

Project Description

NEW 5,400 SF BUILDING TO BE USED AS RETAIL BUILDING MATERIAL, RETAIL STOCK, ACCESSORY STORAGE AREA & SECURE EMPLOYEE PARKING

Project Data

OWNER: PAUL ROPER
505 263.8061
P.O. BOX 3096
ALBUQUERQUE, NM 87110

ARCHITECT: BRISCOE ARCHITECTS, P.C.
4100 MENAUL BLVD. NE, STE 2B
ALBUQUERQUE, NM 87110-6224
JOHN BRISCOE AIA 505.262.0193

BUILDING ADDRESS: 115 TEXAS ST., NE
ALBUQUERQUE, NM

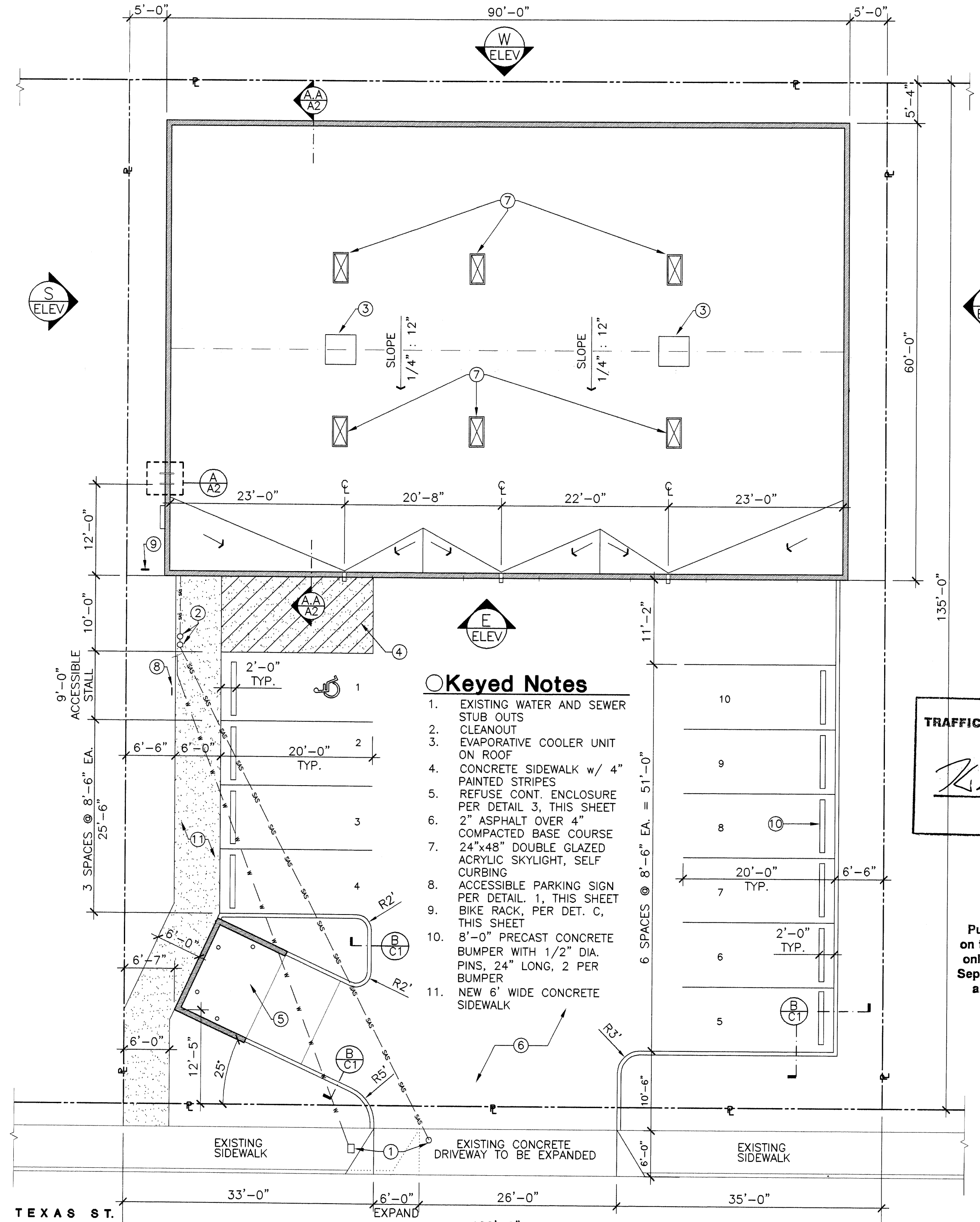
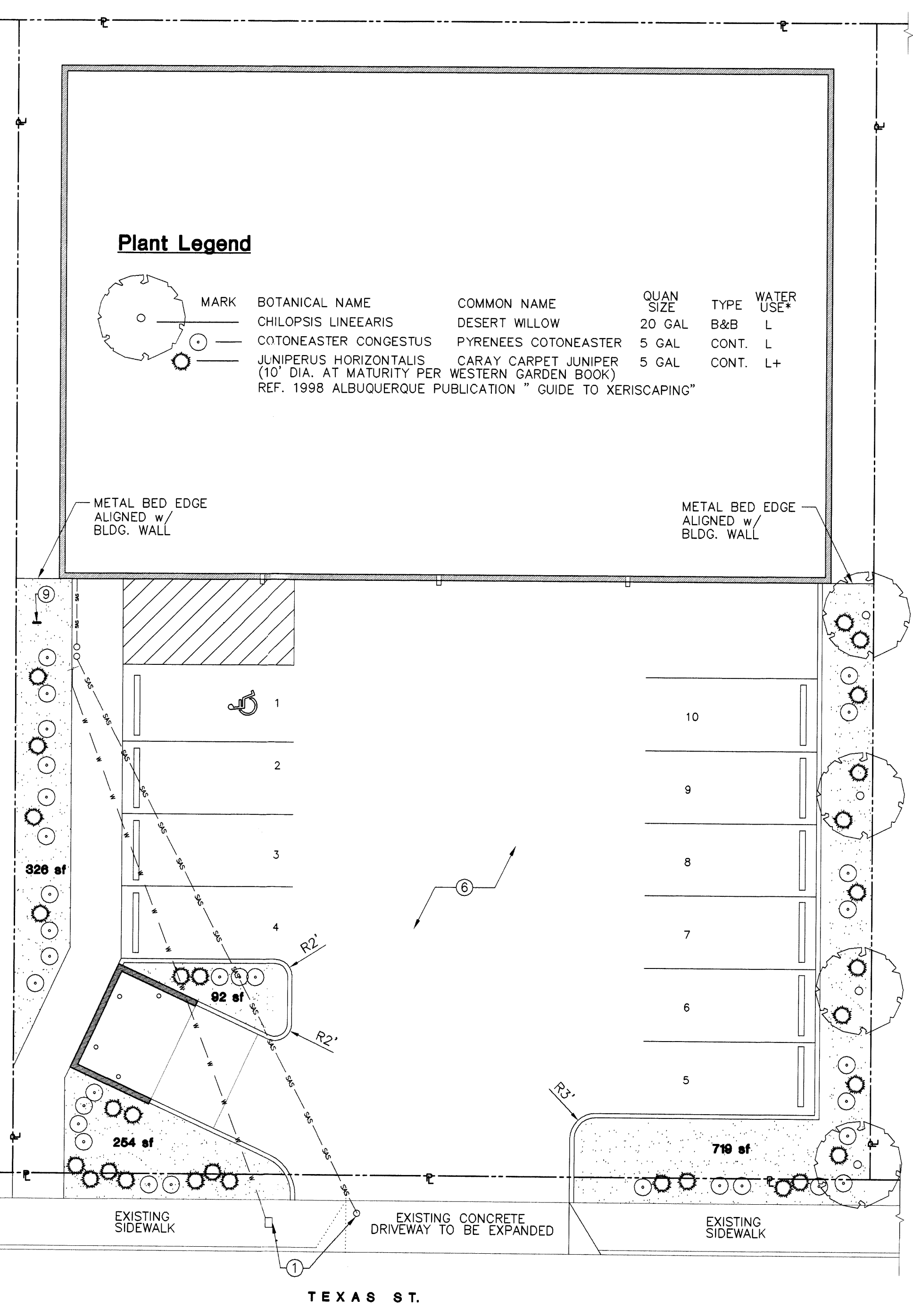
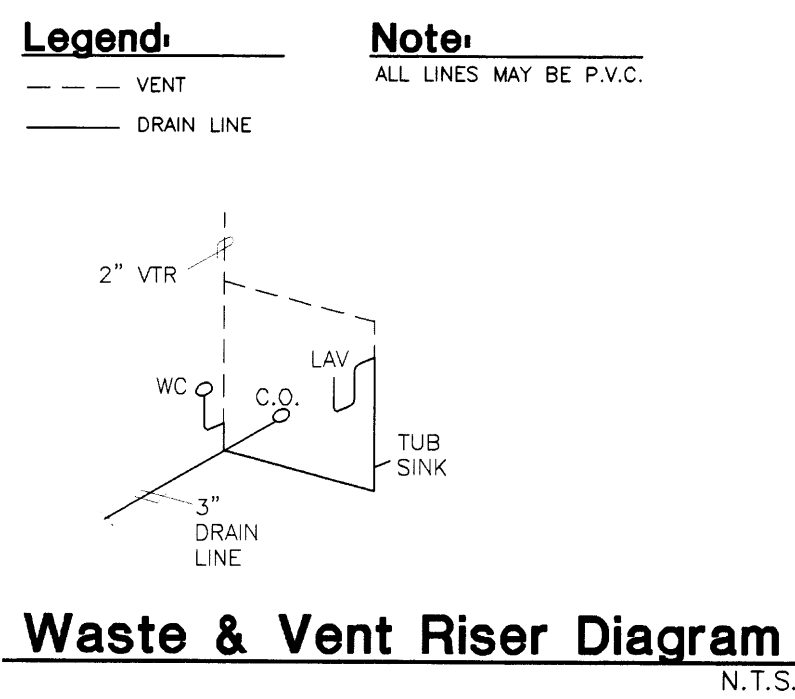
LEGAL DESCRIPTION: LOT 384
OF MESA VERDE ADDITION, ALBUQUERQUE, NM.

