

# ADA DISCLAIMER

Architects, Contractors, and Building Owners must comply with the Americans with Disabilities Act (ADA) and the Americans with Disabilities Architectural Guidelines (ADAAG). The Code Administration Division of the State of New Mexico does not review whether Plans and Specifications comply with the ADA. The issuance of a building permit and compliance with the codes does not insure compliance with the ADA or ADAAG. The designer, building owners and contractor may want to consult a lawyer concerning the ADA OR ADAAG. I, the owner, agent or representative of the owners have read and understand this warning and disclaimer.

Signature: *[Signature]* Date: Feb. 18, 2008

## PARKING FOR BICYCLES:

20. The Owners and the Contractor shall provide a bicycle rack for this project along side the building where it is most convenient for the general public at the required by the City of Albuquerque, for this size restaurant.

- Trash Enclosure shown complies with the city of Albuquerque's Solid Waste Dept. for size, const. and location to permit access by pick-up trucks.
- Conc. slab shall be 6" thick of 4000 psi conc with 5x8-10/10 wwm.
- Proposed location for on-site light poles to illuminate the parking lot at night for security purposes; as specified by Elect. Engr.
- End of aisle islands shall be a painted 4" wide either yellow or a white color as selected by the owners. stripe width shall match the 18'-0" long parking stripes shown in plan, on asphalt pavement.
- Painted 4" stripe to match color selected in KN #18 above.

## SITE DEVELOPMENT CONSTRUCTION KEYNOTES:

- The owners desire to use 4"x6" treated timbers fully anchored into ground to protect the edge of new asphaltic pavement edging, new concrete curbing will be installed near entrance, see KN #11.
- A 2" thick layer of gravel mulch will be installed over a vented weed control fabric.
- Typical of a new 2" thick asphaltic concrete pavement over a 4" compacted sub-grade prepared by the paving contractor. Grades or contours will follow the design for grading by the civil engineer.
- These striped patterns may be painted on the finished pavement.
- Install two 4" round pipe bollards filled with concrete and set in a 3'-0" deep conc. fc'ing.
- These areas of a large gravel mulch are desired to remain by the owners.
- Existing 4" concrete landing at rear door of bldg. to remain.
- Contr. to install a 4" thick by 3'-0" wide conc. walk to rear door.
- Termination point for new asphaltic pavement.
- Existing curb cut shall be evaluated for location with required new driveway shown. Licensed and bonded contr. to perform the work as required by the City of Albuquerque's Public Works Dept.
- Install a 6" x 16" deep concrete curb in this area as shown.
- Existing city concrete sidewalk remains except where it may need cut and replaced at ends of new driveway.
- A depressed retention basin is shown in order to hold and provide water runoff for watering the new street trees.
- If new on-site conc. sidewalk is higher than city sidewalk, slope the last section to meet and flush out with existing city sidewalk.

**Fire hydrant:** A fire hydrant exists at the corner of Wyoming Blvd. NE and Domingo Rd. on the east side of Wyoming, see attached map.

## PROJECT CODE DATA

Applicable Codes:	2003 Edition of IBC, UMC UPC and NEC
Accessibility Codes:	2003 State of New Mexico Building Code Chapter 31, ANSI-A-117.1, 1998 Edition
Zoning:	C-2 City of Albuquerque, Commercial Type of Use: A new Restaurant
Construction Type	Type V-B, Table 503
Occupancy Group:	A-2, IBC Section 303
Legal Description:	Lot 25-A, Block 9
	Mesa Verde Addition
	Bernalillo County
Total Building Area:	2128 gsf
Land Area:	0.4649 acres 20,250 sf
Assumed Soil Bearing Capacity -	1500 PSF
Wind Loading	90 MPH, Exposure 'C'
Dead Loads	20/PSF
Live Loads	20 PSF
Seismic Zone	2B, Per IBC, Peak Acceleration AA 0
Required Parking	1 space per 4-seats; Regular spaces available 22, overflow 3
Occupant Load:	Kitchen/Storage/Restrooms = 635 ÷ 200 = 3.2 persons [4]
	Dinning Area seating capacity max. = 70
	Total Occupant Load, estimated = 74 max
Landscaping Requirements:	15% of paved areas as required by City of Albuquerque
Landscaping area required:	9500 sf x 15% = 1425 sf
Landscaping Available:	1490 sf

