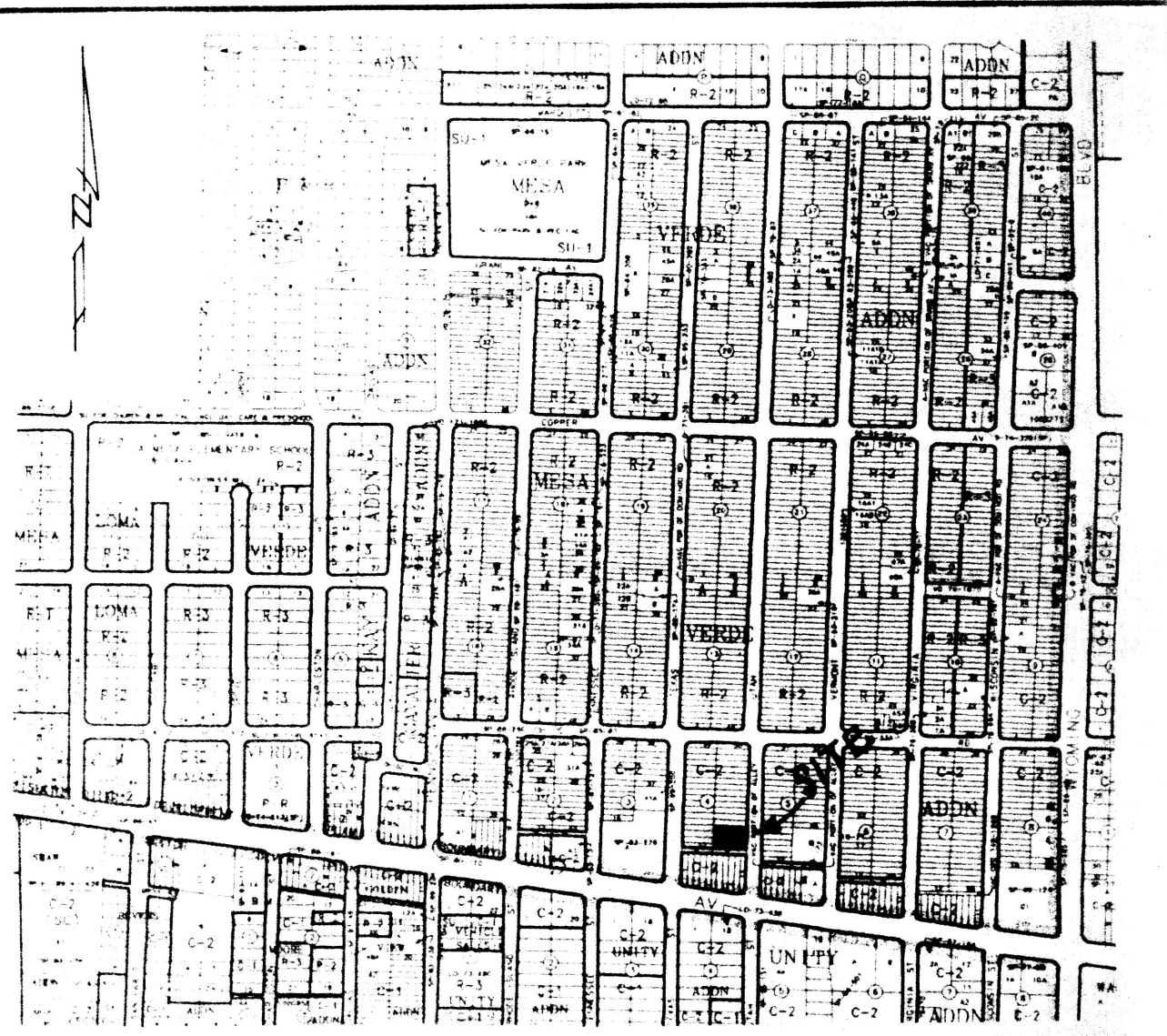
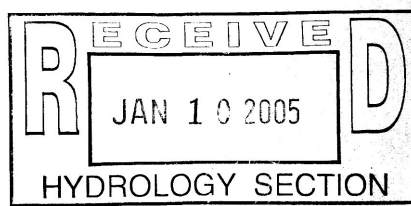




