CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

October 3, 2022

Verlyn Miller, P.E.
Miller Engineering Consultants
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

RE: Wat Phrathat Doi Suthep NM
Grading and Drainage Plans
Engineer's Stamp Date: No stamp
Hydrology File: K19D125A

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Dear Mr. Miller,

Based upon the information provided in your submittal received 09/22/2022, the Conceptual Grading & Drainage Plan is not approved for Administrative Site Amendment until the following comments are addressed:

1. Provide for stormwater quality for the proposed impervious area: 0.26" of runoff. Hydrology realizes the area was previously impervious, but when construction is to occur on existing sites stormwater quality must be provided. Provide calculations for the required volume.

2. Remove the Note "There is no stormwater quality volume required…." And remove the statement in the "Conclusions" paragraph that there is no stormwater quality volume required".

3. It appears there is adequate space for stormwater quality between the wall and the sidewalk along Louisiana Blvd. Provide required volume and provided volume.

When submitting for Building Permit approval, please address the following comments:

1. Keyed Note 22 states to build a 12" wide concrete channel, but the holes in the wall per Note 7 are only 6"wide. Seems the drainage will run into the wall and back-up.

2. Near the NW corner of the new building, it is not clear, what the 2% and 5% MAX applies to. There is also a TOC grade in this area. Seems like a good place for landscaping/ stormwater quality ponding area.

3. Do you have a typo in the project name? It ends in "MN" rather than in "NM".

If you have any questions, please contact me at 924-3999 or sbiazar@cabq.gov.

Sincerely,

Shahab Biazar, P.E. CFM
City Engineer
Development Review Services
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Wat Phrathat Doi Suthep NM Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LT 33-A BLK 10 PLAT OF LT 33-A BLK 10 LA MESA NO. 2 CONT1.1401 AC

City Address: 320 Louisiana Blvd. SE Albuquerque, NM 87108

Applicant: DWL Architects Contact: Willard Eastman

Address: 202 Central Avenue SE, Albuquerque, NM 87102

Phone#: 202-242-6202 Fax#: _____ E-mail: w.eastman@dwlnm.com

Owner: BUDDIST TMPL OF NM MEDIATN CTR (THE) Contact: Saengchanh Sibouth

Address: 320 Louisiana Blvd. SE Albuquerque, NM 87108

Phone#: (505) 268-4983 Fax#: _____ E-mail: saengbme@gmail.com

TYPE OF SUBMITTAL: ____ PLAT (___# OF LOTS) ____ RESIDENCE ____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes X No

DEPARTMENT: ____ TRAFFIC/ TRANSPORTATION X HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
X CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

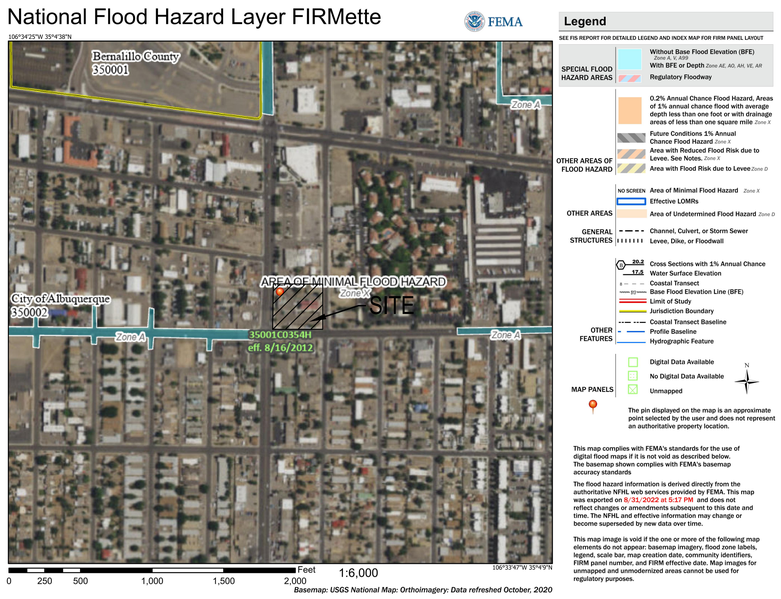
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
X OTHER (SPECIFY) EPC

DATE SUBMITTED: 9-22-2022 By: Verlyn A. Miller, P.E.