ZONE ATLAS PAGE: K-19-Z
ZONING: C-2
USAGE: RETAIL BUILDING MATERIAL
CONSTRUCTION TYPE: V-B
OCCUPANCY: M

Occupancy Analysis:

	AREA USE	FACTOR	OCC. LOAD
RETAIL STOCK	1,674 USF	1:300	6
RETAIL BUILDING MATERIAL	900 USF	1:30	30
ACCESSORY STORAGE	635 USF	1:300	3
SECURE EMPLOYEE PARKING	1,995 USF	1:200	10
ACCESSORY USE	52 USF	N/A	0
TOTAL USF AREA	5,256 USF		49
TOTAL GROSS AREA	5,400 GSF		

NOTE: OCCUPANCY LOAD AND AREAS SHOWN ARE FOR IBC EXITING REQUIREMENT ANALYSIS ONLY.
@ 2 FIRE EXTINGUISHERS ARE REQUIRED, 2 ARE PROVIDED



Parking Analysis:

RETAIL BUILDING MATERIAL 2,574 USF / 200 = 13 REQUIRED
14 PROVIDED (10 OUTDOORS & 4 INDOORS)

1 BIKE RACK IS REQUIRED, 1 IS PROVIDED

Plumbing Fixture Analysis:

49 OCCUPANTS IN MERCANTILE USAGE (SEPARATE FACILITIES SHALL NOT BE REQUIRED IN WHICH THE MAX. OCC. LOAD IS 50 OR LESS)

W.C. = 1 PER 500
LAV. = 1 PER 750
REQUIRED # OF W.C. & LAV. = 1 & 1
PROVIDED (UNISEX ROOM) = 1 & 1

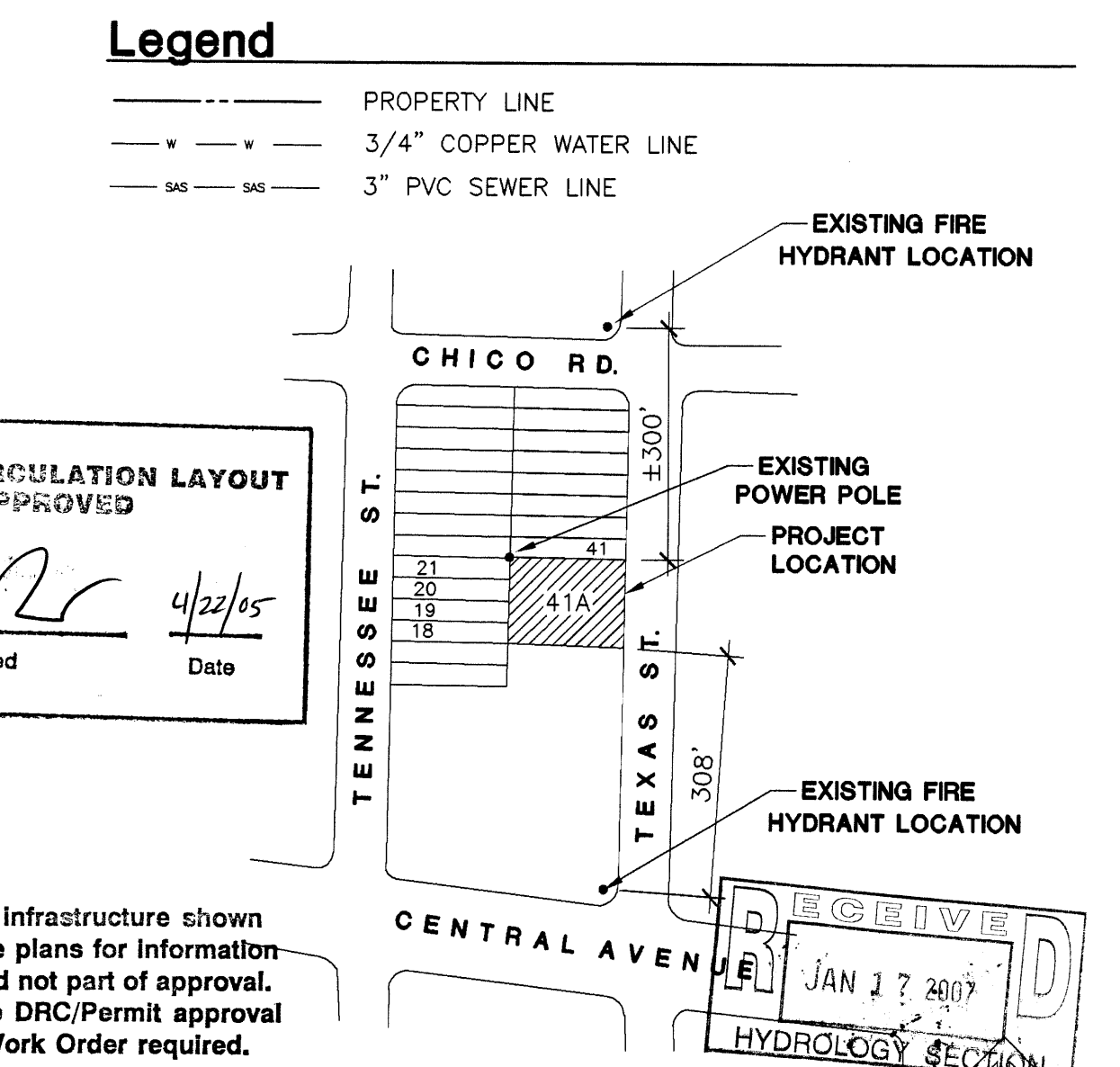
Landscape Requirements:

Index of Drawings

C1 SITE PLAN & DETAILS/ ROOF PLAN & LANDSCAPE PLAN
A1 FLOOR PLAN/ R. CEILING PLAN & DETAILS
A2 FRAMING PLAN/ ELEVATIONS/ SECTION & DETAILS

Legend

- PROPERTY LINE
- 3/4" COPPER WATER LINE
- 3" PVC SEWER LINE

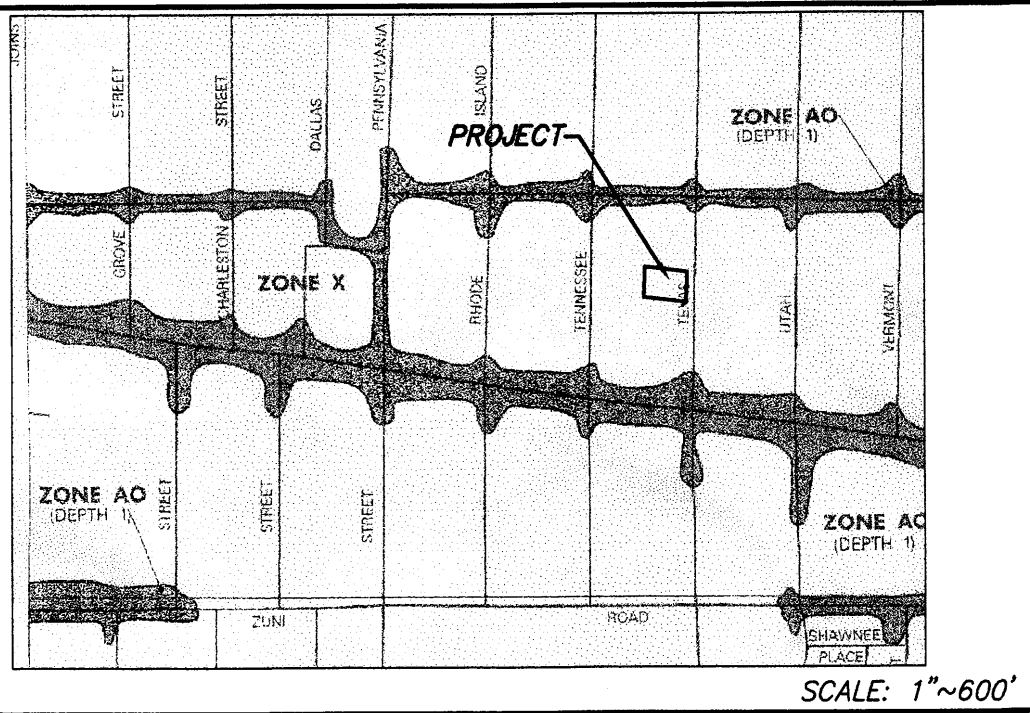


23 December 2004
REVISED 21 MARCH 2005
© 2004 Briscoe Architects, P.C.

BRISCOE ARCHITECTS, P.C.
4100 MENAUL BLVD. NE, SUITE 2B
ALBUQUERQUE, NM 87110-6224
V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

Paul Roper's Building
115 Texas St., NE
Albuquerque, NM

SHEET NO.
C-1



FIRM MAP PANEL # 358 D

GRADING & DRAINAGE PLAN

THE PROPOSED WAREHOUSE PROJECT IS LOCATED IN THE NORTHEAST AREA OF ALBUQUERQUE ON TEXAS STREET IMMEDIATELY NORTH OF CENTRAL AVENUE. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO.88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND IMPROVEMENTS.
2. PROPOSED IMPROVEMENT: 5400 SF WAREHOUSE BUILDING, ASPHALT DRIVE/PARKING, CONCRETE FLAT WORK, NEW GRADE ELEVATIONS, REFUSE LOCATION, AND LANDSCAPING.
3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS.