Zone Atlas Page

K-19-Z

GRAPHIC SCALE IN FEET
0 50 100 150 200



EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF SITE DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DIKE, SWALE, POND, AND OTHER TEMPORARY GRADING REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE OR ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES. STORM WATER RUN-OFF FROM THE SUBJECT SITE - NO SEDIMENT OR WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN DEPOSITED ON THE STREET.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = 72.71.64
CURB FLOWLINE ELEVATION = 72.87
EXISTING SPOT ELEVATION = 72.07
EXISTING CONTOUR ELEVATION = 72
PROPOSED SPOT ELEVATION = 72.44
PROPOSED CONTOUR ELEVATION = 72.44
PROPOSED OR EXISTING CONCRETE SURFACE
EXISTING FENCE LINE

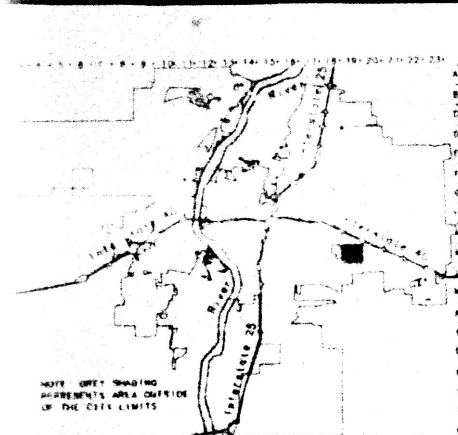
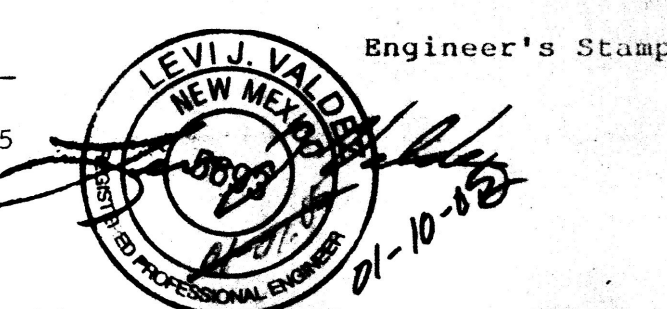
Grading and Drainage Certification:

I, Levi J. Valdez, NMPE No. 5693, hereby certify that this project is in substantial compliance with and in accordance with the design of the approved plan dated August 23, 2004. The record information on the original design document has been obtained by Fred J. Aragon, the firm PJA Design Group. I further certify that I have personally visited the project site on January 5, 2005, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent Certificate of Occupancy.

S.D. #10 NOT REQUIRED

The record information presented hereon is not necessarily complete and intended only to verify "substantial compliance" of the grading and drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

