



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 23, 1999

Levi J. Valdez, PE
12800 San Juan NE
Albuquerque, NM 87123

**RE: GRADING & DRAINAGE PLAN FOR COE INVESTMENTS (K-19/D121)
RECEIVED JULY 28, 1999 FOR PAVING PERMIT
ENGINEER'S STAMP DATED 07-19-99**

Dear Mr. Valdez:

Based on the information included in the submittal referenced above, City Hydrology accepts the Grading & Drainage Plan for Paving Permit.

Provide sufficient as-built elevations on the Engineer's Certification of grading & drainage to verify that the proposed paving drains to the street without ponding.

If I can be of further assistance, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Project Manager, PWD/Hyd

c: Inspector

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: COE INVESTMENTS ZONE ATLAS/DRNG. FILE #: K-19/D121

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 16 & 17, BLK. 12, LA MESA EXTENSION ADDITION

CITY ADDRESS: 328 ~~328~~ LOUISIANA BLVD. N.E., CITY

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ
DEVELOPMENT CONSULTANT

ADDRESS: 12800 SAN JUAN N.E., CITY 87123 PHONE: 294-0320

OWNER: COE INVESTMENTS CONTACT: MR. STEVE COE

ADDRESS: 330 LOUISIANA BLVD. N.E. PHONE: 269-0078

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: WAXTOWN SURVEYING CO. CONTACT: MR. TOM JOHNSON

ADDRESS: 330 LOUISIANA BLVD. N.E. PHONE: 259-6890

CONTRACTOR: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

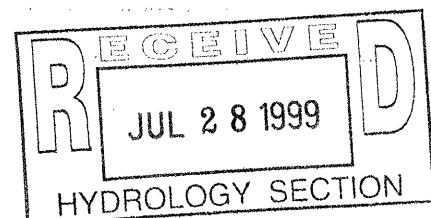
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

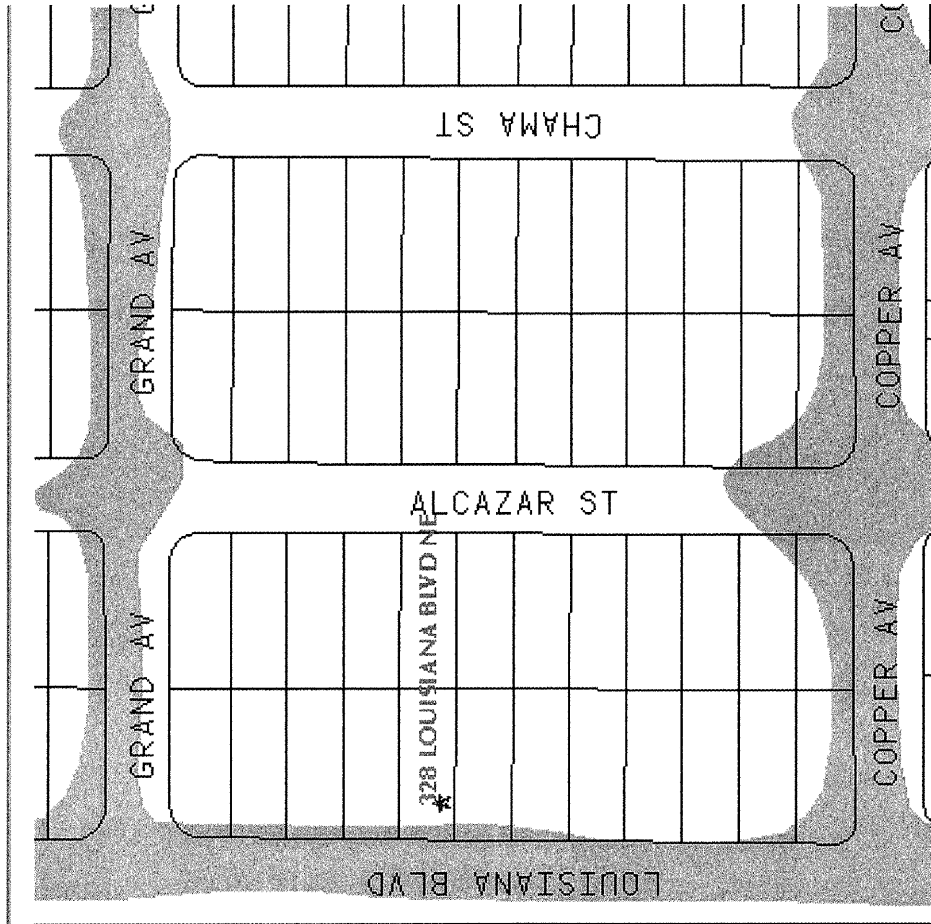
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