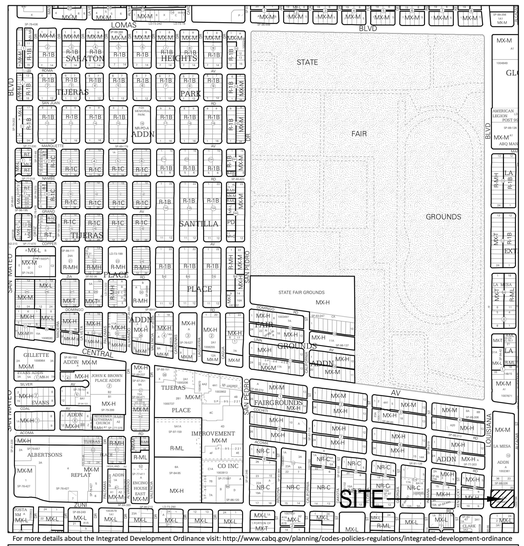
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

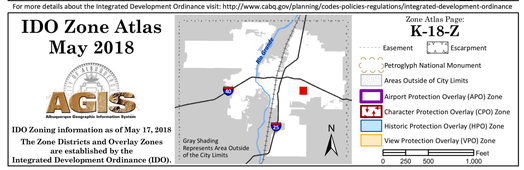
FEE PAID: _____



FLOOD ZONE MAP

FLOOD ZONE MAP 35001C0354H





VICINITY MAP

ZONE MAP K-18-Z

DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 1-acre site located 320 Louisiana Boulevard SE in Albuquerque. The site is located on the east side of Louisiana Boulevard north of Zuni Road and can be accessed via Zuni Road south of the site (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is estimated at 1-acres and is mostly developed with buildings and asphalt paving. The site currently slopes from the east to west at a mild slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of a new building to be located on the western portion of the site. There is an existing building located on the eastern portion of the site that will remain. Since the existing site is currently fully developed and there will be no increase in impervious area on the site the current plan does not provide for a new water quality pond. The drainage calculations for proposed conditions are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will decrease by an estimated at 0.02 cfs and 0.001 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to its historical location west into Louisiana Boulevard. There is no storm water quality volume requirement for this site since the impervious area will decrease under fully developed conditions.

GENERAL NOTES:

1. EXISTING TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY HARRIS SURVEYING INC., CORRALES, NEW MEXICO AUGUST, 2022. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
3. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
5. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
6. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
7. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
8. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
9. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
11. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
12. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
13. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
14. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
15. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
16. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
17. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
18. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2014 EDITION OF THE NEW MEXICO STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION (GREY BOOK).
19. ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

DPM HYDROLOGY CALCULATIONS

Precipitation Zone 3 - 100-year Storm P(360) = 2.6 in P(1440) = 3.1 in

Basin	Basin Area (Ac)	Land Treatment Factors A (Acres)	B (Acres)	C (Acres)	D (Acres)	Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
Existing Conditions									
Site	1.14	0.00	0.00	0.15	0.99	2.22	0.211	0.252	5.49
Total	**1.14**								**5.49**
Proposed Conditions									
Site	1.14	0.00	0.00	0.16	0.98	2.21	0.210	0.251	5.47
Total	**1.14**								**5.47**

STORM WATER QUALITY VOLUME CALCULATIONS

THERE IS NO STORM WATER QUALITY VOLUME REQUIRED FOR THIS SITE DUE TO THE DECREASE IN IMPERVIOUS AREA UNDER FULLY DEVELOPED CONDITIONS.

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CONGREGATE LIVING
NON-TRANSIENT
320 LOUISIANA BLVD. SE.
ALBUQUERQUE, NEW MEXICO 87108-3183