Levi J. Valdez, NMPE No. 5693
Date: January 07, 2005
01-10-05



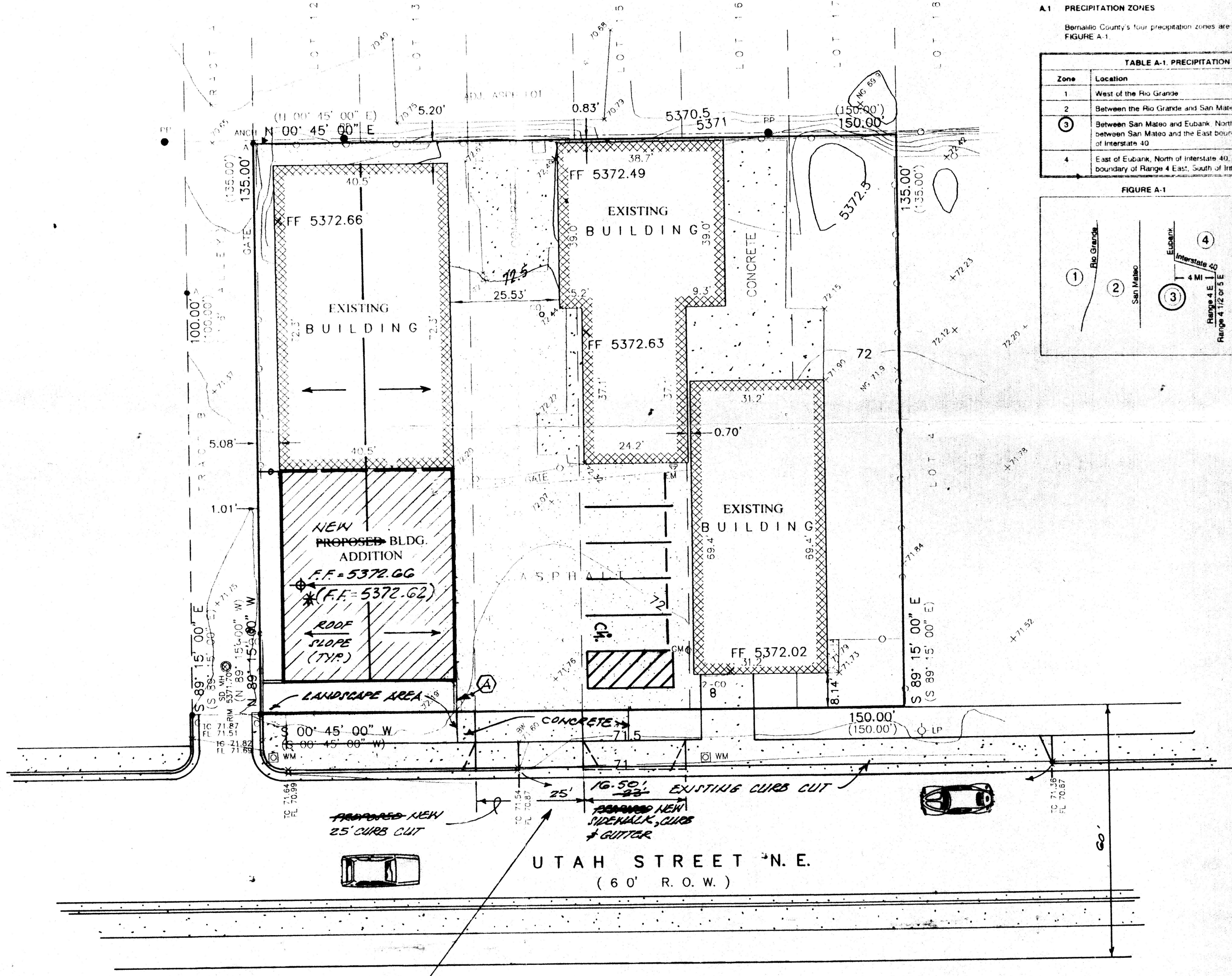
LOCATION MAP

NOTICE TO CONTRACTOR:

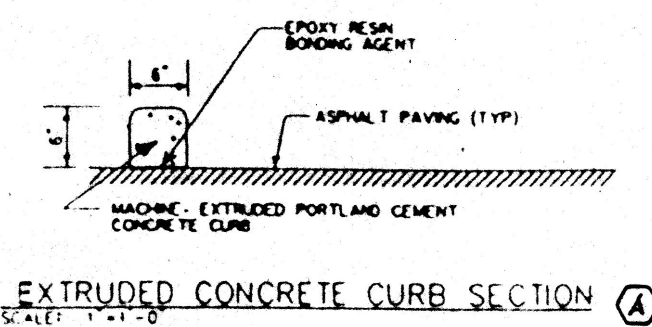
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPANION SHALL BE ACCORDING TO MATERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



NOTE: REFER TO "T.O.L." DRAWING FOR NEW CURB CUT, SIDEWALK, CURB & GUTTER DETAILS & SPEC'S.

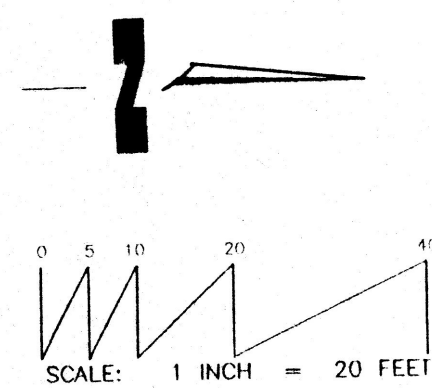


LEGAL DESCRIPTION:

LOTS NUMBERED FORTY-TWO (42) THROUGH FORTY-SEVEN (47), IN BLOCK FOUR (4), MESA VERDE ADDITION, ALBUQUERQUE, NEW MEXICO.

BENCH MARK REFERENCE:

A.C.S. STATION "6-K20(R)", M.S.L. ELEVATION = 5390.74; T.B.M. AS SHOWN ON THE PLAN HEREON.



