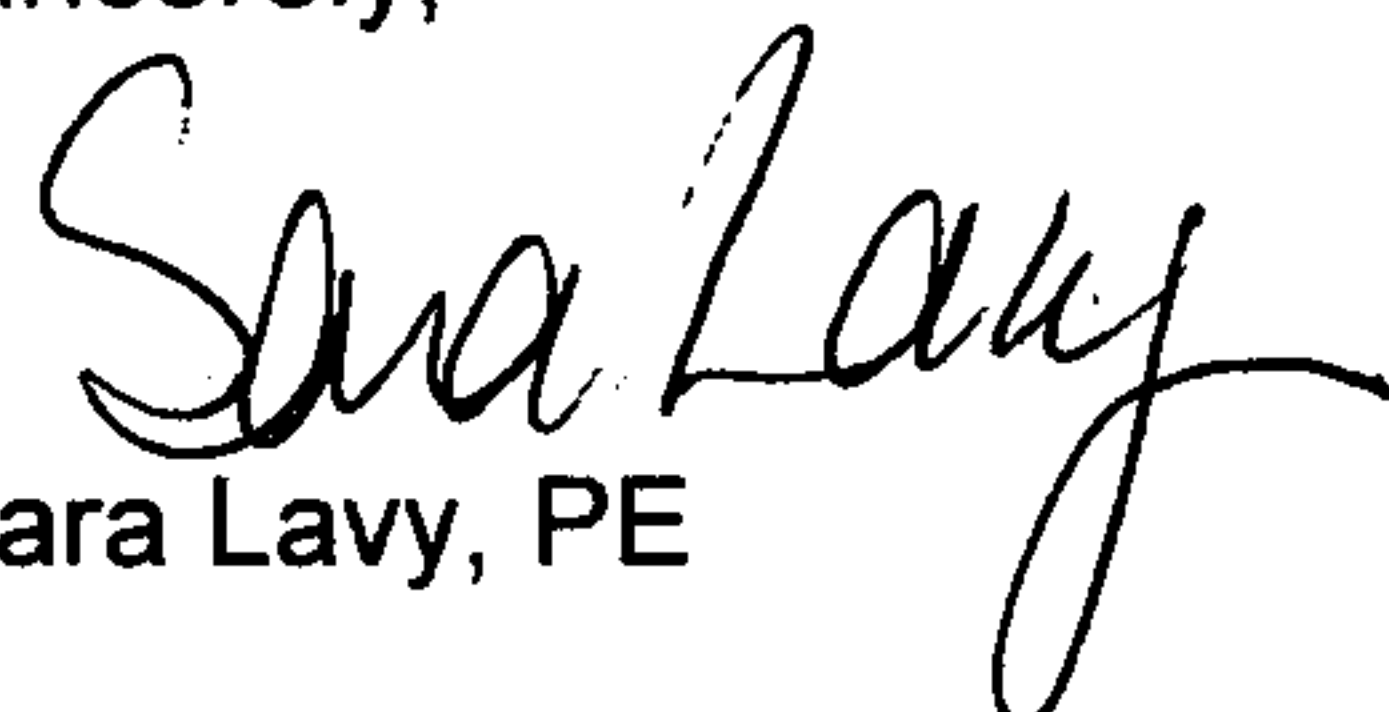
**RE: LARRY MILLER DODGE WEST PARKING LOT (K19/D115)
TRAFFIC CIRCULATION LAYOUT (TCL) RESUBMITTAL**

Dear Ms. Metro:

Please review the attached revised traffic circulation layout. A new entrance has been added to the site from Utah Street. The original approved TCL showed no entrances to Utah. There are currently two entrances existing from the site to Utah Street, but one will be completely removed and the other revised with curb returns and handicap ramps.

If you have questions or need additional information regarding this project, please do not hesitate to call me.