PRESENTLY, THE SITE IS A DIRT, "HARD-PAN" SURFACE WITHOUT VEGETATION. THE SITE IS BOUNDED BY DEVELOPED COMMERCIAL ZONED FACILITIES. THE SITE FALLS APPROXIMATELY 1% FROM WEST TO EAST.

TEXAS IS A LOCAL STREET WITH 2 LANES, WITH CURB, GUTTER AND ATTACHED SIDEWALKS. SITE RUNOFF WILL BE ALLOWED TO EITHER DRAIN THROUGH THE SITE, OR PONDED IN DEPRESSED LANDSCAPE AREAS. THE SITE HAS HISTORICALLY DRAINED TO THE EAST VIA OVERLAND SHEET FLOW.

HISTORICAL DOWNSIDE OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF SITE RUNOFF IS ACCEPTABLE SINCE DOWNSIDE CAPACITY EXISTS WITH THE MINIMAL INCREASE DUE TO DEVELOPMENT. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE, ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
 $P100 = 2.60$ inches, Zone 3 Time of Concentration, TC = 10 Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

LOT AREA = 0.31 ACRES, WHERE EXCESS PRECIP. 'C' = 1.29 in. [0.62]
PEAK DISCHARGE, $Q100 = 1.07$ CFS [0.6] WHERE UNIT PEAK DISCHARGE 'C' = 3.45 CFS/AC. [2.0]
THEREFORE: VOLUME 100 = 1452 CF [698]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

AREA	LAND TREATMENT	Q_{PEAK}	E
UNDEVELOPED	---	1.87 [0.58]	0.66 [0.19]
LANDSCAPING	A	2.60 [1.19]	0.92 [0.36]
COMPACTED SOIL & Slopes >	C	3.45 [2.00]	1.29 [0.62]
ROOF - PAVEMENT	D	5.02 [3.39]	2.36 [1.50]

THEREFORE: $E_{WEIGHTED} = 2.07$ in. [1.27] &
 $Q100 = 1.4$ CFS
 $Q10 = 0.9$ CFS

DOWNSIDE ANALYSIS

THE SITE HISTORICALLY, AND AS DEVELOPED WILL OUTFALL RUN-OFF TO THE NORTH WITHIN TEXAS ST. TO CHICO ROAD.

FREE DISCHARGE IS ACCEPTABLE SINCE THE DOWNSIDE BASIN HAS CAPACITY. THE PROJECT TIME TO PEAK IS MUCH LESS THAN OVERALL BASIN TIME TO PEAK & INCREASE DUE TO DEVELOPMENT IS MINIMAL. (INCREASE FROM THE EXISTING. (.4±) CFS)

