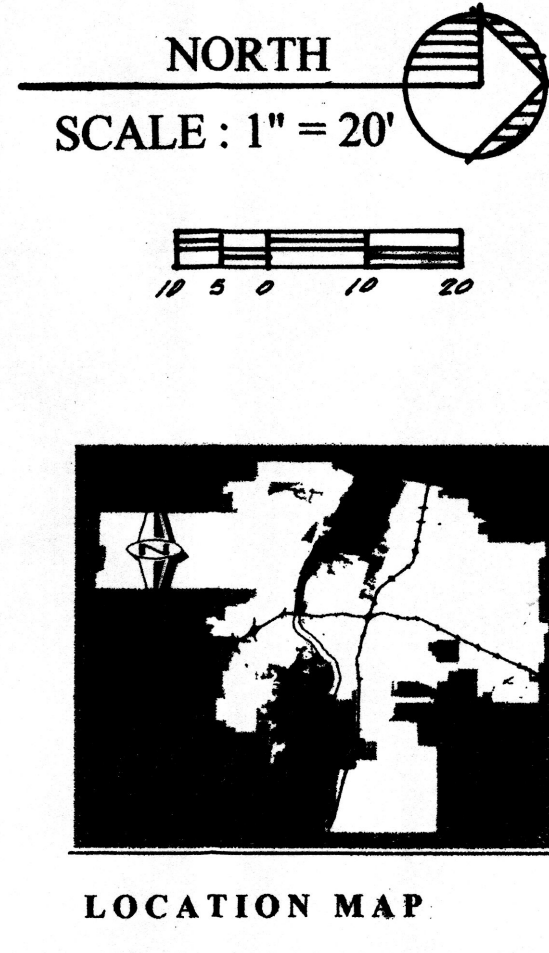


VICINITY MAP



LOCATION MAP

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

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- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = 78.5376.25
CURB FLOWLINE ELEVATION = 78.5376.20
EXISTING SPOT ELEVATION = 78.5376.10
EXISTING CONTOUR ELEVATION = 78.5376.50
PROPOSED SPOT ELEVATION = 78.7725
PROPOSED CONTOUR ELEVATION = 78.78.00
PROPOSED OR EXISTING CONCRETE SURFACE =
EXISTING FENCE LINE =
A - PROPOSED LANDSCAPE AREA
B - PROPOSED STAND-UP CONC. CURBING

GENERAL NOTES:

- 1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

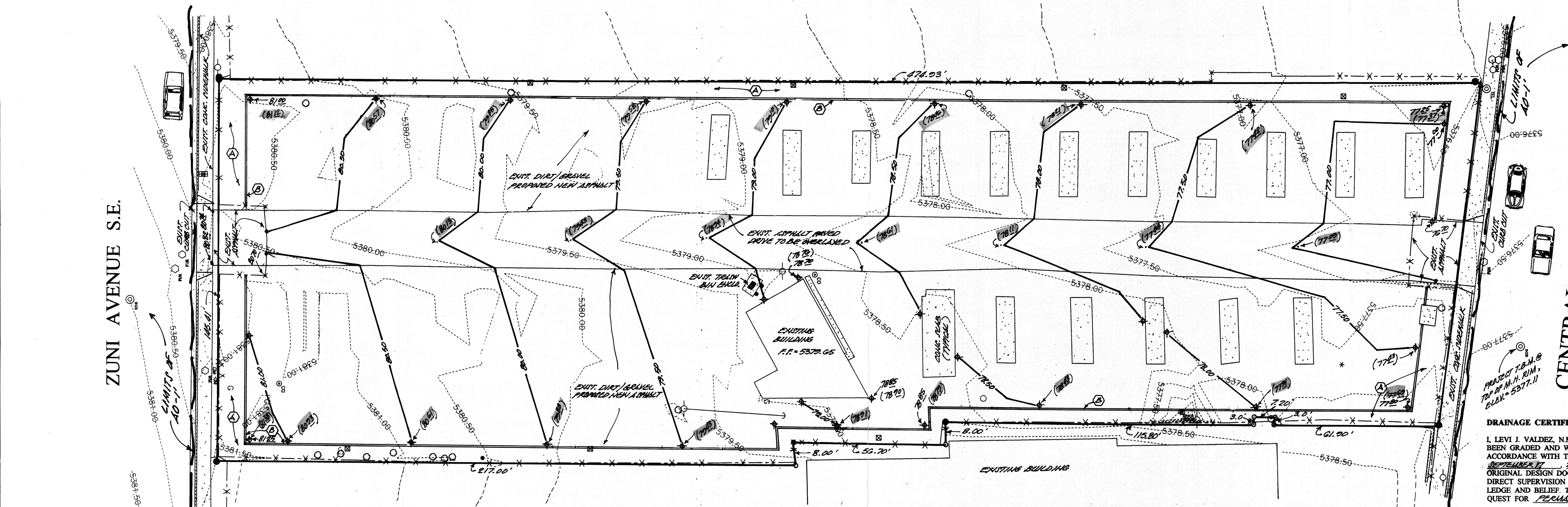
TABLE A-1. PRECIPITATION ZONES	
ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-2. PEAK INTENSITY (INCHES AT 1-HOUR)	
Zone	Intensity 100-YR (2-YR, 10-YR)
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.72 (2.34, 3.83)