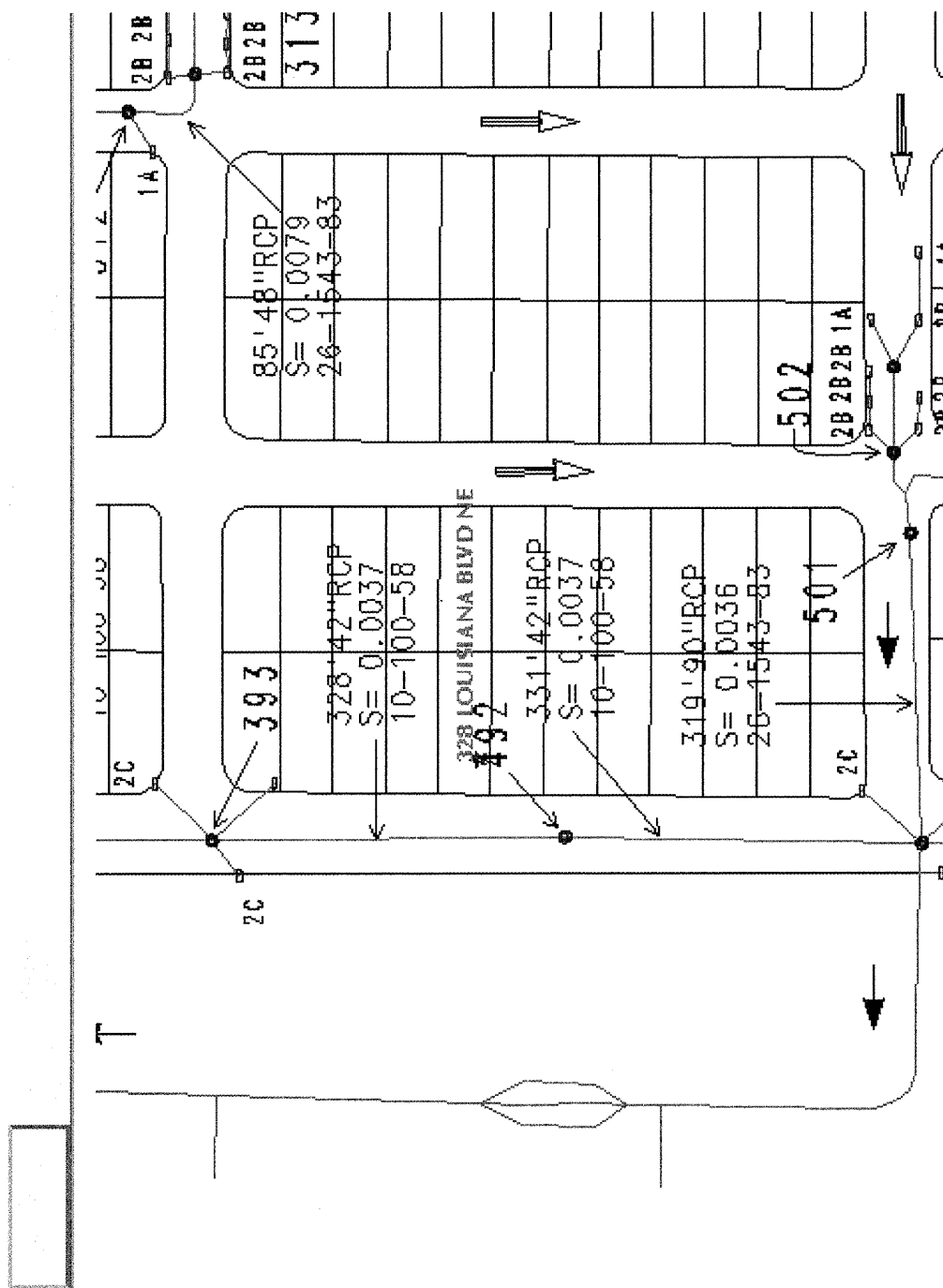
DATE SUBMITTED: 07-19-99

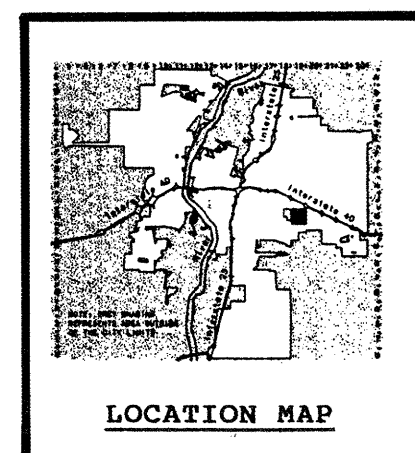