LEGEND:

- ELECTRIC METER
- GAS METER
- WATER METER
- SANITARY SEWER MANHOLE
- SEWER CLEANOUT
- FIRE HYDRANT
- POWER POLE
- ANCHOR
- LIGHT POLE
- OVERHEAD POWER LINE
- FOUND #5 REBAR - NO CAP
- SET MONUMENT AS NOTED:
 - A: #4 REBAR AND CAP "WAYJOHN PS 14269"
 - B: NAIL AND DISK "PS 14269"
 - C: CHISELED "4" IN CONCRETE
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269"

A1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are illustrated in Figure A-1 and on Figure A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank North of Interstate 40 and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the boundary of Range 4 East, South of Interstate 40

FIGURE A-1

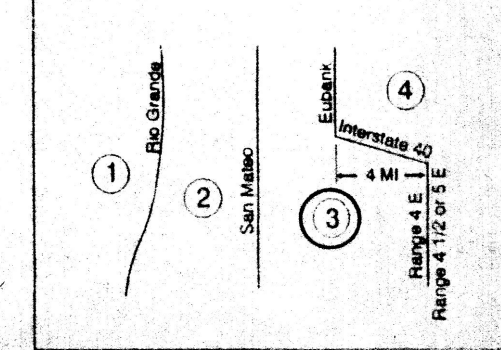


TABLE A-8. PEAK DISCHARGE (cfs) 100-YR (2-HR)				
Zone	A	B	C	D
1	1.28 (0.00, 5.84)	2.00 (0.00, 5.78)	2.87 (0.07, 1.48)	4.37 (1.00, 2.20)
2	1.38 (0.00, 5.38)	2.38 (0.00, 5.95)	3.14 (0.00, 1.71)	4.70 (1.00, 2.14)
3	1.47 (0.00, 5.68)	2.40 (0.01, 1.18)	3.45 (0.78, 2.20)	5.02 (1.04, 3.30)
4	2.00 (0.00, 5.87)	2.92 (0.38, 1.48)	3.72 (1.00, 2.20)	5.25 (2.17, 3.57)

TABLE A-10. PEAK INTENSITY (in/hr) at t _c = 6.2 hours		
Zone	Intensity	100-YR (2-HR)
1	4.70 (1.04, 2.14)	
2	5.02 (2.04, 3.41)	
3	5.38 (2.17, 3.88)	
4	5.81 (2.34, 3.80)	

DRP SECTION 22.2 - HYDROLOGY

January, 1993

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs at typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands, irrigated dryland.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

RAINAGE COMMENTS:

SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE WEST SIDE OF UTAH STREET N.E. BETWEEN CHICO STREET N.E. AND CENTRAL AVENUE N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP "K-19-Z").

THE SUBJECT SITE, 1.) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 358 OF 825), 2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 3.) DOES NOT CONTRIBUTE TO THE OPPOSITE FLOWS OF ADJACENT PROPERTIES, 4.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 5.) IS TO HAVE A NEW BUILDING ADDITION CONSTRUCTED OVER AN AREA THAT PRESENTLY CONSISTS OF AN EXISTING BUILDING AND ASPHALT PAVED AREA; THEREFORE, THERE WILL BE NO INCREASE OF IMPERVIOUS AREA.

RAINAGE CALCULATIONS:

DRP SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, JANUARY 1993, AND PER BERNALILLO COUNTY STORM DRAINAGE ORDINANCE NO. 90-6.

SITE AREA: 0.46 ACRES
PRECIPITATION ZONE: THREE (3), TABLE A-1
PEAK INTENSITY: IN/HR. @ T = TWELVE (12) MINUTES, 100-YR. = 5.38, TABLE A-10
LAND TREATMENT METHOD: FOR CALCULATION OF "Q", TABLES A-8 & A-9
LAND TREATMENT FACTORS", TABLE A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.00	X 3.45	= 0.00
D	0.46	X 5.02	= 2.31

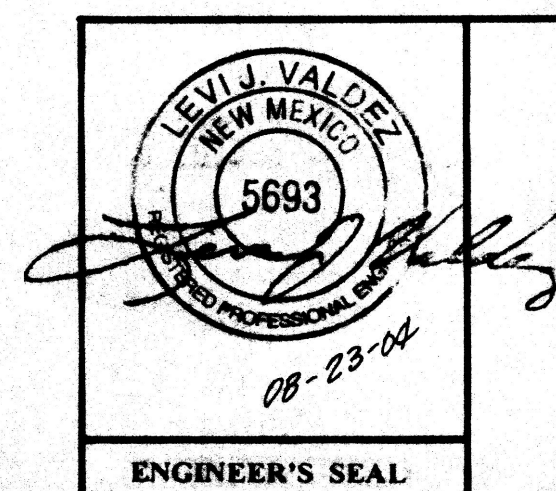
Q_P = 2.31 CFS

PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.01	X 3.45	= 0.03
D	0.45	X 5.02	= 2.26