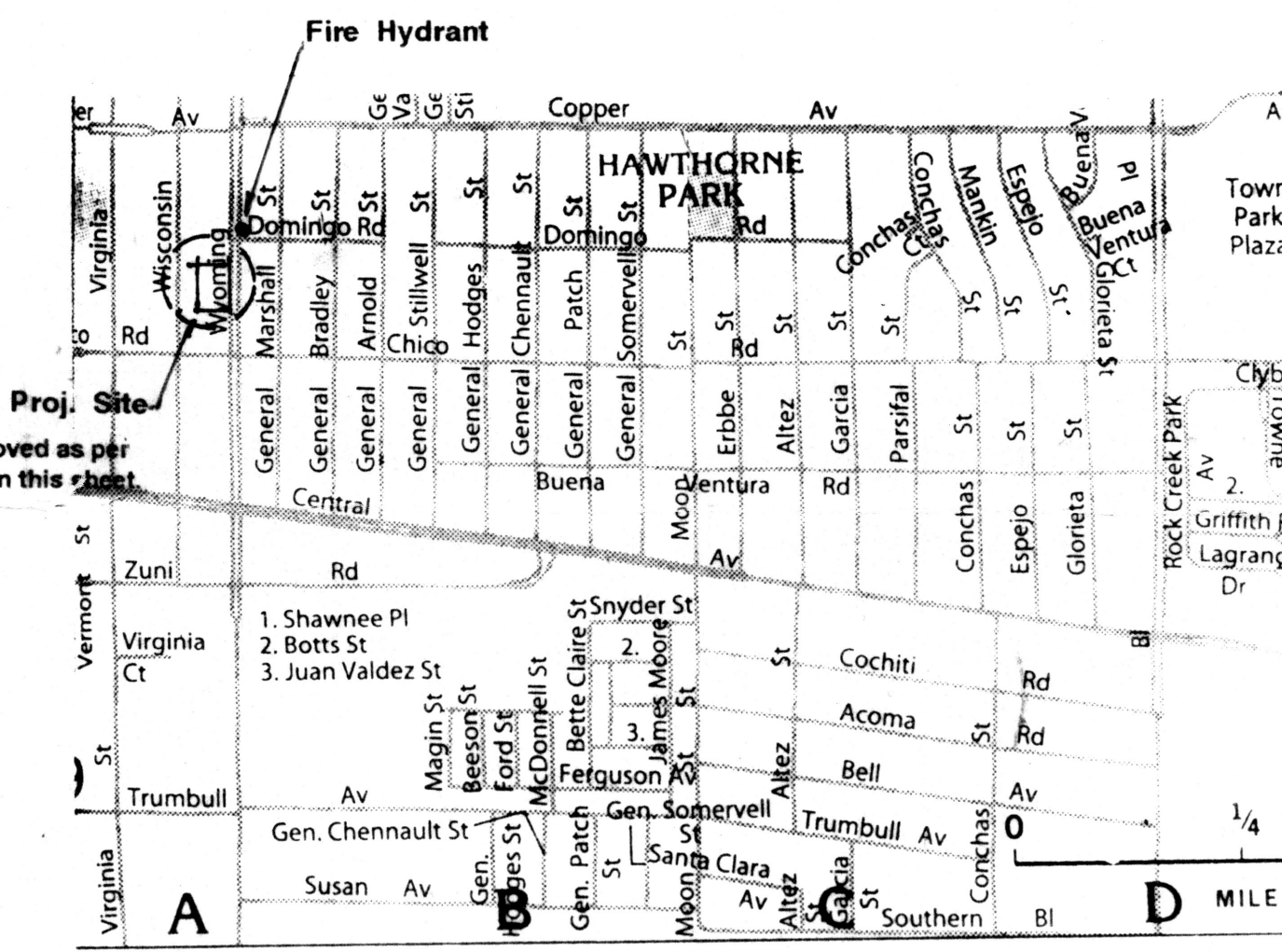
## PLANT MATERIAL SCHEDULE

Overall list of suggested plant material for final selection

Symbol	Common Name	Botanical Name	Qty.	Size	Remarks
<b>TREES:</b>					
(A)	Purpleleaf Plum	Krauter vesuvius	5	15 gal	8'-10' tall
<b>SHRUBS:</b>					
(B)	Apache Plume	Fallugia paradoxa	4	5 gal	Container
(C)	Indian Hawthorn	Raphiolepis indica	11	5 gal	Container
(D)	Desert Willow	Chilopsis linearis	8	5 gal	Container
(E)	Japanese Barberry	Berberis thunbergii	8	5 gal	Container
<b>MISCELLANEOUS:</b> Ground Cover					
(F)	Gravel Mulch or Shredded bark	Flower bank run medium size		3/4" + 1 1/2" thick layer over a 4 mil. plastic base	
Symbol identifies all trees and shrubs and misc. ground cover items as listed above and on the "Landscape Development" areas shown in plan.					
(8) Identifies the quantity of plants in certain groups or total number of plants that coincides with the scheduled quantities above.					
<b>Ground Cover Material:</b> Yellow Rock Rose [Helianthemum n. ummularium] Dragon's Blood [Sempervivum spurius] Verbena [Verbena peruviana]					