Sincerely,

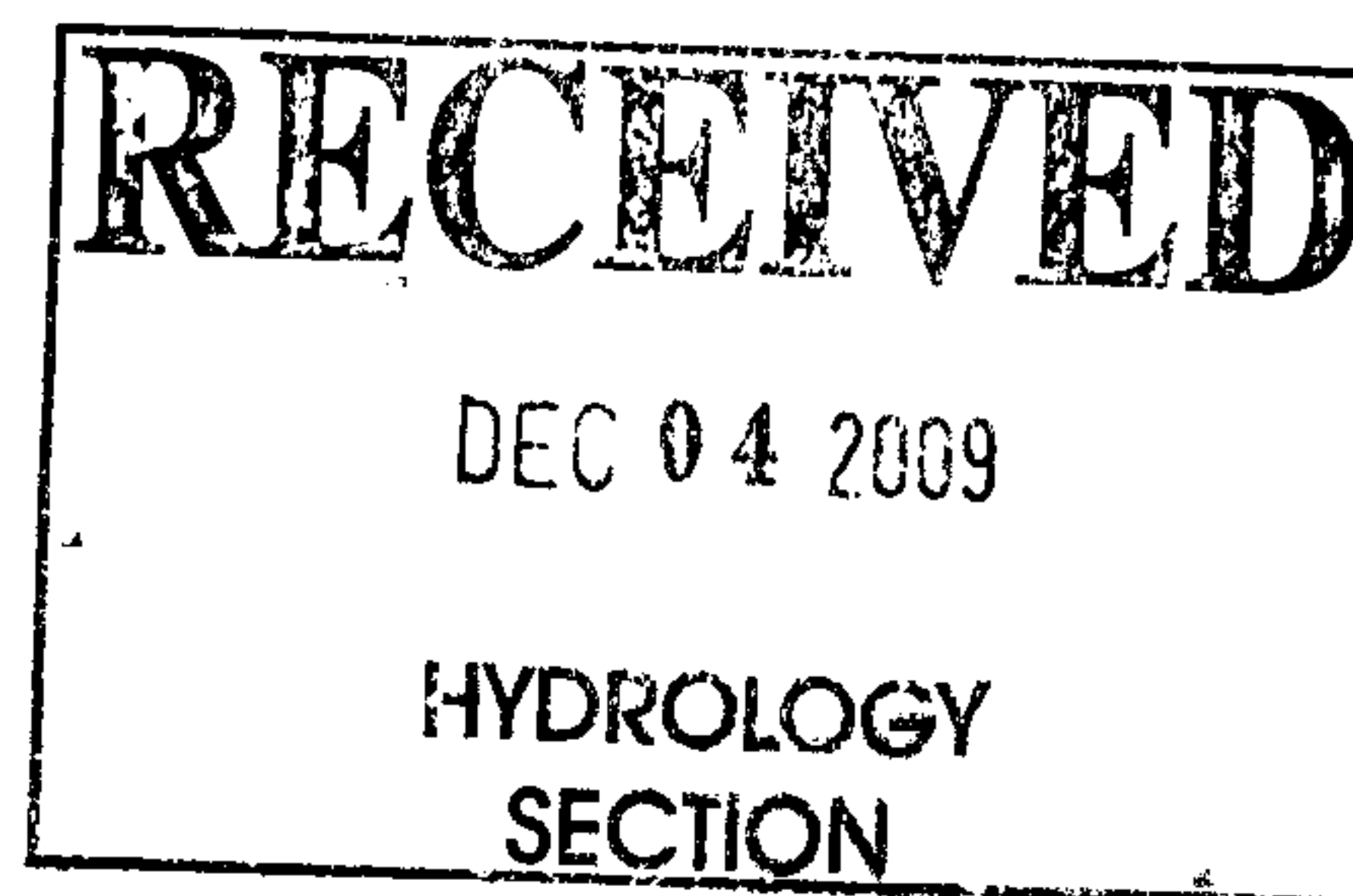

Sara Lavy, PE

Enclosure/s

cc: Pat Joseph

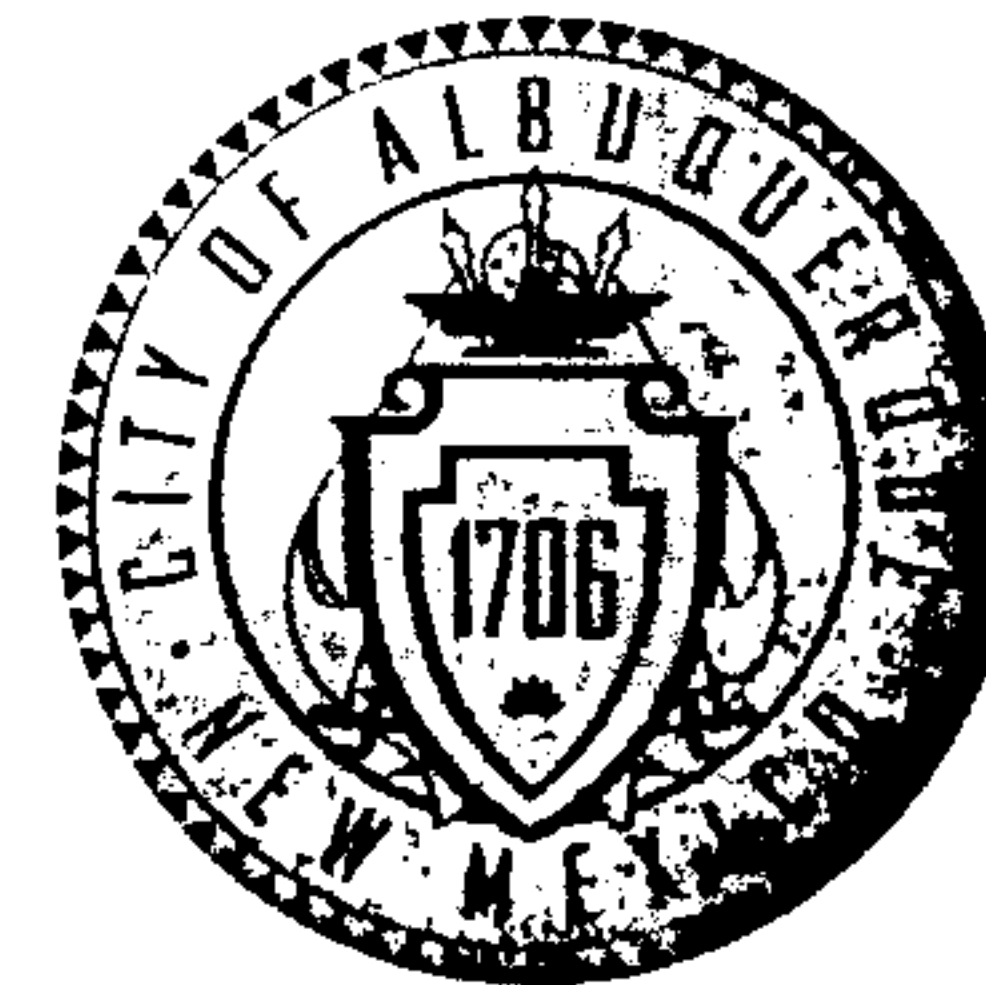
JN: 29040
SCL/cia

Z:\2009\29040\Correspondence\29040 TCL resubmittal ltr 12-4-09.doc



5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

CITY OF ALBUQUERQUE



October 22, 2009

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Larry Miller Dodge West Parking Lot, 8528 Lomas Boulevard,
Traffic Circulation Layout
Engineer's Stamp dated 10-20-09 (K19-D115)

Dear Mr. Bohannon,

The TCL submittal received 10-21-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

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If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