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Upriver parking, roads, walls. Most vacant lots. Gravel or rock on plastic (sheet landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

TABLE A-5. PEAK DISCHARGE (cfs/acre)	
Zone	Treatment 100-YR (2-YR, 10-YR)
1	A 1.29 (0.00, 0.24) B 2.03 (0.33, 0.76) C 2.87 (0.47, 1.49) D 4.37 (1.69, 2.89)
2	A 1.56 (0.00, 0.38) B 2.28 (0.08, 0.95) C 3.14 (0.60, 1.71) D 4.70 (1.86, 3.14)
3	A 1.87 (0.00, 0.58) B 2.60 (0.21, 1.19) C 3.45 (0.78, 2.009) D 5.02 (2.04, 3.39)
4	A 2.20 (0.05, 0.87) B 2.92 (0.38, 1.45) C 3.75 (1.00, 2.26) D 5.25 (2.17, 3.57)



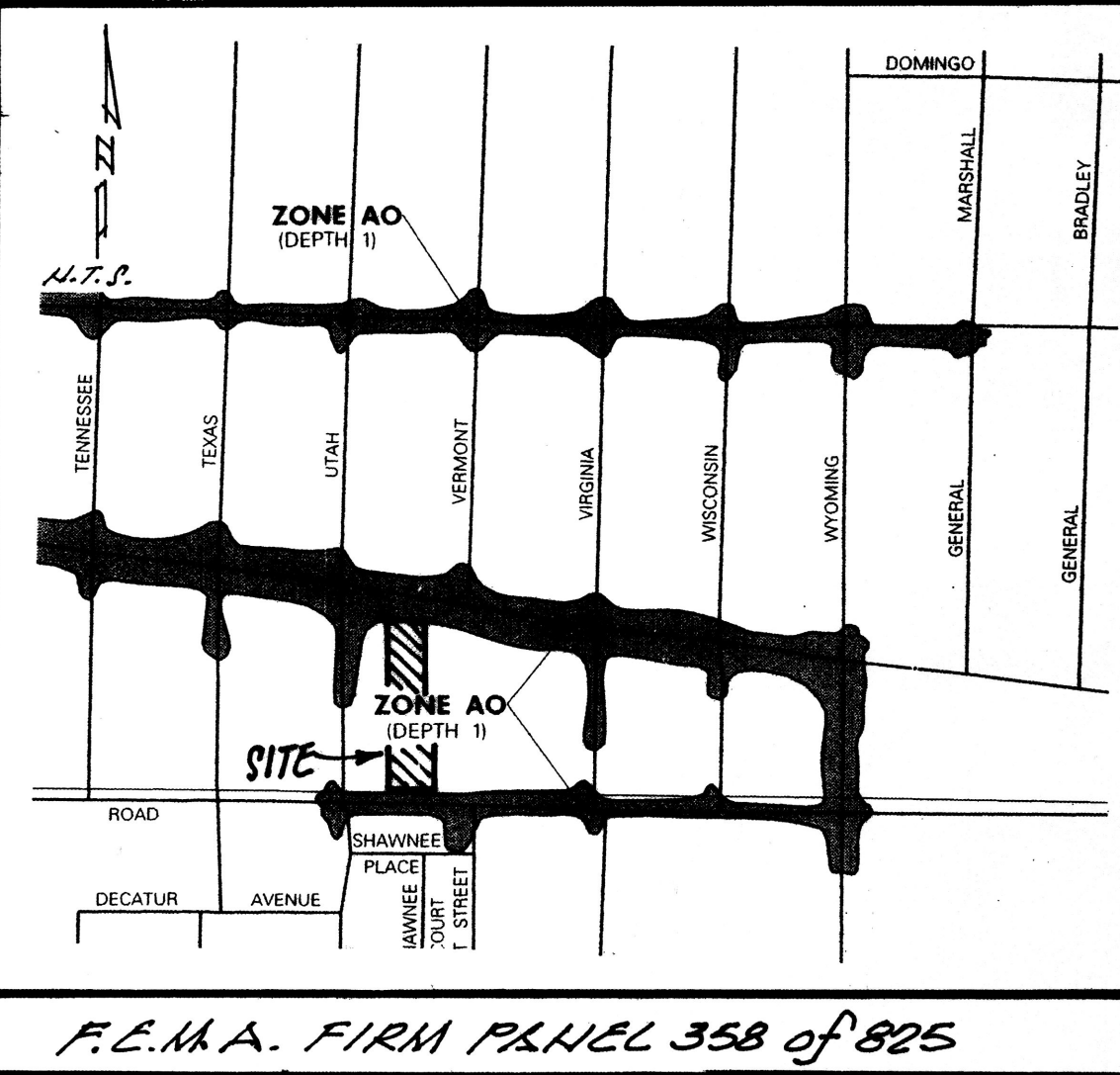
DRAINAGE CERTIFICATION:

I, LEVI J. VALDEZ, N.M.P.E. NO. 5693, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED SEPTEMBER 17, 2007. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSES.

LEVI J. VALDEZ, N.M.P.E. NO. 5693
10-31-07
DATE

NOTE: "AS-BUILT" ELEVATIONS SHOWN THIS (772).



F.E.M.A. FIRM PLAN 358 of 825

Drainage Comments:

As shown on the Vicinity Map hereon, the subject site is located on East Central Avenue S.E. between Utah Street S.E. and Virginia Street S.E., in the City of Albuquerque, Bernalillo County, New Mexico.

The subject site, 1.) lies adjacent to an AO - 1' depth floodplain that is within the adjacent street right-of-ways, 2.) does not contribute to the offsite flows of adjacent properties, 3.) does not accept offsite flows from adjacent properties, 4.) does not and will not have an adverse affect to downstream properties by the free discharge of developed flows, 5.) is not located adjacent to a natural or artificial water course.

Calculations:

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area: 1.48 acres

Precipitation Zone: Three (3)

Peak Intensity: In./Hr. at Tc = Twelve (12) minutes, 100-Yr.-6 Hr. = 5.38

Land Treatment Method for Calculations of "Qp", Tables A-8 & A-9.

"Land Treatment Factors", Table 4-A.

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.06	X	3.45 = 3.66
D	0.42	X	5.02 = 2.11

"Qp" = 5.77 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.22	X	3.45 = 0.76
D	1.26	X	5.02 = 6.33