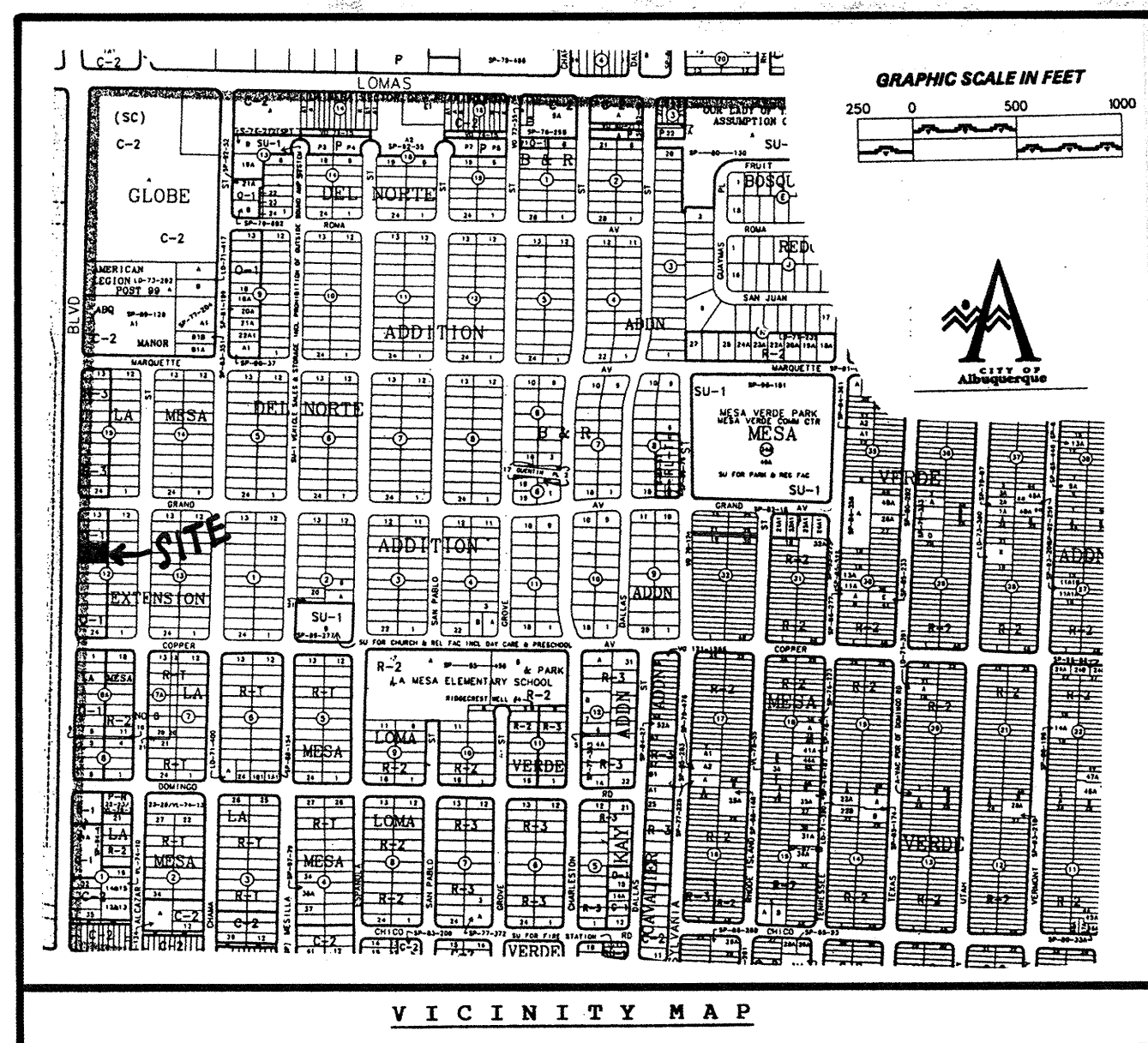
BY: GEORGE T. RODRIGUEZ