See revised plan

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE # K-19 / D115
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 23-A & 49-A, Block C, Bosque Redondo Subdivision
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
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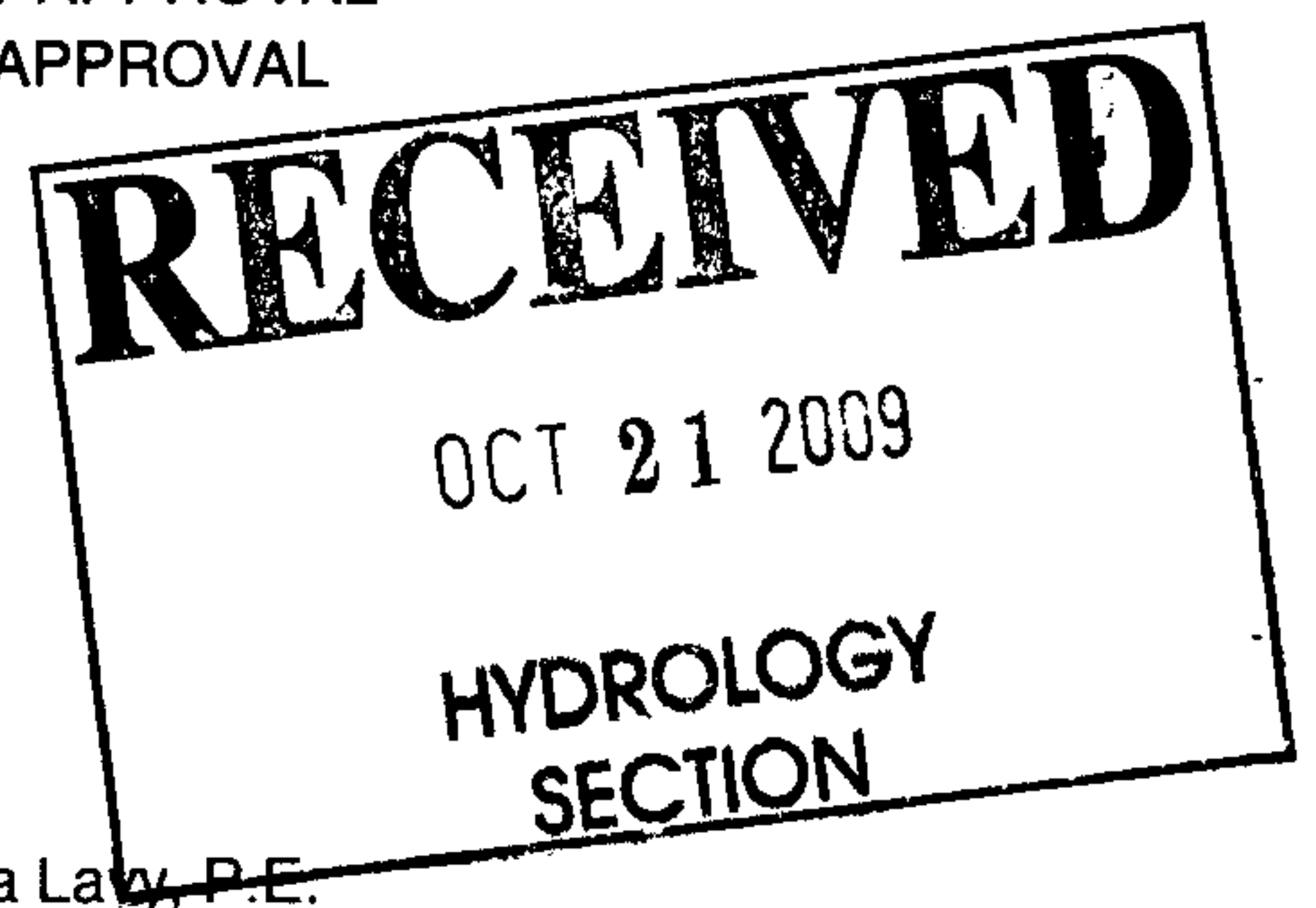
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☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10/21/2009 BY: Sara Lavy, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

5571 Midway Park Place NE
(505) 858-3100
Albuquerque, NM 87109
Fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

October 20, 2009

Mr. Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: LARRY MILLER DODGE WEST PARKING LOT.(K19/D115)
2ND RESUBMITTAL LETTER**