ISSUE/REVISION

PROJECT NUMBER:
20_1611.03

CAD DWG FILE:
DWL-NM_APS OSUNA

DRAWN BY:
MEC

CHECKED BY:
VAM

SHEET TITLE:
HYDROLOGY PLAN

C-100
OF SHEET

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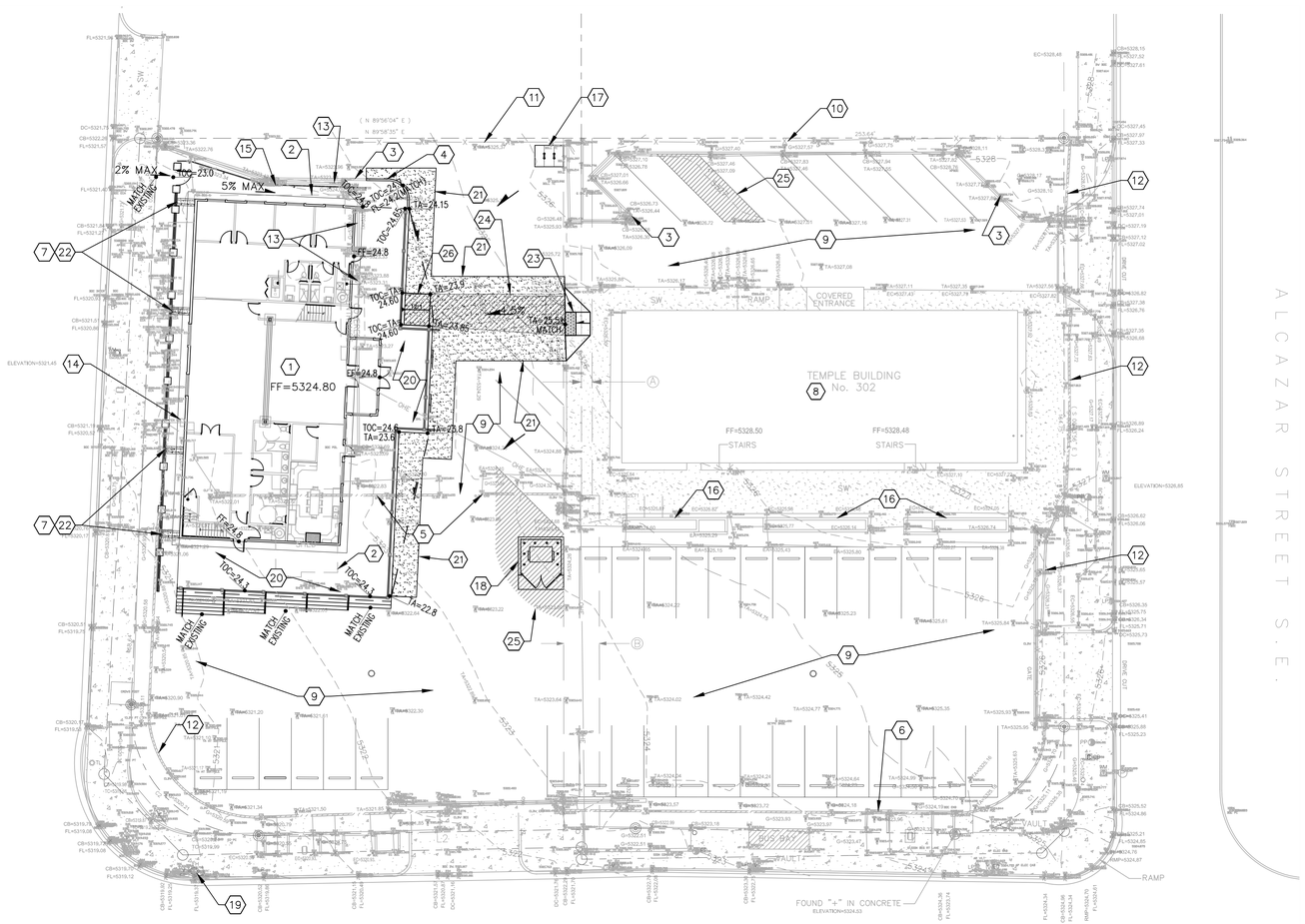

LEGEND:

•38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)		GRADE BREAK–HIGH POINT
•MATCH (95.19)	MATCH EXISTING ELEVATIONS		SWALE
TC	TOP OF CONCRETE	SD	STORM DRAIN LINE
FL	FLOW LINE, CURB	5895	PROPOSED MAJOR CONTOUR
INV	INVERT		PROPOSED MINOR CONTOUR
FG	FINISH GRADE	5895	EXISTING MAJOR CONTOUR
TBC	TOP OF BASE COURSE		EXISTING MINOR CONTOUR
TG	TOP OF GRATE		TOP OF CUT SLOPE
TA	TOP OF ASPHALT	P	EXISTING TELEPHONE MANHOLE
	FLOW ARROW	WM	EXISTING WATER METER
		LP	EXISTING LIGHT POLE
		CB	EXISTING CABLE BOX
		EC	EXISTING ELECTRICAL CABINET
		TL	EXISTING TRAFFIC LIGHT
		V	EXISTING VAULT