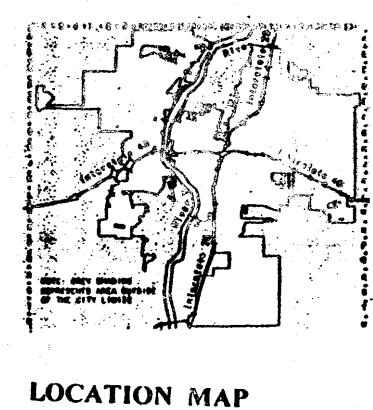
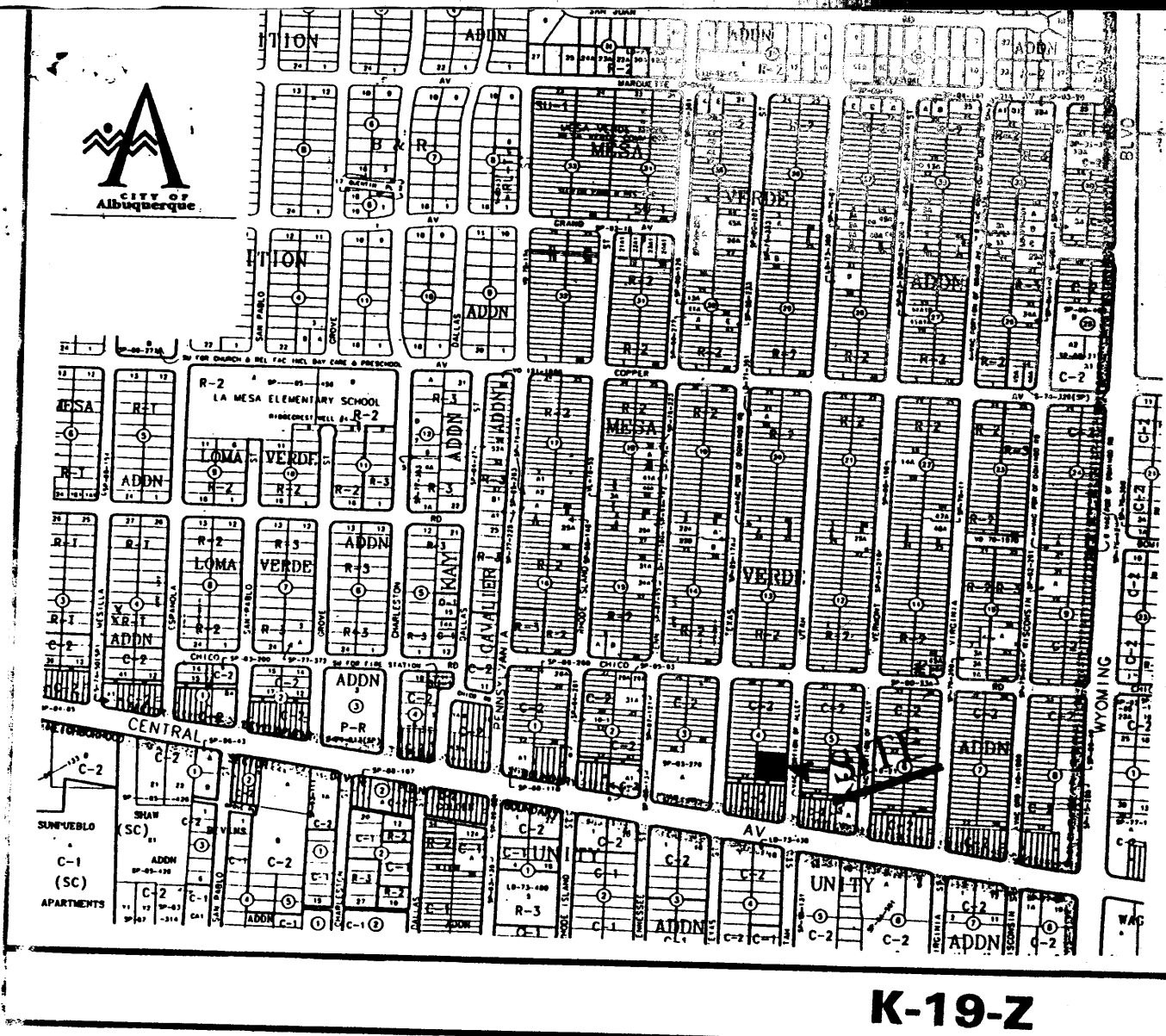
Q_P = 2.29 CFS ***** DECREASE = 0.02 CFS