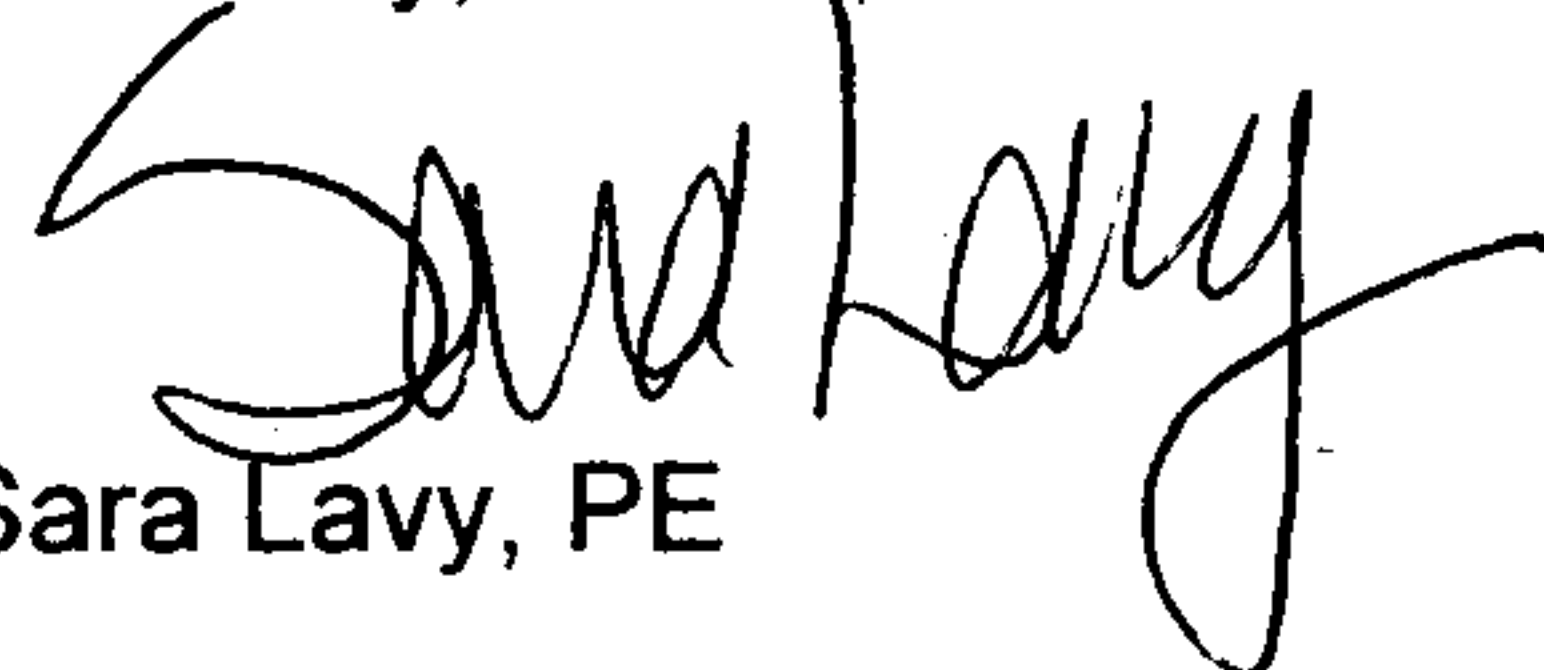
Dear Mr. Cherne:

Please see the following responses to your comments received in a letter dated October 13, 2009.

1. The narrative should be changed to discuss the acceptance of the minor offsite flows.
The narrative has been updated.
2. In lieu of a public drainage easement, add a statement to the plan similar to "I, (printed name), the property owner of 8220 Lomas Blvd NE acknowledge that storm water from Virginia St. flows through this property to Utah St. and will be allowed to do so until approved changes are made." Signed and Dated.
This statement has been added and signed by the owner.

If you have questions or need additional information regarding this project, please do not hesitate to call me.