## IRRIGATION GENERAL NOTES

- All valves shall be installed a minimum of 4" from hard edges and boxes in shrub beds shall be installed a minimum of 12" from edges of walks or other hard surfaces.
- All valve boxes shall be supported by solid pieces of CMU (4 minimum per valve box). Install blocks in a manner in which it will prevent contact with piping, wiring, sidewalks, etc....
- With all 24 volt wire ends with 3M STD-09 wire marker tape at the valve box and controller locations.
- All 24 volt wiring shall be in common trench with water main and shall have separate sleeve where it crosses all underground hard const. matls. All sleeve piping for 24-volt wiring shall be of 2" Class 200 PVC.
- 24-volt wire shall be marked with a 3" wide red marker tape and marked "Warning/Electrical". Lay marker tape horizontally 6" above wire.
- Where proposed piping is to cross existing concrete sidewalks, trench below sidewalks and install a PVC sleeve as required, backfill into solidly from both sides of sidewalk width.
- Contractor shall adjust all valves, bubblers, and sprinklers for optimum coverage, and shall provide and install nozzles other than those specified or instructed by the landscape architect, at no additional cost to the owner.
- Install all bubblers on the high side of each tree wells, typically.
- Contractor shall tape closed all sleeve pipe openings use duct tape to prevent debris from entering sleeves.
- Contractor shall extend 120-volt AC wiring form existing power to proposed controller and backflow preventer locations. All elect. work shall be as per local codes and NEC Standards.
- Existing water main line locations shall be determined by the landscaping contr. as the responsibility of the installers to pot hole and field check to determine exact locations prior to tie-in of new main line extensions or laterals lines.
- The proposed controller location indicated on the drawings is approximate; the actual location shall be determined after consultation with the owner's requirements.
- If needed, install sleeves prior to field work.
- This underground irrigation system was designed for a 50 PSI static water pressure at the head and 45 GPM. The installers must verify the actual static water pressure prior to construction and it shall be discussed with the Arch. if there are any design modifications required.



## Vicinity Map

## Removal & Replacement of Existing Driveways

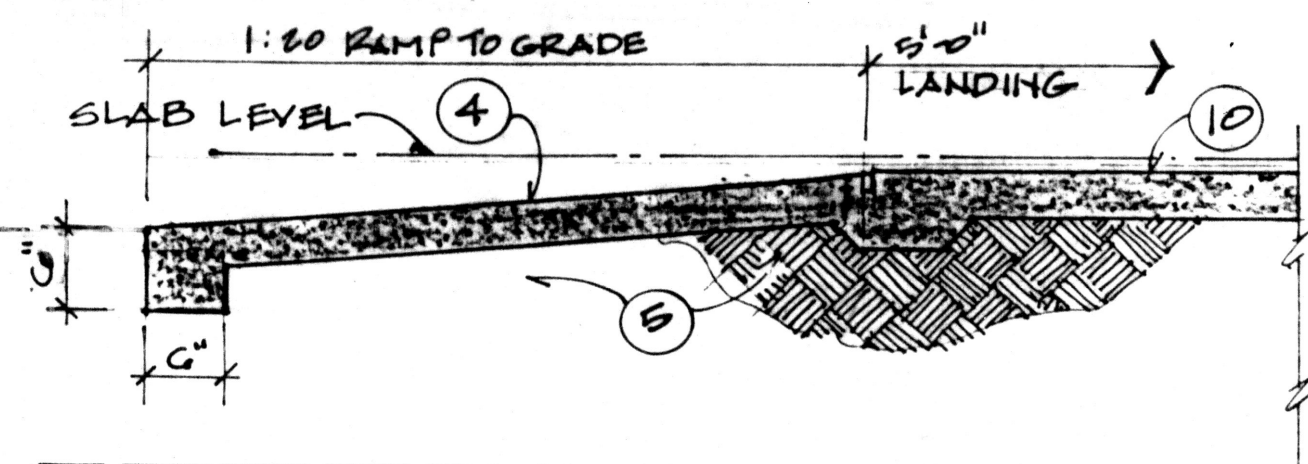
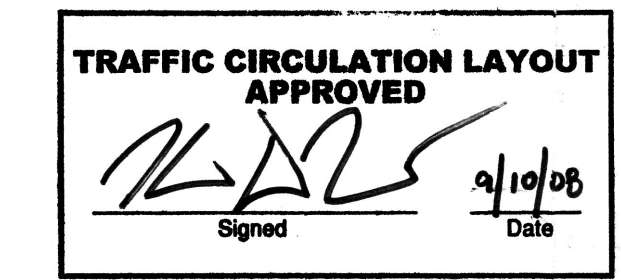
- Closure of existing driveways as noted and dimensioned on the Plan shall be replaced with new curb, gutter and conc. sidewalk as per DPM chapter 23, section 6, Part B.8 per Dwg. 2415A & 2430.
- The width, radii for curb returns at entrance at the flow line shall be 20'-0" min. as shown in plan and per DPM ch. 23, Section 6 and Part B.8.
- Provide truncated domes for ramps at each side of new entrance driveway per Dwg. 2426 in ROW easement as shown in plan.
- Provide painted arrows for one-way entrance and one-way exit as a "Right turn only" as shown in plan.
- End of aisle islands shall be provided as per DPM drawing figure 23.7.2 for reference and as shown and dimension in plan.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