KEYED NOTES:

1. NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
2. EXISTING BUILDING TO BE REMOVED.
3. EXISTING CURB AND GUTTER TO REMAIN.
4. NEW CURB AND CUTTER. SEE DETAIL SHEET C–501.
5. EXISTING BLOCK WALL TO BE REMOVED.
6. EXISTING 6' MASONRY AND DECORATIVE STEEL FENCE TO REMAIN.
7. NEW 6' MASONRY AND DECORATIVE STEEL FENCE. PLACE 6"x6" WEEP HOLES IN WALL AS REQUIRED FOR DRAINAGE FROM ROOF DRAINS.
8. EXISTING BUILDING TO REMAIN.
9. EXISTING ASPHALT PARKING LOT.
10. EXISTING WOOD FENCE TO REMAIN.
11. EXISTING CHAIN LINK FENCE TO REMAIN.
12. EXISTING BLOCK WALL TO REMAIN. PROVIDE 6"x6" WEEP HOLES IN WALL AS REQUIRED FOR DRAINAGE.
13. EXISTING CURB AND GUTTER TO BE REMOVED AND DISPOSED OF.
14. EXISTING GAS METER.
15. NEW 6' STEEL PICKET FENCE SEE ARCHITECTURAL DRAWINGS.
16. EXISTING PLANTERS TO REMAIN.
17. NEW BIKE RACK. SEE ARCHITECTURAL DRAWINGS.
18. NEW TRASH ENCLOSURE SEE ARCHITECTURAL DRAWINGS.
19. EXISTING FIRE HYDRANT TO REMAIN.
20. NEW COVERED PATIO.
21. EXISTING ASPHALT TO BE REMOVED AND REPLACED. SAW CUT TO A CLEAN STRAIGHT EDGE TO ADJOINING ASPHALT DEPTH. MATCH EXISTING ELEVATIONS.
22. NEW 12" WIDE CONCRETE CHANNEL TO BE PLACED AT ALL DOWNSPOUT LOCATIONS. SEE DETAIL SHEET C–501.
23. NEW ADA RAMP. SEE DETAIL SHEET C–501.
24. NEW ADA CROSSWALK STRIPING. SEE ARCHITECTURAL SHEETS.
25. NEW ASPHALT STRIPING. SEE ARCHITECTURAL PLANS.
26. NEW 9' ADA RAMP. 12:1 MAX. SLOPE. SEE ARCHITECTURAL PLANS FOR DETAILS.

Ⓐ 3' PNM EASEMENT
FILED: DECEMBER 3, 1999
BOOK 9915, PAGE 9262

Ⓑ 10' PUBLIC UTILITY EASEMENT
FILED: JUNE 8, 2013
BOOK 2013C, FOLIO 44

A1 CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

NORTH

20 10 0 20 30 40

SCALE: 1"=20'
CONTOUR INTERVAL=1'

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ISSUE/REVISION

PROJECT NUMBER:
20_1611.03

CAD DWG FILE:
DWL-NM_APS OSUNA

DRAWN BY:
MEC

CHECKED BY:
VAM

SHEET TITLE:
CONCEPTUAL GRADING AND DRAINAGE PLAN

C-101

OF SHEET

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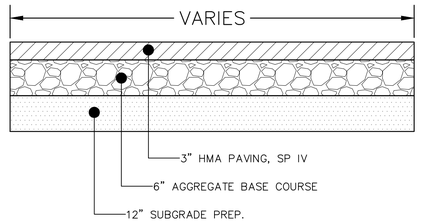
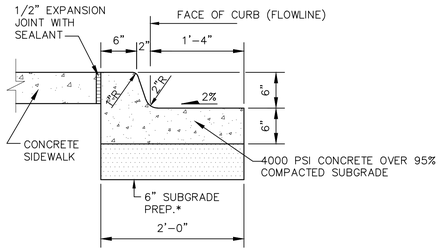


GEOTECH INFORMATION:
THE PAVEMENT SECTION THICKNESS INDICATED ON THE TYPICAL SECTIONS, WERE PROVIDED BY:
GEO-TEST ENGINEERING SERVICES
_____ _____
_____, NM 875__
DATED: _____, 2020
REPORT PROJECT NO.__-____