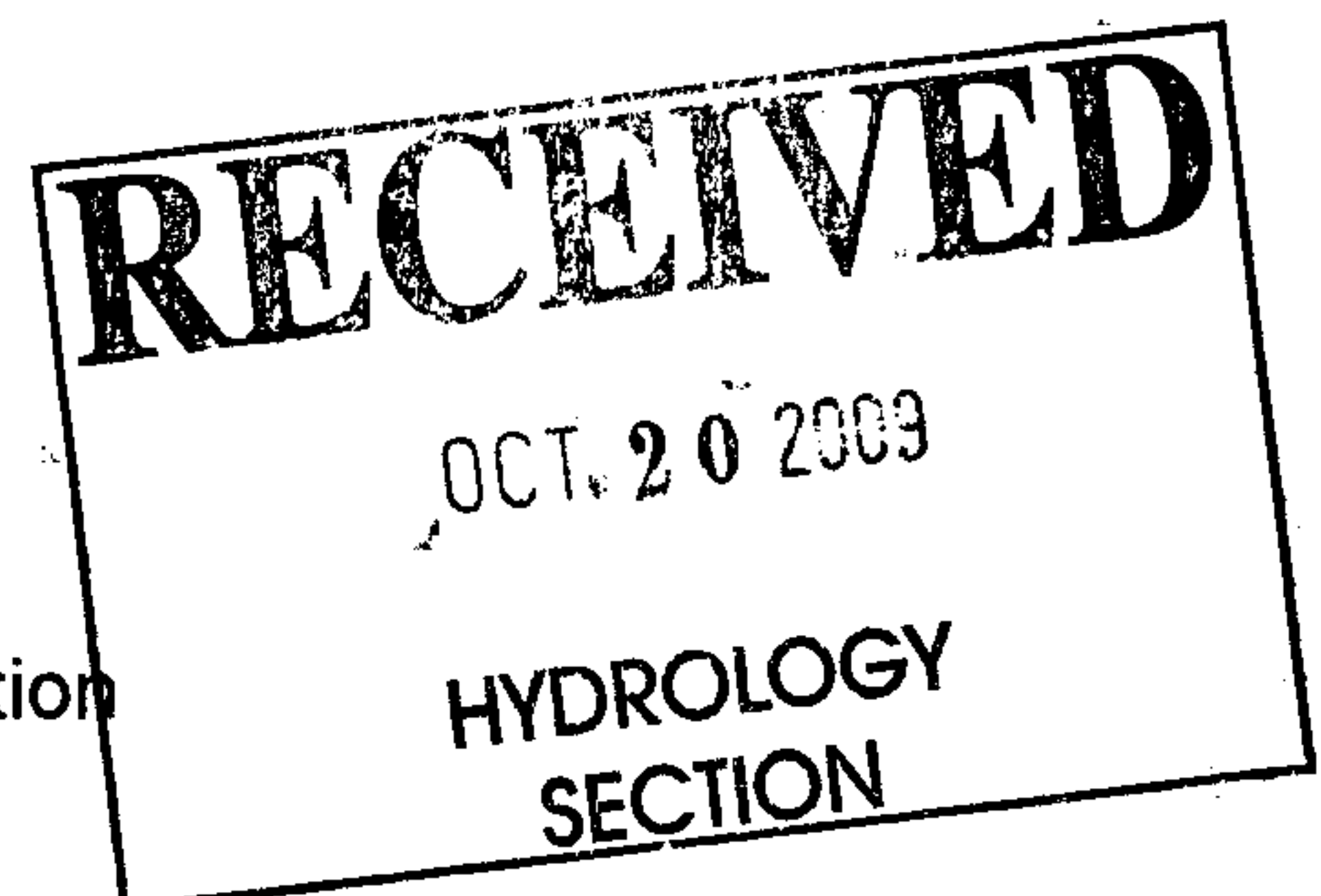
Sincerely,


Sara Lavy, PE

Enclosure/s

cc: Pat Joseph – PJ Development Commercial Construction

JN: 29040
SCL/cia



CITY OF ALBUQUERQUE



October 13, 2009

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge West Parking Lot Grading and Drainage Plan
Engineer's Stamp dated 10-8-09 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-8-09, the above referenced plan cannot be approved for Grading, Paving or SO 19 Permit until the following comments are addressed:

- The narrative should be changed to discuss the acceptance of the minor offsite flows.
- In lieu of a public drainage easement add a statement to the plan similar to "I. (printed name), the property owner of 8220 Lomas Blvd NE acknowledge that storm water from Virginia St. flows through this property to Utah St. and will be allowed to do so until approved changes are made." Signed and Dated.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



October 16, 2009

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge West Parking Lot, 8528 Lomas Boulevard,
Traffic Circulation Layout
Engineer's Stamp dated 10-08-09 (K19-D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 10-08-09, the above referenced plan cannot be approved for Building Permit until the following comment is addressed:

- The parking spaces adjacent to Virginia Street are located within the right of way. A revocable permit will be required for these parking spaces (contact Jane Rael, 924-3992).

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



October 2, 2009

Ronald Ray Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Larry Miller Dodge West Parking Lot Grading and Drainage Plan
Engineer's Stamp dated 9-25-09 (K19/D115)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 9-25-09, the above referenced plan cannot be approved for Grading, Paving or SO 19 Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- It appears that drainage from the lot east of Virginia St. drains into Virginia St., then down the existing access road along the south edge of the lot. It appears that Virginia St. has little to no crown in this area. As discussed on 10-2-09, numerous survey points could be shot in this area or this site could accept the drainage.
- A width must be specified for sidewalk culverts.
- Specify City standards for new drive entrances.
- Provide build notes for new curb/sidewalk in the ROW.
- A plan should be submitted to Transportation. Curb cuts are proposed.
- Show property lines.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Larry H. Miller Chrysler Dodge Jeep
DRB #: 1007958 EPC #: _____

ZONE MAP/DRG. FILE # K-19 / D115
WORK ORDER #: _____

LEGAL DESCRIPTION Lot 36B-1, Bosque Redondo Addition
CITY ADDRESS: 8528 Lomas Blvd. NE

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Sara Lavy, P.E.
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Larry H. Miller Real Estate
ADDRESS: 9350 S 150 E., Suite 1000
CITY, STATE: Sandy, Utah