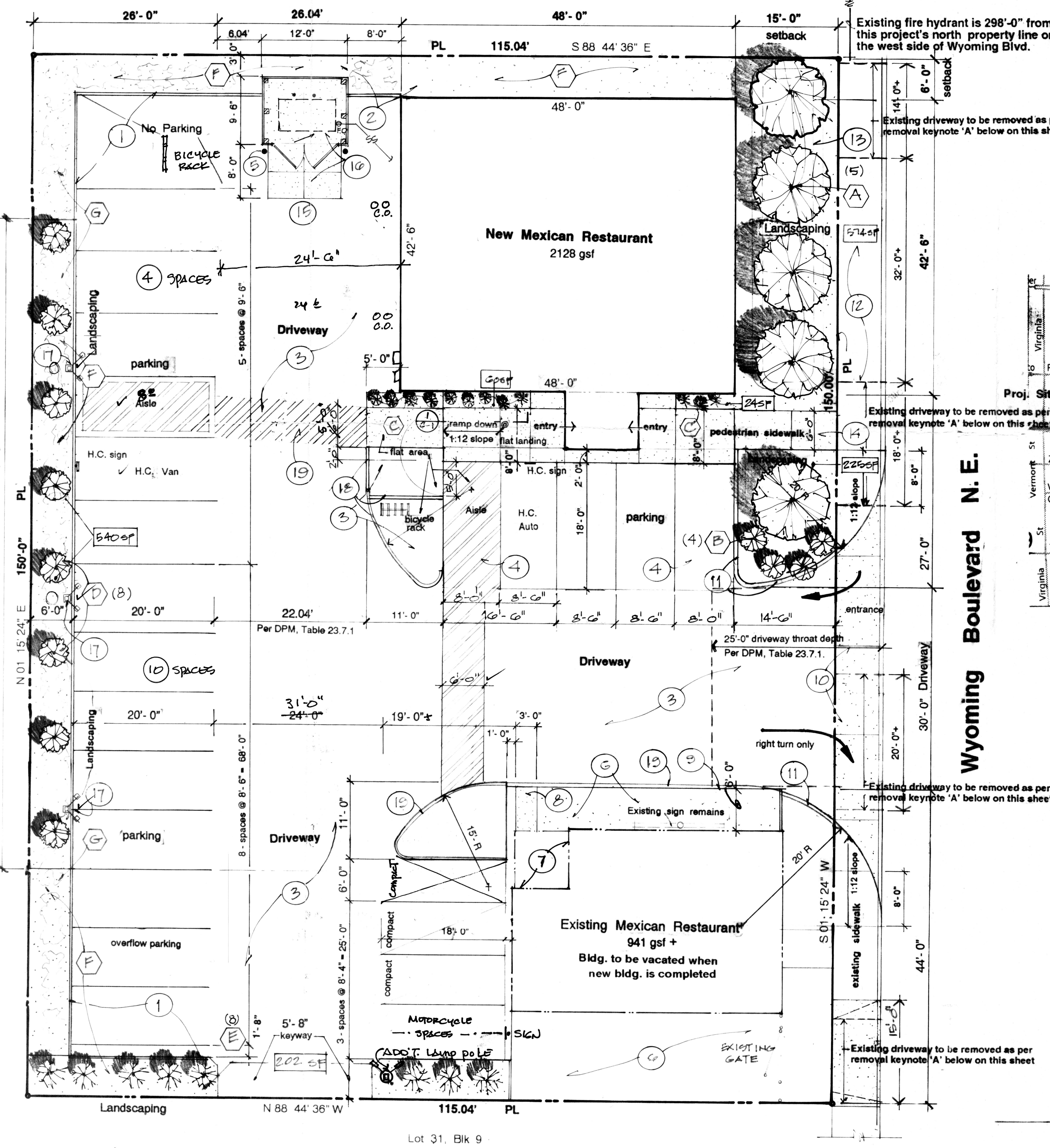
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

## Maintenance Agreement:

The owners of the restaurant and operators of same have herein agreed that they will maintain in a healthy condition and or replace any shrubs or trees that may not survive and to replace the plant material with the same as originally specified and planted. They will maintain the underground sprinkler system and any of the components to avoid wasting water per ordinance 6-1, ROA 1994