(ENGINEER'S CERTIFICATION) K-19/D131



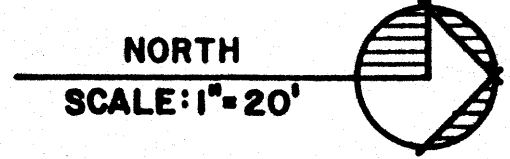
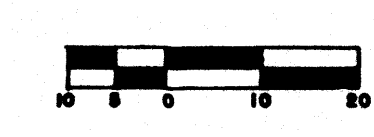
A PROPOSED DRAINAGE PLAN
FOR A BUILDING ADDITION TO
CENTRAL TRAILER SUPPLY, INC. FACILITIES
(UTAH STREET, N. E.)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2004

(CERTIFICATION: 01-07-05)
01-10-05



LANDSCAPE NOTES :

- LANDSCAPING SHALL BE PER "PLANTING RESTRICTIONS APPROACH".
MEDIUM AND LOW WATER USE TREES/PLANTS 80% (MINIMUM) OF LANDSCAPED AREA.
WATER REQUIREMENTS : (H) = HIGH, (M) = MEDIUM, (L) = LOW, NOTED ON SCHEDULE IS PER ALBUQUERQUE PLANT LIST.
- GENERAL:
LANDSCAPED AREAS : SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC.
EXCAVATE TO NATURAL SUBSOIL LEVEL.
FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS, (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
- TREES : SHALL BE 2" O CALIPER (MINIMUM) AT 2' ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
- PLANTS / SHRUBS : SHALL BE 5 GALLON (MINIMUM).
- GROUND COVER : SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM).
SOD, PLANTINGS, SHREDDED BARK, RIVER-RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.

