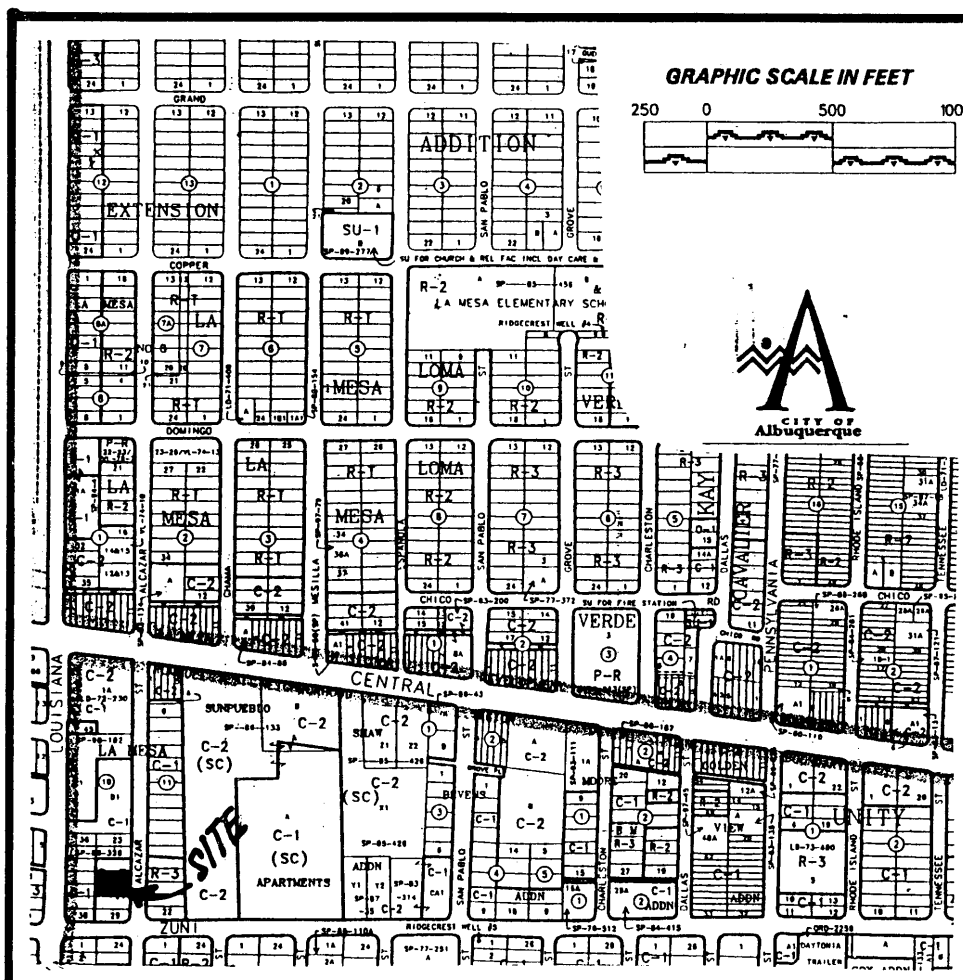
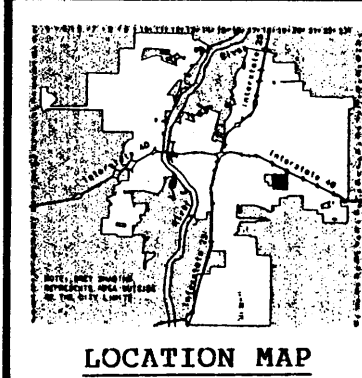




VICINITY MAP

K-19-Z

F.E.M.A. PANEL 354 OF 825

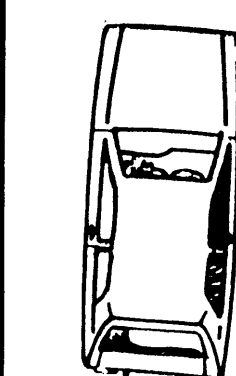


LOCATION MAP

LEGEND:

- TOP OF CURB ELEVATION = TC=24.93
- CURB FLOWLINE ELEVATION = RL=24.00
- EXISTING SPOT ELEVATION = 24.0
- EXISTING CONTOUR ELEVATION = 24.0
- PROPOSED SPOT ELEVATION = 25.0
- PROPOSED CONTOUR ELEVATION = 24.00
- PROPOSED OR EXISTING CONCRETE SURFACE =
- EXISTING FENCE LINE =

NOTE: LOTS "27-A", 32, AND 33, (AS SHOWN HEREON), HAVE BEEN GRANTED AN ACCESS EASEMENT OVER AND ACROSS A SOUTHERLY PORTION OF LOT 34, BY DOCUMENT FILED ON 11-30-99, (BK. 9915, P. 7572).



DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF ALCAZAR STREET S.E. BETWEEN ZUNI AVENUE S.E. AND EAST CENTRAL AVENUE, IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS "K-19-Z").