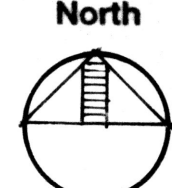


## RAMP DETAIL



## PROPOSED SITE DEVELOPMENT PLAN

Scale: 1" = 10'-0"



Architect: Miguel Trujillo & Associates  
Construction Management  
931 Highway 201 NE  
Veguita, New Mexico 87062  
Cell: (505) 410-4776

Project: New Mexican Restaurant  
At: 327 Wyoming Boulevard NE  
Albuquerque, New Mexico 87123

Client: Dalia Solis and Fidel Chacon Munos  
327 Wyoming Boulevard NE  
Albuquerque, New Mexico 88123

Date of Certification: APRIL 10, 2009

Revised: Aug. 22, 2008

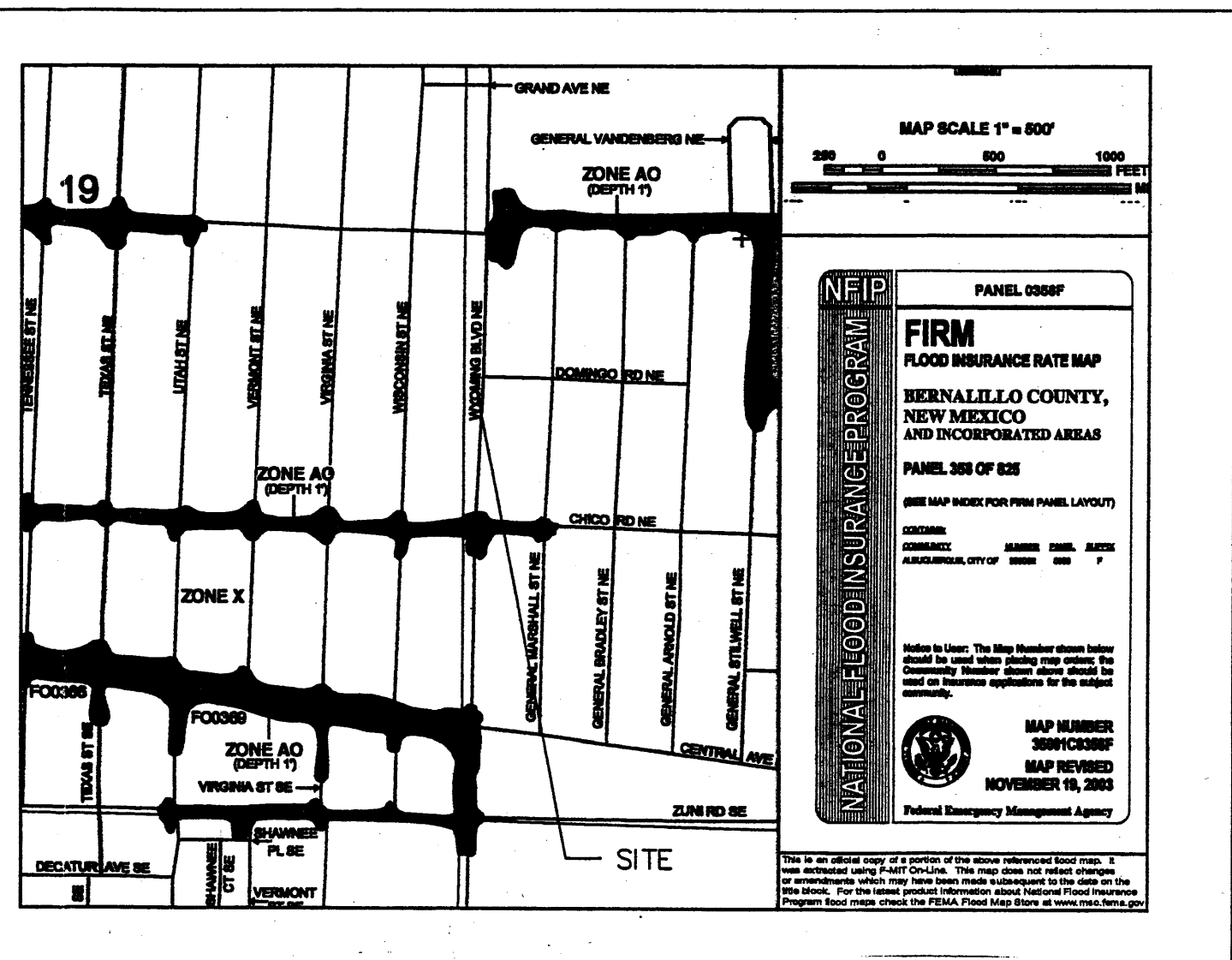
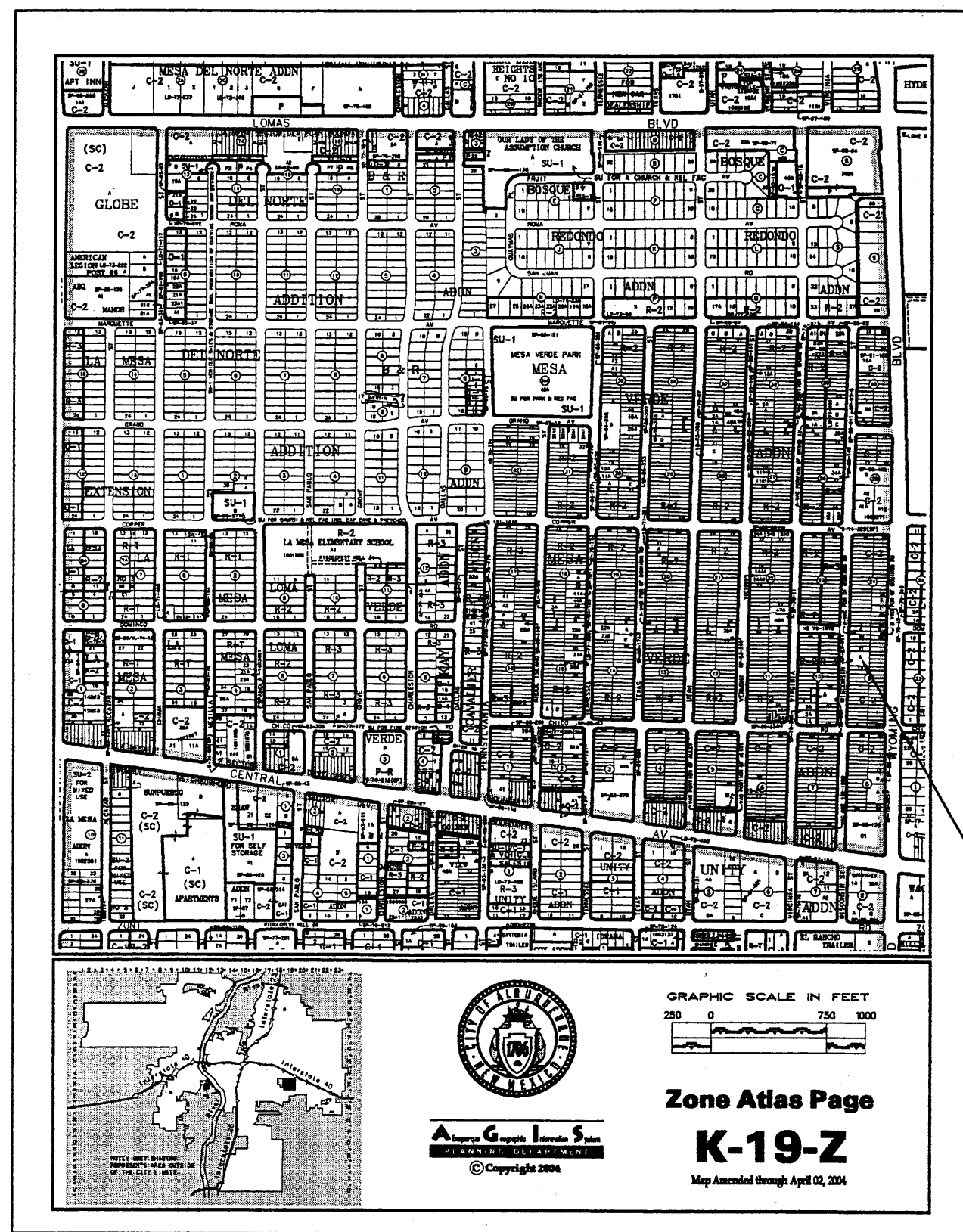