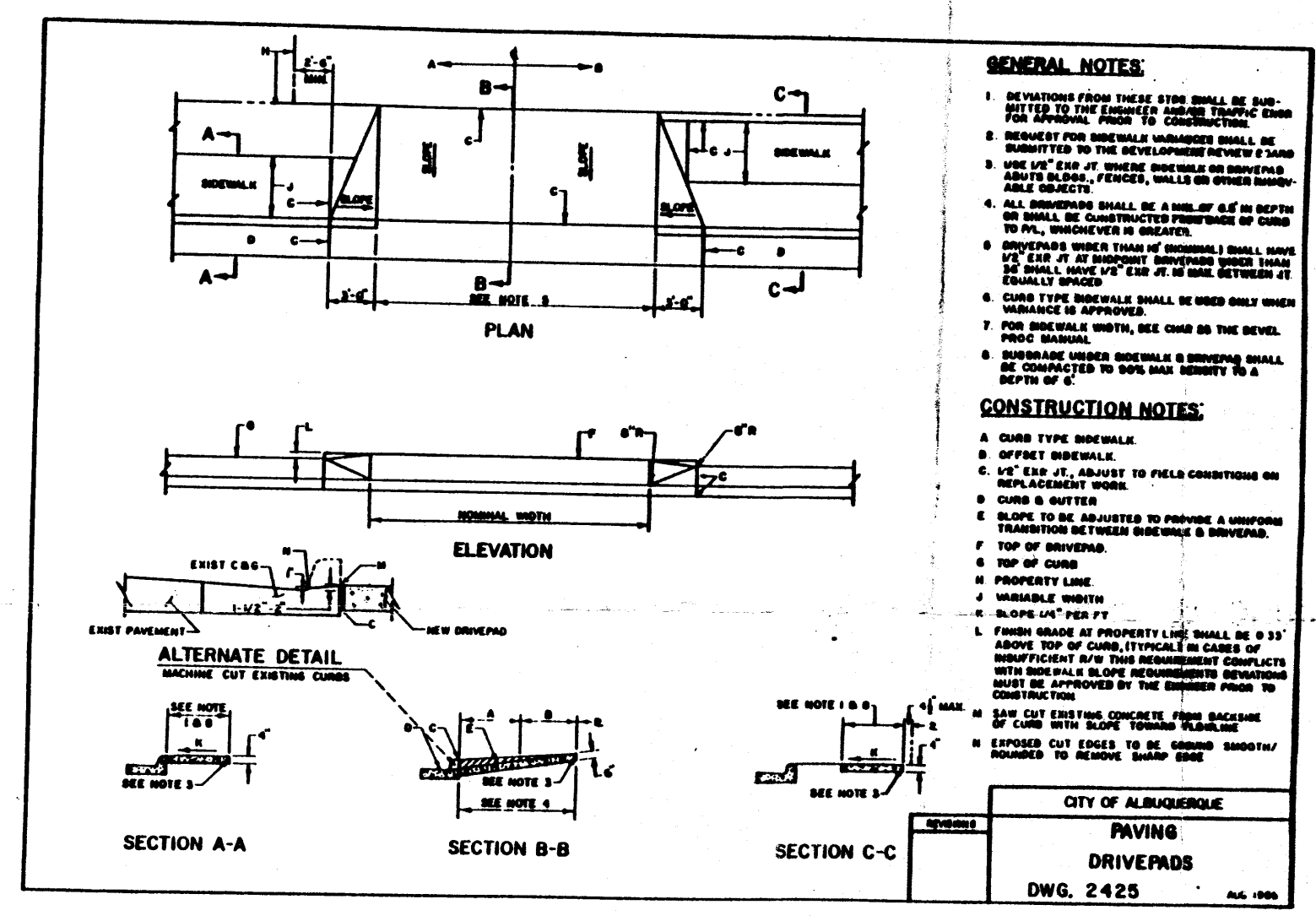


NOTE: OWNER SHALL MAINTAIN LANDSCAPING.

NOTE: LANDSCAPING PLAN SHALL BE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, POLLUTION, AND WASTE WATER ORDINANCE.

- LEGEND:**
- ARIZONA ASH = [Symbol]
 - ARTEMISIA CANA (YUPEE SAGE) = [Symbol]
 - YUCCA PENDULA = [Symbol]
 - PURPLE ICE PLANT = [Symbol]
 - * GRAVEL MULCH (3/4" DASH FE-BROWN)
 - GROUND COVER
- IRRIGATION : HAND HELD HOSE & WATER BUS

