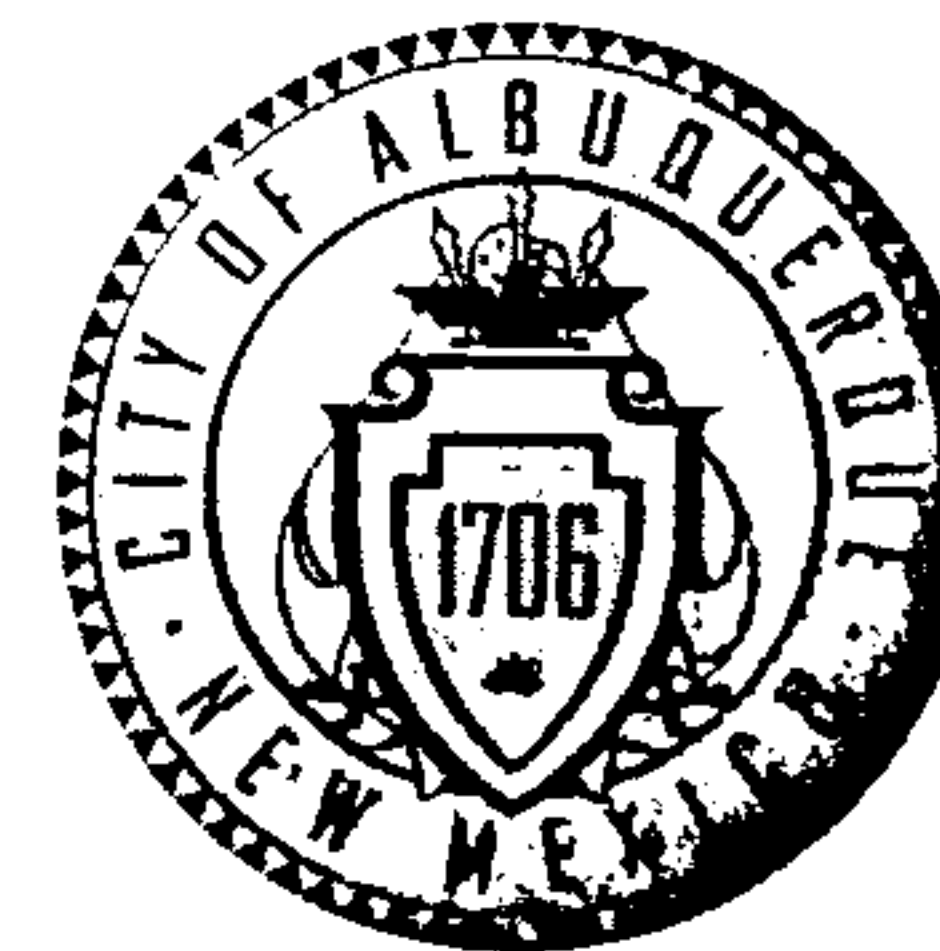


CITY OF ALBUQUERQUE



November 15, 2010

Mario Madrid, PE
Madrid Engineering LLC
P. O. Box 109
Santa Cruz, New Mexico 87567

Re: Dependable Auto Sales Grading Plan Certification
Engineer Stamp date 11-11-10, (K19/D136)

Dear Mr. Madrid,

Based on information provided in your submittal dated 11-11-10, the above referenced plan has the minimum material to qualify for acceptance of a Certification and the project will be issued a Permanent Certificate of Occupancy. In the future, please certify the approved plan by placing the as-built grades on it; that is the City's procedure and one that all Engineers in this community are doing. I understand that you are relatively new to the Professional Engineering ranks but your latest submittal does not portray a very good picture of what was built. It made me spend more time on this project than it should have. This will not be acceptable on future projects.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