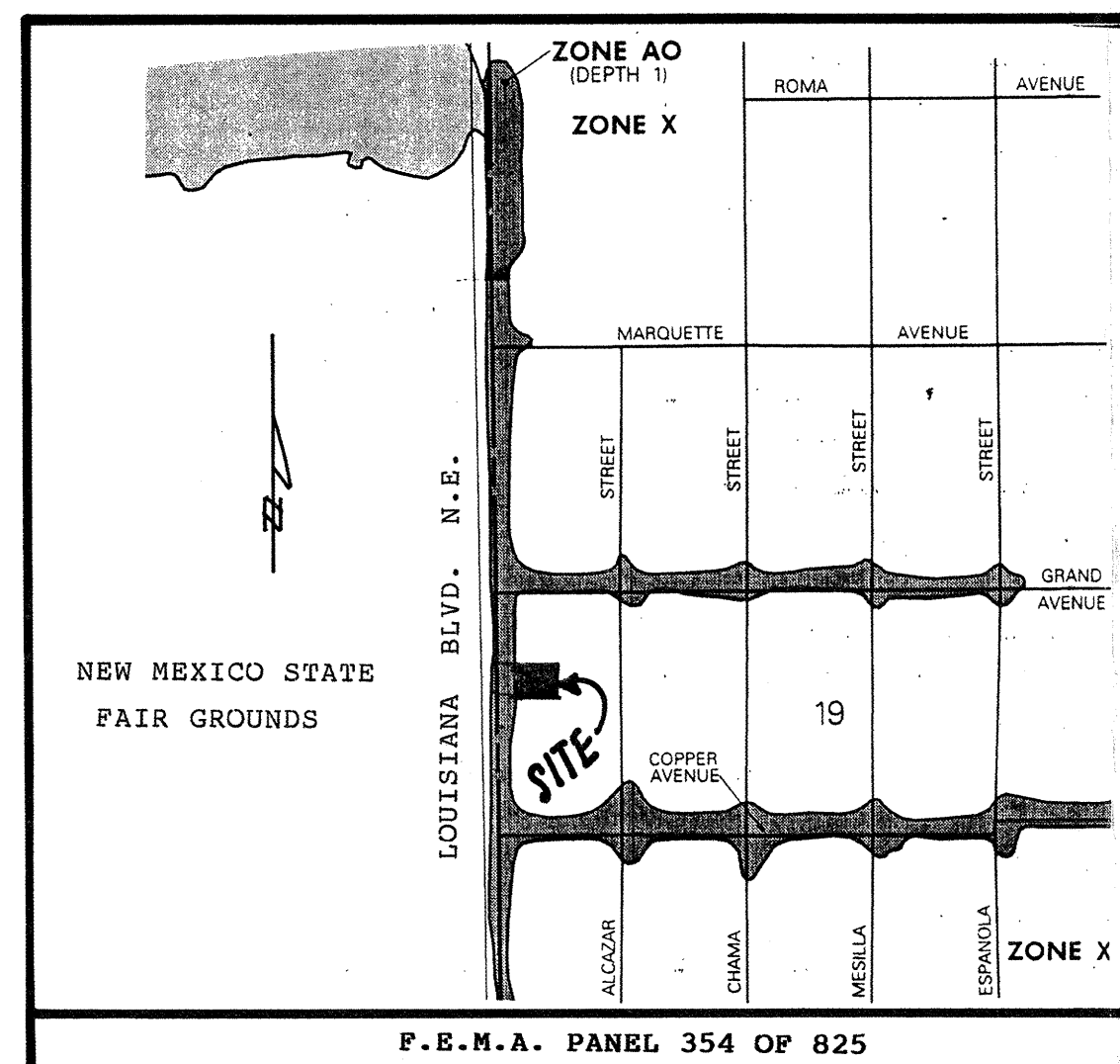
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K-19-Z