RECEIVED
JAN 10 2005
HYDROLOGY SECTION



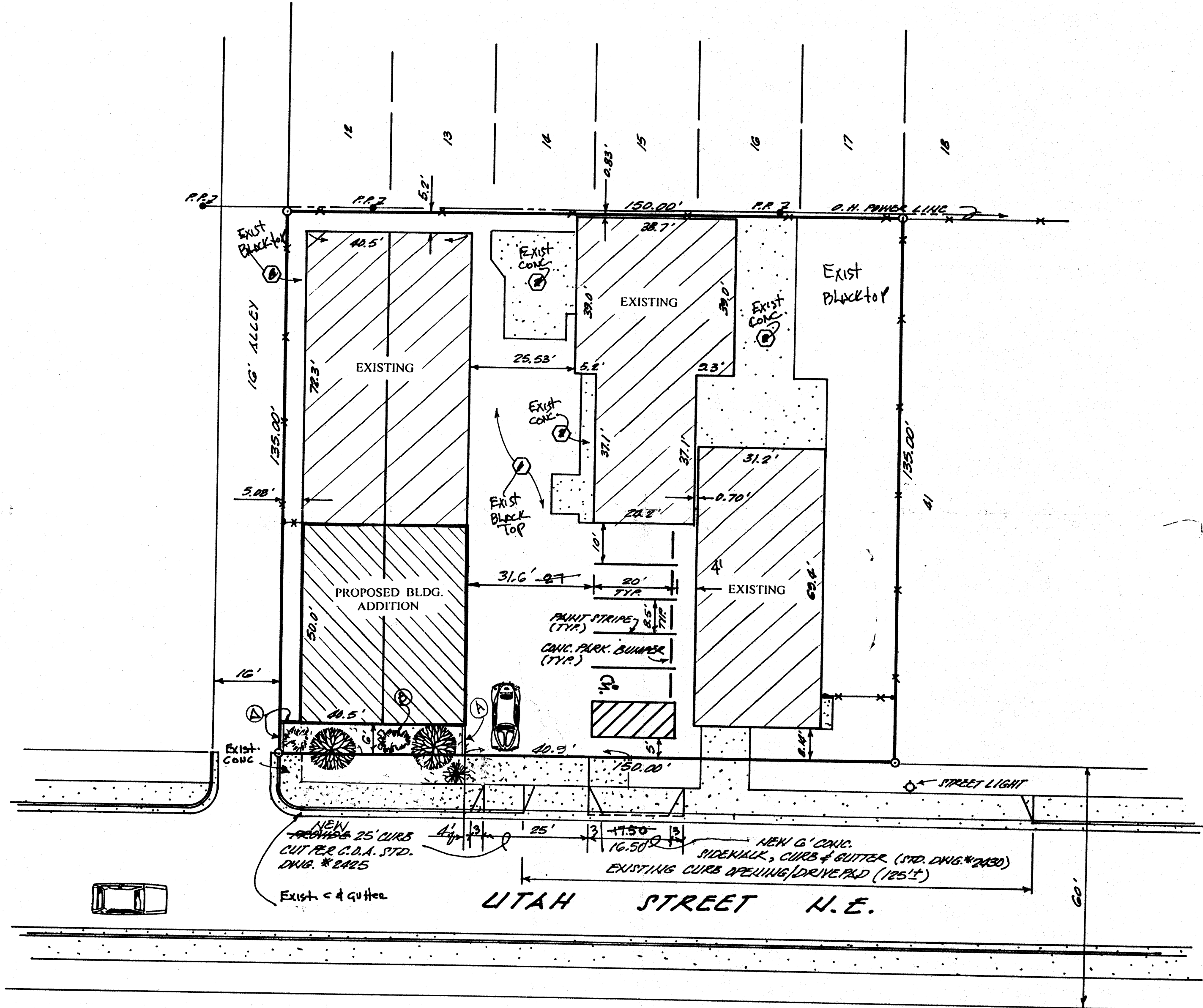
GENERAL NOTES:

- DEVIATIONS FROM THESE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
- REVIEW FOR REVISIONS: REVISIONS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
- USE OF "X" FOR REVISIONS: REVISIONS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
- ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
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CONSTRUCTION NOTES:

- CURB TYPE: SIDEWALK.
- OFFSET: SIDEWALK.
- USE OF "X" FOR REVISIONS: REVISIONS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
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CITY OF ALBUQUERQUE
PAVING
DRIVEPADS
DWG. 2425



- SITE DATA:**
- PROPOSED USAGE: WAREHOUSE
 - ZONING: "C-2"
 - LOT AREA: 0.46 ACRE
 - BUILDING AREA: 3,500.0 SQ. FT. (TOTAL)
 - PROPOSED LANDSCAPE AREA: 380.0 SQ. FT.
 - REQUIRED LANDSCAPE AREA: 380.0 SQ. FT.
 - PARKING PROVIDED: 9 SPACES (INCLUDING / H.C. VAN ACCESSIBLE)
 - PARKING REQUIRED: 5 SPACES (INCLUDING / H.C. VAN ACCESSIBLE)
- PROVIDE NEW 6' CONC S.W. PER COA
 - PROVIDE NEW 25' CONC CURB CUT & DRIVE PAD & C&G PER COA
 - PROVIDE CONC HEADEN CURB
 - REMOVE EXISTING DSR HOLT FOR LANDSCAPE AREA

LEGAL DESCRIPTION:

LOTS NUMBERED FORTY-TWO (42) THROUGH FORTY-SEVEN (47), IN BLOCK FOUR (4), MESA VERDE ADDITION, ALBUQUERQUE, NEW MEXICO.

- NOTICE TO CONTRACTOR:**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
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 - BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- APPROVALS** NAME DATE
HYDROLOGY INSPECTOR
- NOTE:** ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature]
Signed Date 10/12/04

ENGINEER'S SEAL
LEVI J. VALDEZ
NEW MEXICO
5693
08-23-04

TRAFFIC CIRCULATION LAYOUT
FOR A BUILDING ADDITION TO
CENTRAL TRAILER SUPPLY, INC. FACILITIES
(UTAH STREET, N. E.)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2004

RECEIVED
JAN 04 2005
HYDROLOGY SECTION