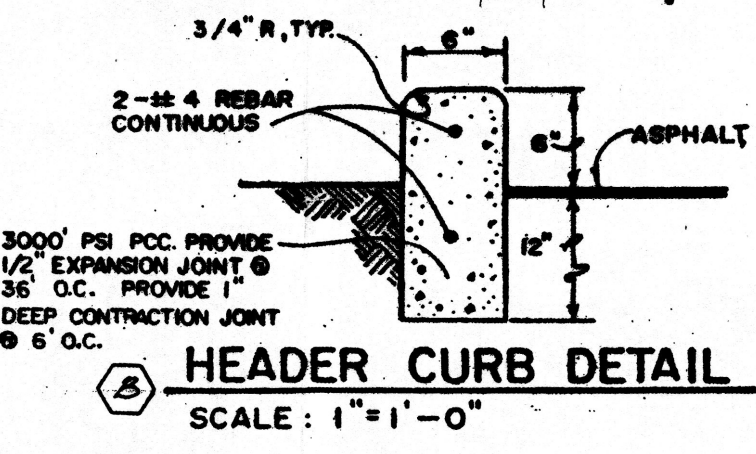
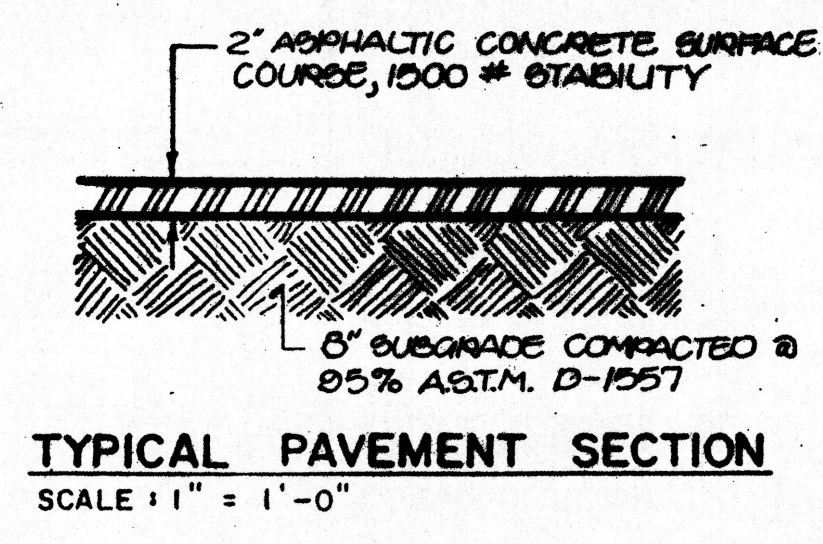
"Qp" = 7.09 CFS *INCREASE = 1.32 CFS

LEGAL DESCRIPTION:

Portion of Lots 9 through 16, Block 5, and Lots 4, 5, & 6, Block 6, Unity Addition, to the City of Albuquerque, New Mexico.

BENCHMARK REFERENCE:

ACS Station 6+74.8, Elevation 5376.25 Project T.B.M. as shown on the plan hereon.