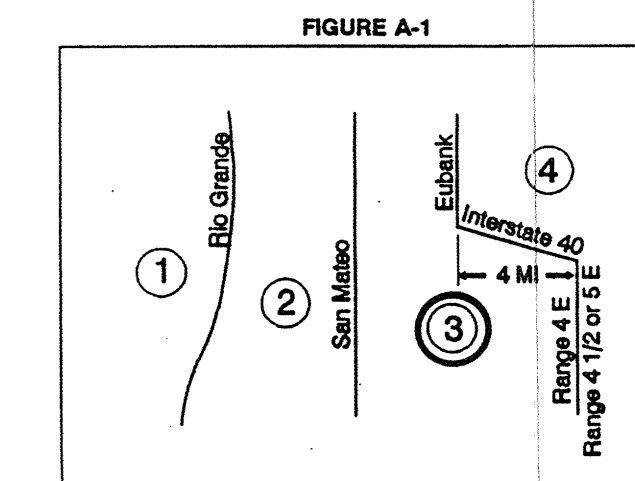
Zone	Treatment			
	A	B	C	D
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.78]	2.87 [0.47, 1.49]	4.37 [1.69, 2.89]
2	1.66 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.90 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

Zone	Intensity	
	100-YR	100-YR
1	4.70 [1.84, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.38 [2.21, 3.65]	
4	5.61 [2.34, 3.83]	

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfilled arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

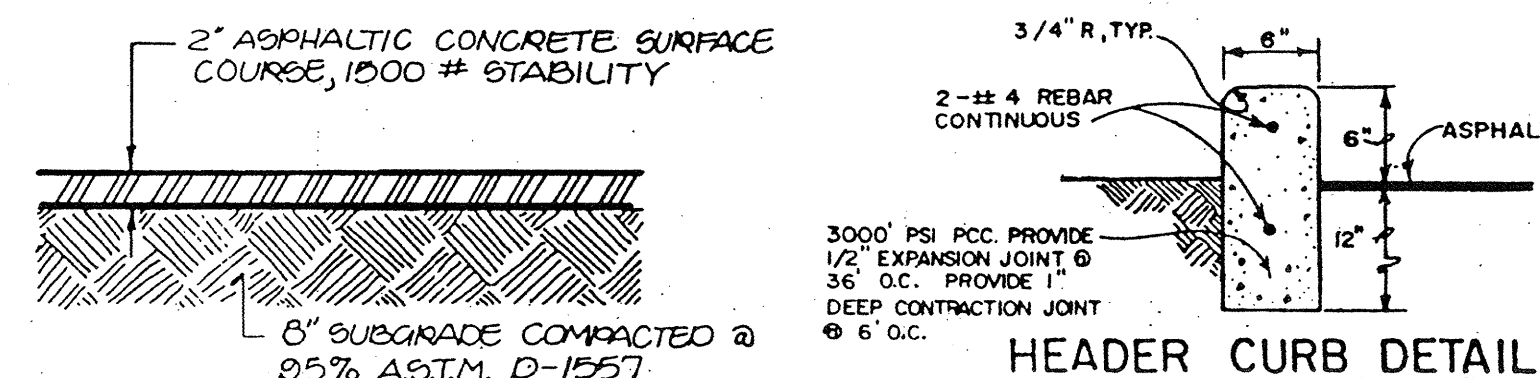
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