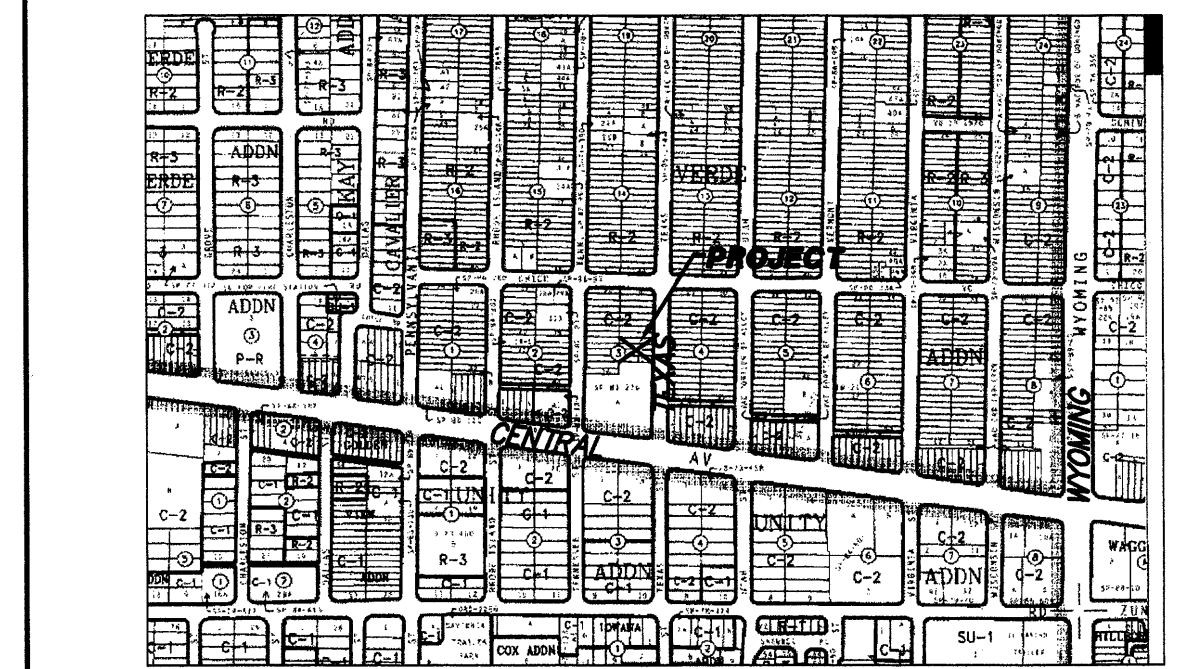
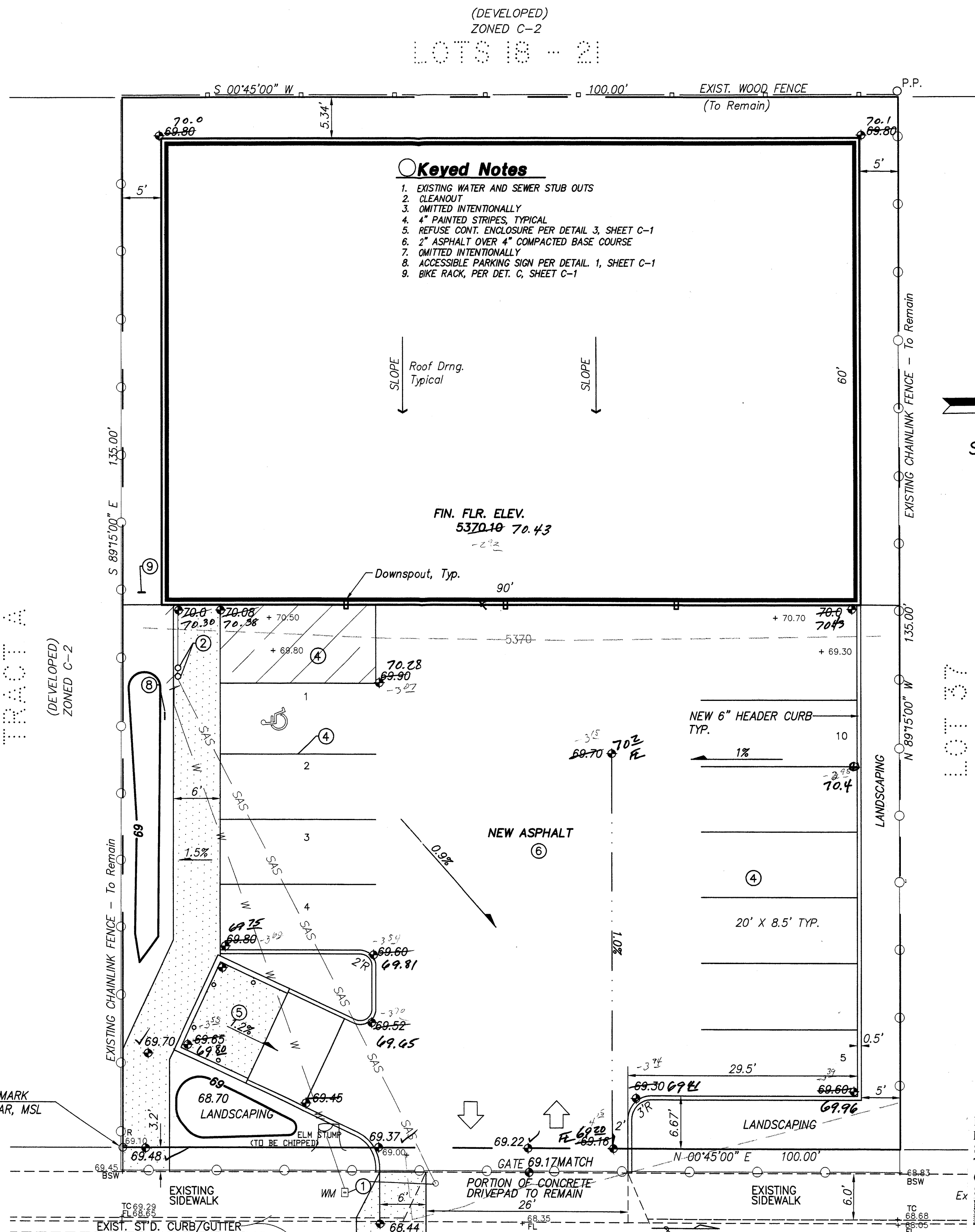
A PORTION OF DEVELOPED RUNOFF WILL BE ROUTED TO AND/OR THROUGH REQUIRED LANDSCAPING.