THE SUBJECT SITE, 1.) IS PRESENTLY A VACANT INFILL PROPERTY, 2.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3.) CONTRIBUTES TO THE OFFSITE FLOWS OF THE PROPERTY LYING IMMEDIATELY WEST OF AND ADJACENT TO THE SUBJECT PROPERTY, (SAID PROPERTY IS ALSO OWNED BY THE PROPERTY OWNERS OF THE SUBJECT SITE SHOWN HEREON); THE PROPOSED DEVELOPED FLOWS OF THE SUBJECT SITE WILL CONTINUE TO FLOW INTO AND ACROSS THE ADJACENT PROPERTY VIA A CROSS LOT LINE SURFACE DRAINAGE CONVEYANCE IN DEVELOPED FLOWS THAT WILL NOT HAVE AN ADVERSE IMPACT TO DOWNSTREAM PROPERTIES.

CALCULATION:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 100.00' X 135.00' = 13,500.00 SQ. FT. = 0.31 ACRE

PRECIPITATION ZONE: THREE (3), TABLE A-1

PEAK INTENSITY: IN./HR. AT T_p = TWELVE (12) MINUTES, 100-YR. = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Q", TABLES A-8 & A-9

LAND TREATMENT FACTORS: TABLE A-4

NOTE: A FLOODPLAIN EXISTS IN LOUISIANA BLVD. S.E.; HOWEVER, SAID FLOODPLAIN HAS NOT BEEN RESTUDIED SINCE STORM DRAINS HAVE BEEN CONSTRUCTED IN ALCAZAR STREET, S.E.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.31	X 3.45	= 1.07
"Q" = 1.07 CFS			

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.04	X 3.45	= 0.14
D	0.27	X 5.02	= 1.36
"Q" = 1.50 CFS			
*** INCREASE = 0.43 CFS			

BENCH MARK REFERENCE:

ACS STATION "11-K19A", LOCATED AT THE NORTHEAST CORNER OF LOUISIANA BLVD. S.E. AND ZUNI AVENUE S.E.; M.S.L. ELEVATION = 5317.302, (PROJECT T.B.M. LOCATED AT S.W. CORNER OF LOT 32, BL. = 5318.64)

LEGAL DESCRIPTION:

LOT "27-A", (COMPRISING A REPLAT OF LOTS 26 & 27, IN BLOCK TEN (10), LA MESA NO. TWO (2) ADDITION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1090 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 25, 2001. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (TECHNICAL).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

Levi J. Valdez
LEVI J. VALDEZ, N.M.P.E. NO. 5693

DATE
05-30-03

SEAL

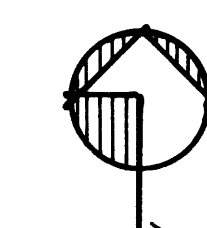


TABLE A-10. PEAK INTENSITY (IN./HR. AT T_p = 12 MIN)

Zone	Intensity
1	1.84 (3.14)
2	5.05 (2.04, 2.41)
3	9.38 (2.31, 3.85)
4	5.61 (2.94, 3.95)

TABLE A-6. PEAK DISCHARGE (CFS)

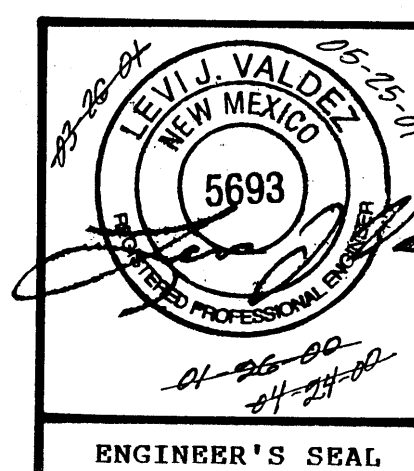
Zone	A	B	C	D
1	1.29 (0.00, 0.24)	2.05 (0.00, 0.78)	2.87 (0.01, 1.49)	4.37 (1.00, 2.89)
2	1.86 (0.00, 0.58)	2.28 (0.00, 0.99)	3.14 (0.00, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.90 (0.21, 1.19)	3.46 (0.78, 2.00)	5.02 (2.94, 3.39)
4	2.20 (0.00, 0.87)	2.92 (0.36, 1.45)	3.73 (1.00, 2.25)	5.28 (2.17, 3.57)



SCALE 1" = 10'

(TCL)
"ENGINEER'S CERTIFICATION"
APRIL, 2003

A PROPOSED DRAINAGE PLAN
FOR
BUDDHIST TEMPLE OF NEW MEXICO
(ALCAZAR STREET, S.E.)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2000



ENGINEER'S SEAL

REVISED: 05-26-01
01-26-00
24-04-00

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

NOTE: CONSTRUCTION LAYOUT TO BE PER ARCHITECT'S SITE PLAN DIMENSIONS.