SHEET NO.

C-1

1 of 6





ENGINEER CERTIFICATION FOR (K19-D122)

I, EFRACIO SEBAY, NMPE # 6790, OF THE FIRM B.J.M. CONSULTING, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/29/2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY. THE FOLLOWING ITEMS HAVE BEEN DELETED OR CHANGED:

- CONCRETE HEADER CURBS HAVE BEEN CHANGED TO 8" RAILROAD TIES AS SHOWN ON PLAN DRAWING FOR CERTIFICATION.
- CONCRETE CURB AROUND EXISTING BUILDING WAS OMITTED AND ASPHALT PLACED AND SLOPED AWAY FROM THE BUILDING AS SHOWN ON PLAN DRAWING.
- PROPOSED 4" PVC PIPE HAS BEEN DELETED.
- GUTTER SYSTEM ON THE EAST SIDE OF BUILDING HAS BEEN TRANSITIONED SO THAT A DOWNSPOUT IS NOW LOCATED ON THE SOUTHEAST CORNER OF THE NEW BUILDING TO KEEP RUN-OFF AWAY FROM THE PUBLIC SIDEWALK ON WYOMING BLVD.

AS-BUILT DESIGNATION

20.82  
20.75  
OR  
20.75

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 25-A, BLOCK 9, MESA VERDE ADDITION (237 WYOMING BLVD. N.E.) BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.4649 ACRES MORE OR LESS, AND IS LOCATED SOUTHWEST OF THE INTERSECTION OF DOMINGO RD. N.E. AND WYOMING BLVD. N.E. ON WYOMING. THE SITE IN ITS EXISTING CONDITION CONTAINS A 941 SQ. FT. BUILDING ALONG WITH ASSOCIATED PARKING. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0358F, REVISED NOVEMBER 19, 2003, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A NEW 2,128 SQ. FT. BUILDING ALONG WITH PAVED PARKING AND ASSOCIATED LANDSCAPED AREAS. THE SITE WILL BE GRADED SO AS TO DRAIN ALL THE DEVELOPED RUN-OFF THRU THE PROPOSED DRIVEPAD ONTO WYOMING BLVD. N.E. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.46 ac.  
RESTAURANT FOR DALILA SOLIS  
ZONE 3  
PRECIPITATION: 360 = 2.60 in.  
1440 = 3.1 in.  
10day = 4.9 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.6 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0 ac.	0.07 ac.
TREATMENT C	0.44 ac.	0.11 ac.
TREATMENT D	0.02 ac.	0.29 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.66 x 0.00) + (0.92 x 0.00) + (1.29 x 0.44) + (2.36 x 0.02) / 0.46 ac. = 1.34 in.

V100-360 = (1.34 x 0.46) / 12 = 0.051233 ac-ft = 2232 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.87 x 0.00) + (2.60 x 0.00) + (3.45 x 0.44) + (5.02 x 0.02) = 1.62 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.66 x 0.00) + (0.92 x 0.07) + (1.29 x 0.11) + (2.36 x 0.29) / 0.46 ac. = 1.94 in.

V100-360 = (1.94 x 0.46) / 12.0 = 0.074225 ac-ft = 3233 CF

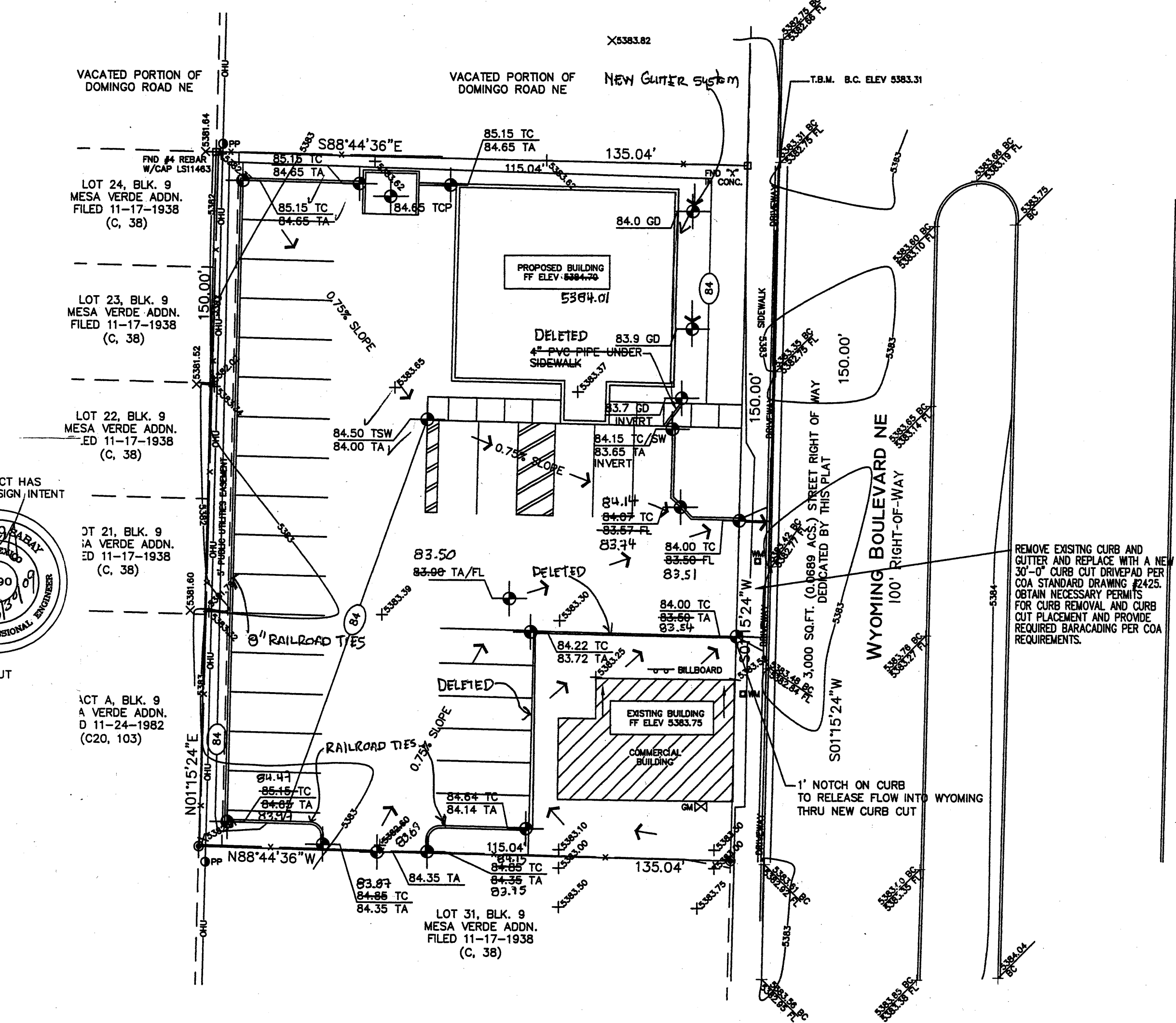
V100-1440 = (0.07) + (0.29 x 3.10 - 2.60) / 12 = 0.086308 ac-ft = 3760 CF