MARIO MADRID ENGINEER

- USED CAR

- Dependable Auto

SALES -

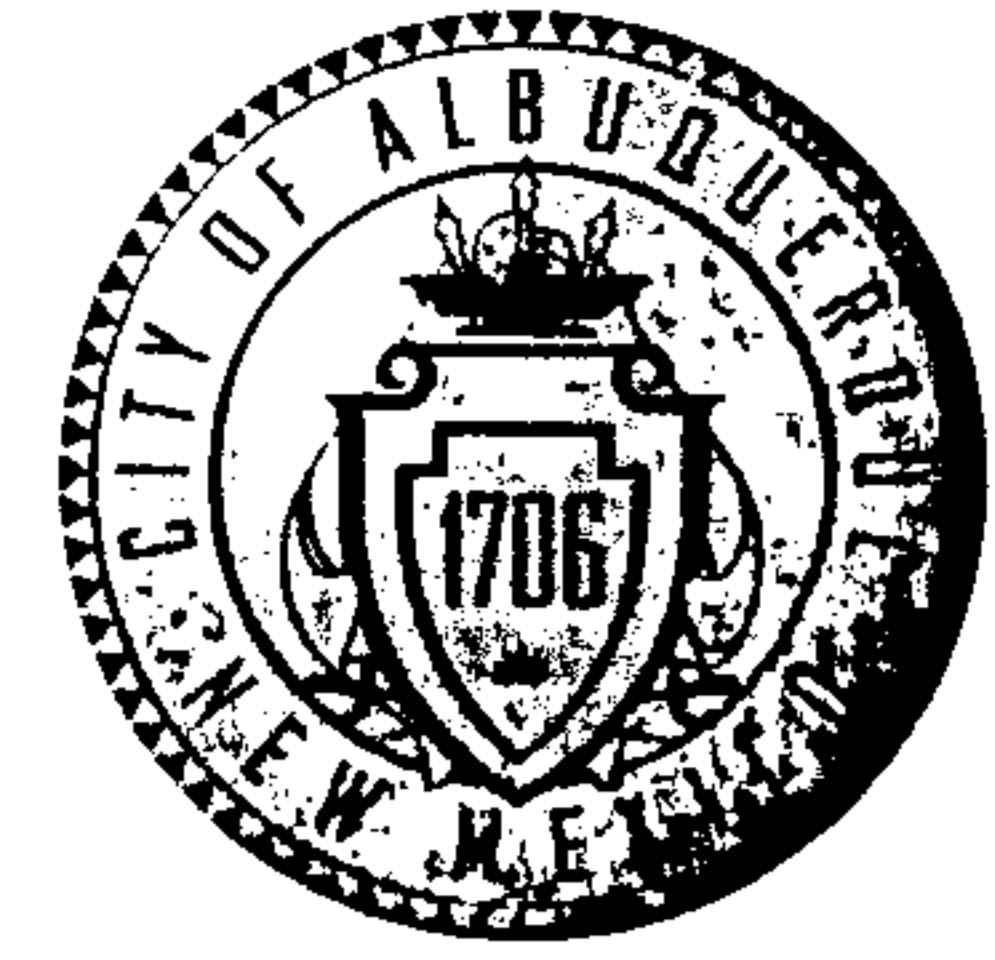
CENTRAL & PENNSYLVANIA

F - 505 753 0110

T - 505 859 - 2129

K-19/7130

CITY OF ALBUQUERQUE



July 8, 2010

Mario Madrid, PE
Madrid Engineering LLC
P. O. Box 109
Santa Cruz, New Mexico 87567

Re: Dependable Auto Sales Grading and Drainage Plan
Engineer Stamp date 4-27-07, restamped 6/1/10 (K19/D136)

Dear Mr. Madrid,

Based on information provided in your submittal dated 6-4-10, the above referenced plan is still approved for Building Permit since there has been no changes to the surrounding properties or drainage infrastructure. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept
Development and Building Services

C: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



Re-issue
Plan DATED
2-19-08 & 6-1-10
Turn in Revised Plans
or insert Approved Plans.

May 1, 2007

Mario Madrid, PE
Madrid Engineering LLC
2081 Valley View Dr. SW
Albuquerque, NM 87031

Re: Dependable Auto Sales Grading and Drainage Plan
Engineer Stamp date 4-27-07 (K19/D136)

Dear Mr. Madrid,

P.O. Box 1293

Based on information provided in your submittal dated 4-30-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

New Mexico 87103

If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE

Principal Engineer, Planning Dept

Development and Building Services

C: file

Post-it® Fax Note	7671	Date	2/8/08	# of pages	1
To	MARIO	From	TIM SIMS		
Co./Dept.		Co.	K-19/D136		
Phone #	505-753-0110	Phone #	505-924-3982		
Fax #	505-859-2929	Fax #			

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Dependable Auto Sales ZONE MAP/DRG. FILE # K-19 / D134
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
 CITY ADDRESS: 1900 Central Ave SE