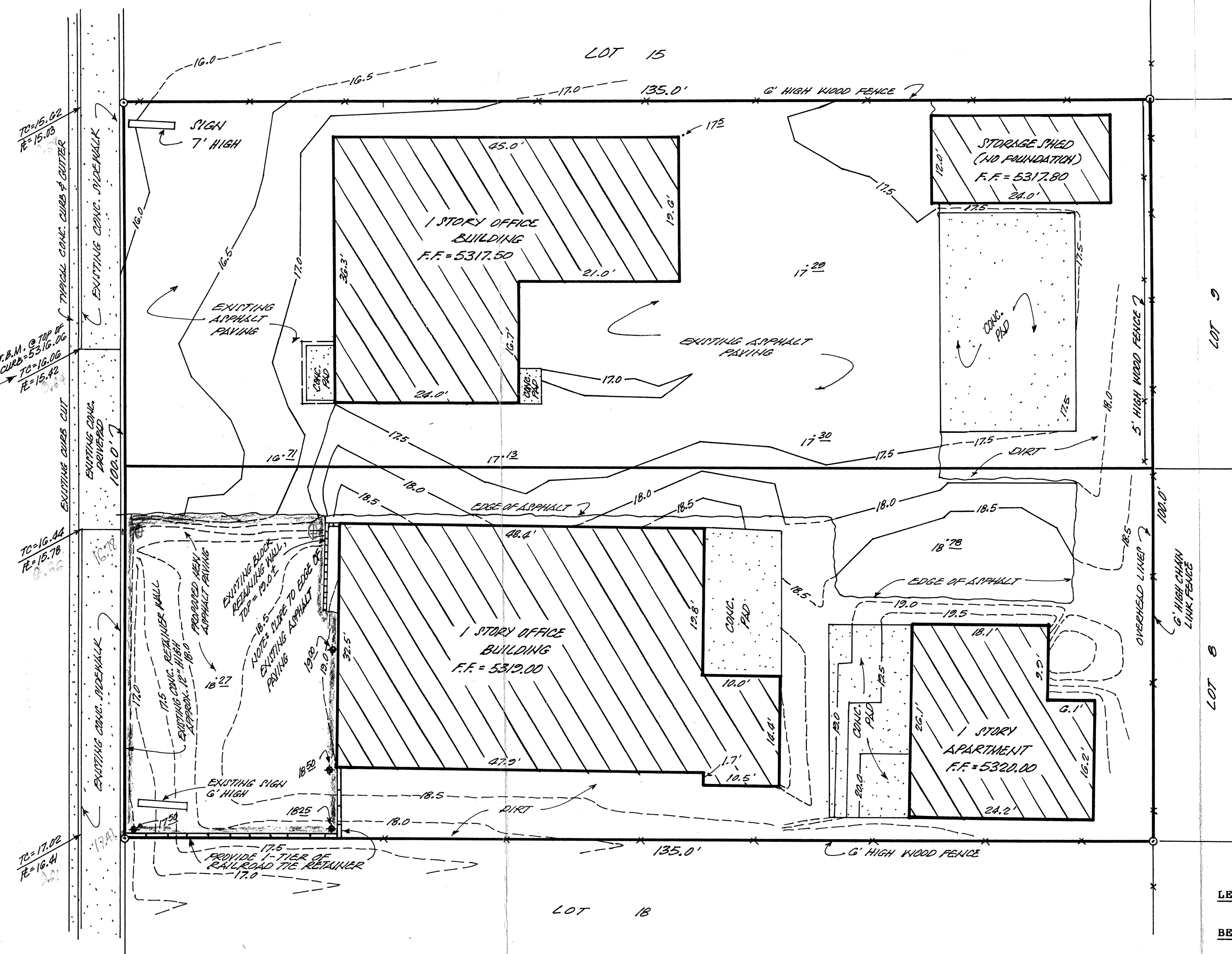


TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"