V100-10day = (0.07) + (0.29 x 4.90 - 2.60) / 12 = 0.129808 ac-ft = 5654 CF

PROPOSED PEAK DISCHARGE:

Q100 = (1.87 x 0.00) + (2.60 x 0.07) + (3.45 x 0.11) + (5.02 x 0.29) = 1.84 CFS

INCREASE 1.84 CFS - 1.62 CFS = 0.22 CFS



EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
  - ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
  - ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

LEGAL DESCRIPTION

LOTS NUMBERED 25-A, BLOCK 9, MESA VERDE ADDITION BERNALILLO COUNTY, ALBUQUERQUE NEW MEXICO.

NOTE

SITE PLAN PROVIDED BY MIGUEL TRUJILLO AND ASSOCIATES TOPO PROVIDED BY SURVEYS SOUTHWEST, LTD.

BENCHMARK:

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "6-K20 (R)" HAVING AN ELEVATION OF 5393.350 LOCATED AT THE INTERSECTION OF CENTRAL AVE. AND WYOMING BLVD. ON THE SOUTHWEST QUADRANT OF THE INTERSECTION

NOTE TO CONTRACTOR:

NO OFF-SITE FLOWS ENTER SITE FROM ANY DIRECTION

NOTE TO CONTRACTOR:

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating Services (760-1990) for locating existing sub-surface utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential constructions; Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay to the subject project.
- Backfill compaction shall be according to commercial use or soils report(s) recommendations.
- All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.
- Maintenance of this facilities shall be the responsibility of the owner of the property it serves

SYMBOL LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- DESIGN CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- DOWNSPOUT
- ROOF FLOW
- ABBREVIATION LEGEND
- TOP OF CONC PAD - TCP
- TOP OF CURB - TC
- TOP OF ASPHALT - TA
- TOP OF BERM - TB
- BOTTOM OF POND - BP
- FINISHED FLOOR - FF
- BOC - BACK OF CURB
- BI - DRAINAGE INLET
- EA - EDGE OF ASPHALT
- EC - EDGE OF CONCRETE
- FL - FLOW LINE
- FP - FENCE POST
- G - GROUND
- HP - HIGH POINT

GRADING & DRAINAGE PLAN

Scale 1"=20'-0"

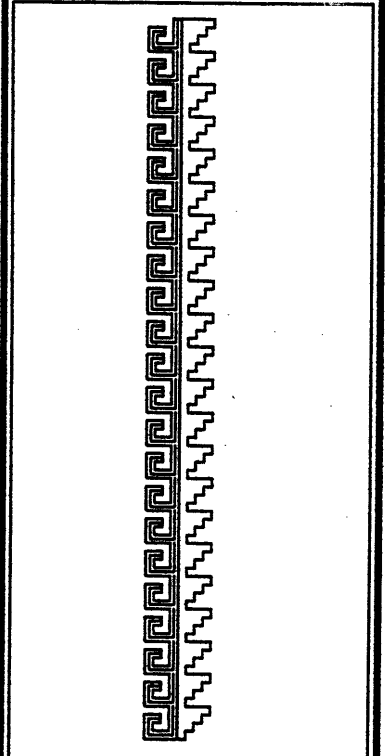


JOB NO:	XXXXXX
DATE:	MARCH 2008
REVISIONS	
	4/29/2008

Sheet Title

GRADING & DRAINAGE PLAN

Drawn By: HTH & BJM Checked By: ES



Job Title

MEXICAN RESTAURANT

237 WYOMING BLVD. N.E.

ALBUQUERQUE, NEW MEXICO

SHEET NO.

GD