PROJECT BENCHMARK
TOP OF #4 REBAR, MSL
ELEV. 5369.1

TEXAS ST. NE
(60' R.O.W., 1-SOUTHBOUND LANE + 1-NORTHBOUND)

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMPE #10265



VICINITY MAP ZONE K-19 Scale: 1" = 750'

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 6TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE. CONTRACTOR SHALL INSTALL SYSTEM PRIOR TO PLACEMENT OF PAVING (SEE SHEET C-1).
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL. 3:1 ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	-10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	-12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
FLOWLINE	FL
EXISTING POWER POLE	OPP
FACE OF CURB/FACE OF CURB	F-F
TRAFFIC FLOW DIRECTION	

DRAINAGE CERTIFICATION

I, PHILIP W. CLARK, NMPE 10265, OF CLARK CONSULTING ENGINEERS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/15/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL TOPOGRAPHIC SURVEY FOR DESIGN PREPARED BY MYSELF, NMPE 10265 OF THE FIRM CCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Philip W. Clark, NMPE 10265

DATE

PROJECT DATA

LEGAL DESCRIPTION (Existing Platting)

LOT(s) 38 - 41, BLOCK 3, MESA VERDE ADDITION
Albuquerque, Bernalillo County, New Mexico

PROJECT BENCHMARK

Top of Number 4 Rebar at the Project Marked Southeast Property Corner, MSL Elevation = 5369.1
(The From ACS 1-L19, Located @ The NNE Curb Return of Zuni and Texas St.)

TOPOGRAPHIC DESIGN SURVEY

Compiled by Clark Consulting Engineers From Design Survey Performed in January 2005.

Clark Consulting Engineers

19 Ryan Road
Edgewood, New Mexico 87015
Tele: (505) 281-2444 Fax: (505) 281-2444

DATE	REVISION	LOTS 38 - 41, BLOCK 3, MESA VERDE ADDITION
4/15/05	Change Site Plan	ROPER WAREHOUSE
1/19/07	As-Built	115 TEXAS ST. NE
		Grading & Drainage Plan
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: Roper_p
CHECKED BY: PWC	DATE: 1/4/05	FILE #: G/D

C2 OF 1