LEGEND:

- TOP OF CURB ELEVATION = 70.17.02
- CURB FLOWLINE ELEVATION = 70.16.41
- EXISTING SPOT ELEVATION = 70.17.2
- EXISTING CONTOUR ELEVATION = 70.18.0
- PROPOSED SPOT ELEVATION = 70.17.50
- PROPOSED CONTOUR ELEVATION = 70.17.0
- PROPOSED OR EXISTING CONCRETE SURFACE =
- EXISTING FENCE LINE =

LOUISIANA BLVD. N.E.



DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF LOUISIANA BLVD. N.E. BETWEEN LOMAS BLVD. N.E. AND CENTRAL AVENUE, N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) IS AN EXISTING DEVELOPED PROPERTY THAT IS TO HAVE A PROPOSED ADDITIONAL PAVED PARKING AREA, 2.) DOES NOT CONTRIBUTE TO THE OPPOSITE FLOWS OF ADJACENT PROPERTIES, 3.) DOES NOT ACCEPT OPPOSITE FLOWS FROM ADJACENT PROPERTIES; ACCORDING TO THE SURVEY AND MAP OF THE SUBJECT PROPERTY PERFORMED BY WAYJOHN SURVEYING, INC., (ALBUQUERQUE, NEW MEXICO), DATED JUNE 8, 1999, THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (NO HAZARD), AS SHOWN ON F.E.M.A. PANEL 354 OF 825, DATED SEPTEMBER 20, 1996, AND IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD BOUNDARY, (DETERMINATION OF FLOOD HAZARD WAS BY GRAPHIC PLOTTING ONLY). HOWEVER, THE SUBJECT SITE IS LOCATED EAST OF AND ADJACENT TO A DESIGNATED ZONE AD-1.0' DEPTH FLOOD-PLAIN THAT IS WITHIN THE RIGHT-OF-WAY OF LOUISIANA BLVD., N.E.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.31 ACRE

PRECIPITATION ZONE: THREE (3), TABLE A-1.

PEAK INTENSITY: IN./HR. AT T_c = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR THE CALCULATION OF "Q", TABLES A-8 & A-9.

"LAND TREATMENT FACTORS", TABLE A-4.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.08	X 3.45	= 0.28
D	0.23	X 5.02	= 1.15

"Q" = 1.43 CFS

PROPOSED CONDITIONS:

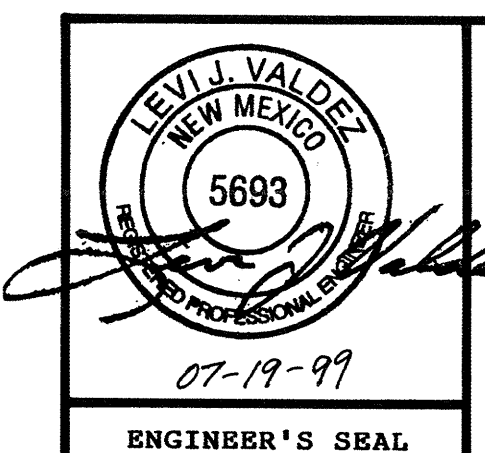
TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.06	X 3.45	= 0.21
D	0.25	X 5.02	= 1.26

"Q" = 1.47 CFS

*** INCREASE = 0.04 CFS

LEGAL DESCRIPTION: LOTS 16 & 17, BLOCK 12, LA MESA EXTENSION ADDITION, ALBUQUERQUE, NEW MEXICO, (ADDRESS: 330 LOUISIANA N.E.)

BENCH MARK REFERENCE: A.C.S. MONUMENT STATION "9-K19", M.S.L. ELEVATION = 5318.77, (PROJECT T.B.M. AS SHOWN ON PLAN HEREON).



A PROPOSED PAVING PLAN
FOR
COE INVESTMENTS
(LOUISIANA BLVD. N.E.)
ALBUQUERQUE, NEW MEXICO
JULY, 1999