D4 TYPICAL LIGHT DUTY ASPHALT PAVING DETAIL

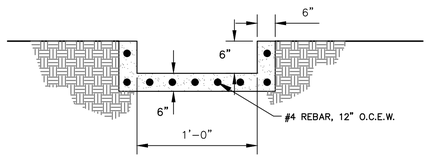
SCALE: NOT TO SCALE



NOTES:
1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

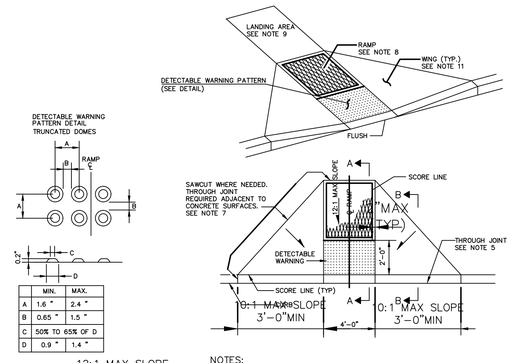
B1 TYPICAL CURB AND GUTTER SECTION

SCALE: NOT TO SCALE



A1 CONCRETE CHANNEL DETAIL

SCALE: NOT TO SCALE



NOTES:
1. TWO CURB RAMPS SHALL BE INSTALLED AT EACH CORNER UNLESS DIRECTED OTHERWISE BY SDOT.
2. CURB RAMPS SHALL BE CONSTRUCTED WITH COMPANION RAMPS ON OPPOSITE SIDES OF THE STREET UNLESS DIRECTED OTHERWISE BY SDOT
3. WHERE CURB IS INSTALLED AT A LOCATION WITH NO SIDEWALK, CURB SHALL BE DEPRESSED FOR FUTURE CURB RAMP INSTALLATION.
4. TYPE 422a CURB RAMP SHALL BE USED. HOWEVER IF NOT FEASIBLE, THEN TYPE 422a CURB RAMP MAY BE INSTALLED WITH THE APPROVAL OF SDOT
5. NEW PAVEMENT SHALL BE BLOCKED OUT FULL DEPTH. EXISTING PAVEMENT SHALL BE REMOVED AT THE FACE OF THE CURB.
6. MIN DISTANCE BETWEEN ADJACENT CURB RAMPS SHALL BE 3'-0".
7. CURB RAMPS SHALL BE ISOLATED FROM ALL OTHER CONCRETE BY THROUGH JOINTS.
8. RAMPS SHALL HAVE A COARSE TEXTURED SURFACE OBTAINED WITH A 3/4" 9-11 FLATTENED EXPANDED METAL MESH BEING PRESSED INTO THE STILL FRESH CONCRETE. THE LONG AXIS OF THE DIAMOND PATTERN SHALL BE ALIGNED WITH THE SLOPE OF THE RAMP.
9. ADDITIONAL SIDEWALK PAVING MAY BE NECESSARY IN THE PLANTING STRIP OR AT THE BACK OF SIDEWALK TO ACCOMMODATE ACCESS TO THE RAMP. A MINIMUM 4'-0"x5'-0" 2% MAX. GRADE LANDING SHALL BE PROVIDED AT THE TOP OF RAMP ON TYPE 422a.
10. THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH BOTH WINGS ON TYPE 422a AND BOTH RAMPS ON TYPE 422a. SEE STD. PLAN NO 420.
11. THE WINGS ON TYPE 422a SHALL HAVE A SLIGHTLY BRUSHED FINISH PARALLEL TO THE CURB.
12. MIN LATERAL CLEARANCE FROM INLETS, POLES, HYDRANTS AND OTHER ABOVE GROUND OBSTACLES SHALL BE 1'-0" FROM THE SCORED OR DETECTABLE WARNING PORTION OF THE CURB RAMP.
13. INLETS SHALL BE SO LOCATED THAT GUTTER FLOW DOES NOT FLOW PAST THE CURB RAMP.
14. DETECTABLE WARNING SURFACE SHALL BE YELLOW, IN COMPLIANCE WITH SECTION 8-14.3 OF THE SPECIAL PROVISIONS OF COS STDS. & SHALL BE LOCATED WITHIN 6 TO 8 INCHES OF THE CURB FACE.

B2 HANDICAP RAMP DETAIL

SCALE: NOT TO SCALE

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CAD DWG FILE:
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DRAWN BY:
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CHECKED BY:
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SHEET TITLE:
MISCELLANEOUS DETAILS

C-501

OF SHEET

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