CONTACT: Pat Joseph
PHONE: _____
ZIP CODE: _____

ARCHITECT: FFKR Architects
ADDRESS: 730 Pacific Avenue
CITY, STATE: Salt Lake City, Utah

CONTACT: Trent Jones
PHONE: 801-517-4388
ZIP CODE: 84104

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

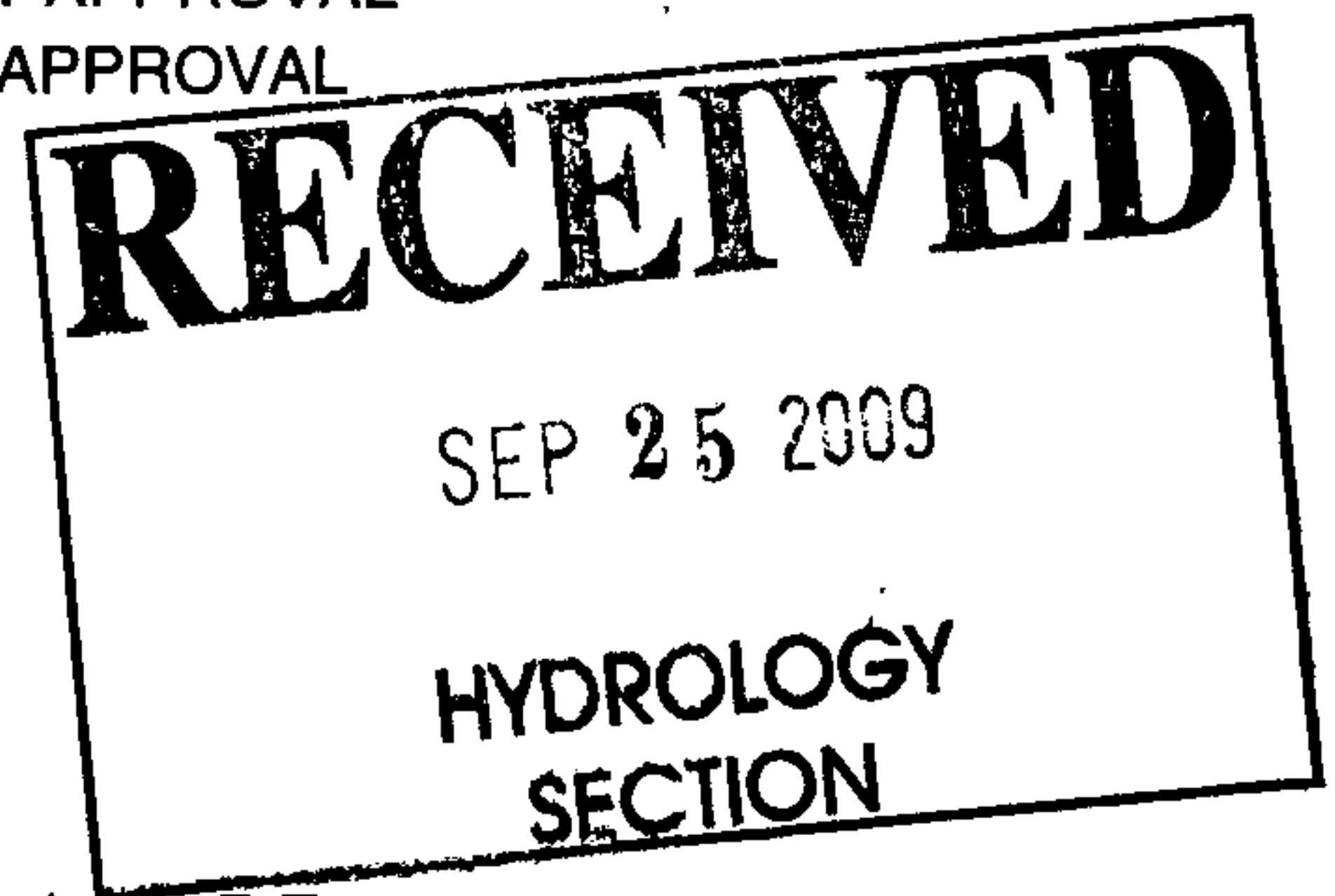
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 9/25/2009 BY: Sara Lavy, P.E.



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K19 D052 1/2/09
D115 5/2/09