ENGINEERING FIRM: Madrid Engineering, LLC CONTACT: Mario Madrid
 ADDRESS: 2081 Valley View Dr. SW PHONE: 859-2929
 CITY, STATE: Los Lunas, NM 87031 ZIP CODE: 87031

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: Gardner Survey CONTACT: Gary Gardner
 ADDRESS: _____ PHONE: _____
 CITY, STATE: Albuquerque, NM ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Mario Madrid  DATE: Apr 1 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

OK PER BZHD
4-30-07

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME _____

AGENT _____

ADDRESS _____

PROJECT & APP # _____

PROJECT NAME _____

\$ _____ 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan (☒) Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

Counterreceipt.doc 6/21/04

4/30/2007 4:24PM LOC: ANNA
RECEIPT# 00075695 USH 006 TRANSH 0045
Account 441006 Fund 0110
Activity 4983000 TP3CCB
Trans Amt \$50.00
J24 Misc \$50.00
CA \$50.00
CHANGE \$0.00

Thank You

HYDROLOGY CERTIFICATION – BUILDING PERMIT SETS

Single-family dwellings

- ☐ Check to verify the lot is not in a flood zone
Note: Elegante at El Rancho – aka El Rancho Grande Units 6,7,8
If non-habitable and in the flood zone, it's okay (no basement)
- ☐ Check to see if lot is in approved subdivision (drainage plan data, coagis)
If not, check that what flood plain it's in; fill out section

Commercial Submittals

Hydrology

- ☐ Verify grading & drainage plan has been approved; make sure this plan is in the current plan set (check date of PE stamp from approved G&D plan, compare this with submitted plan set)
Need to find the zone page and block #

Transportation

Check TCL

- ☐ Verify if TCL is required (is required if any changes have been made to the transportation infrastructure)
- ☐ Has TCL been approved? If not, disapprove with:
Pending approval of TCL
- ☐ If TCL has been approved, make sure this plan is in the current plan set (check date of PE stamp from approved transportation plan, compare this with submitted plan set)

OR

Check for a DRB approved site plan

- ☐ Look for site plan; there will be a section entitled SITE DEVELOPMENT PLAN APPROVAL
- ☐ Verify there is a valid transportation signature

Foundation Only (No transportation Approval required)

- ☐ Same as for regular set, but don't need to check the boxes under SITE DEVELOPMENT PLAN APPROVAL
- ☐ Note: do not need an approved TCL or DRB site plan for foundation only

Approval Required Prior to Issuance of Certificate

- ☐ Check hydrology and transportation development, initial in column

Check Lists

Building Permits

A. Residential

1. If approved subdivision – Stamp
2. If not in flood zone on GIS – Stamp
3. If in flood zone compare with revised maps at front counter
 1. Flood zone removed – Stamp
 2. Flood zone exists – Report flood zone and check appropriate box and sign on disapproved line (look to see if it is residential or detached garage)
4. If preliminary plan – Reject with signature on disapproved line

B. Re-Issues

1. If preliminary plan – Reject
2. Otherwise approve - Stamp

C. Commercial

1. If interior/exterior remodel – N/A – Approve with signature (no C.O. required)
2. If under 500 square ft. addition – N/A – Approve with signature (no C.O. required)
3. If a canopy or roof addition under 1000 square ft. – N/A – Approve with signature (no C.O. required)
4. All others search access files, computer GIS, and black log-in books for correct file number
 1. Look under zone atlas page for address, lot description, or project name
 2. *If it does not exist* on file – Reject, checking the top two boxes and signature on disapproved; a submittal must be made.
 3. *If it does exist:* Look to see if it has been approved for Building Permit (BP)

Option 1

Approved by Engineer

1. Check the letter in the file for the correct stamp date and make sure those plans are in the BP set.

Option 2

Disapproved by Engineer

- Sign disapproved, sign C.O. and write 'Need to resubmit plans to Hydrology'

Option 3

Pending Approval of Engineer

- Sign disapproved, sign C.O. and check the fourth box

Sign approved, sign C.O.

2. If plans are not in the BP set:

Sign disapproved, sign C.O. and check the third box.

D. Commercial – Foundation Only

1. Same as commercial except on 4.3 (above) – Look for approval of Building Permit (BP) or SDBP.