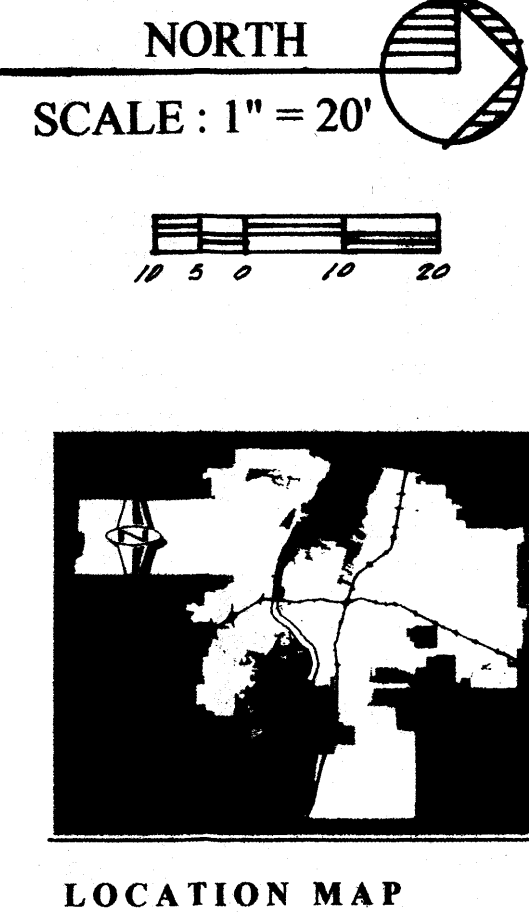
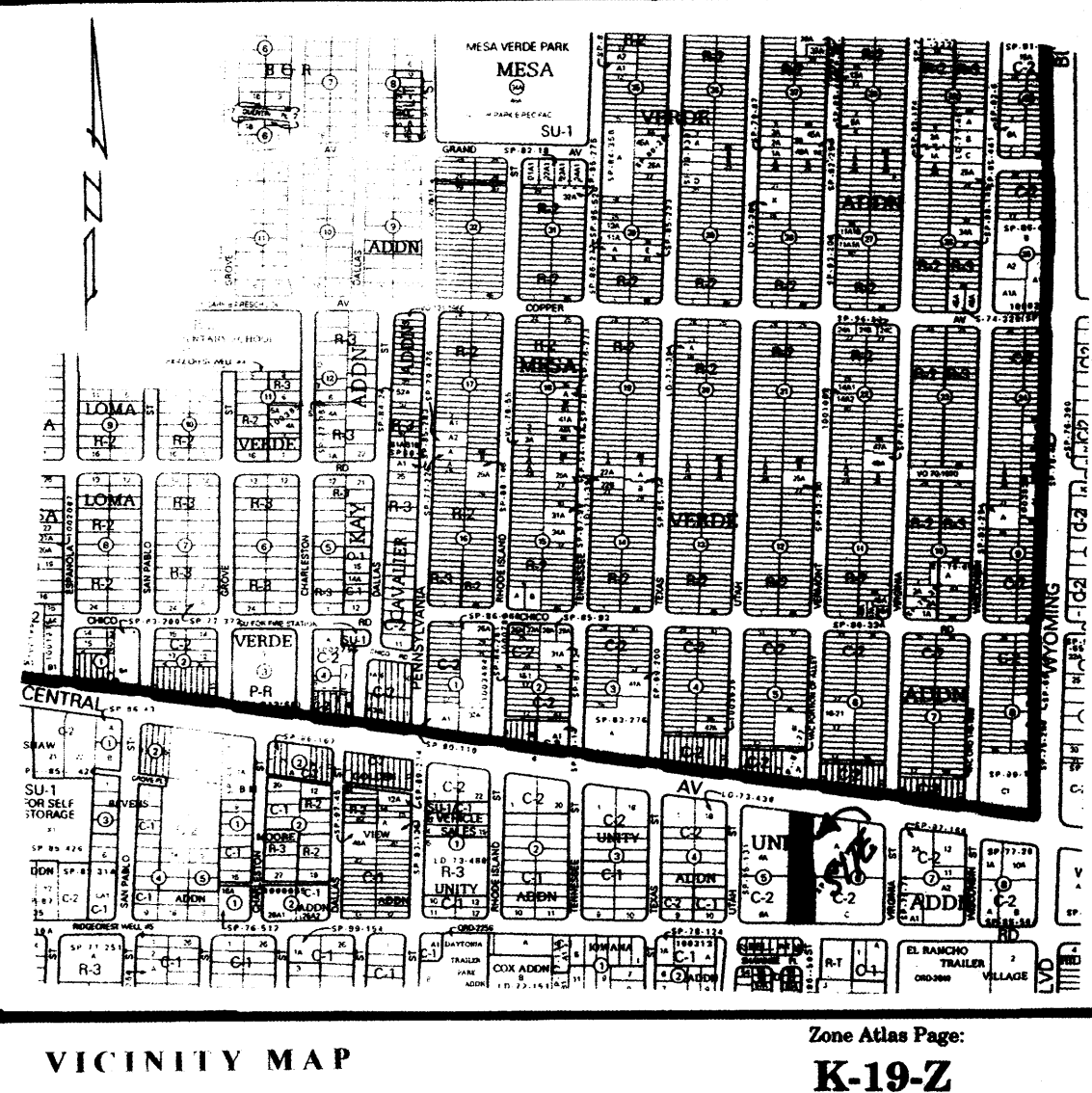


LEVI J. VALDEZ
N.M.P.E. NO. 5693
10-31-07
ENGINEER'S SEAL

PAVING PLAN

A PROPOSED PLAN
FOR
8404 CENTRAL AVENUE S.E.
ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 2007

RECEIVED
NOV 01 2007
HYDROLOGY SECTION



EROSION CONTROL MEASURES:

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LEGEND:

TOP OF CURB ELEVATION = $70' - 5376.25$
 CURB FLOWLINE ELEVATION = $72' - 5376.20$
 EXISTING SPOT ELEVATION = $72' - 5376.10$
 EXISTING CONTOUR ELEVATION = $72' - 5376.50$
 PROPOSED SPOT ELEVATION = $72' - 77.55$
 PROPOSED CONTOUR ELEVATION = 72.00
 PROPOSED OR EXISTING CONCRETE SURFACE = 72.00
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 (A) PROPOSED LANDSCAPE AREA
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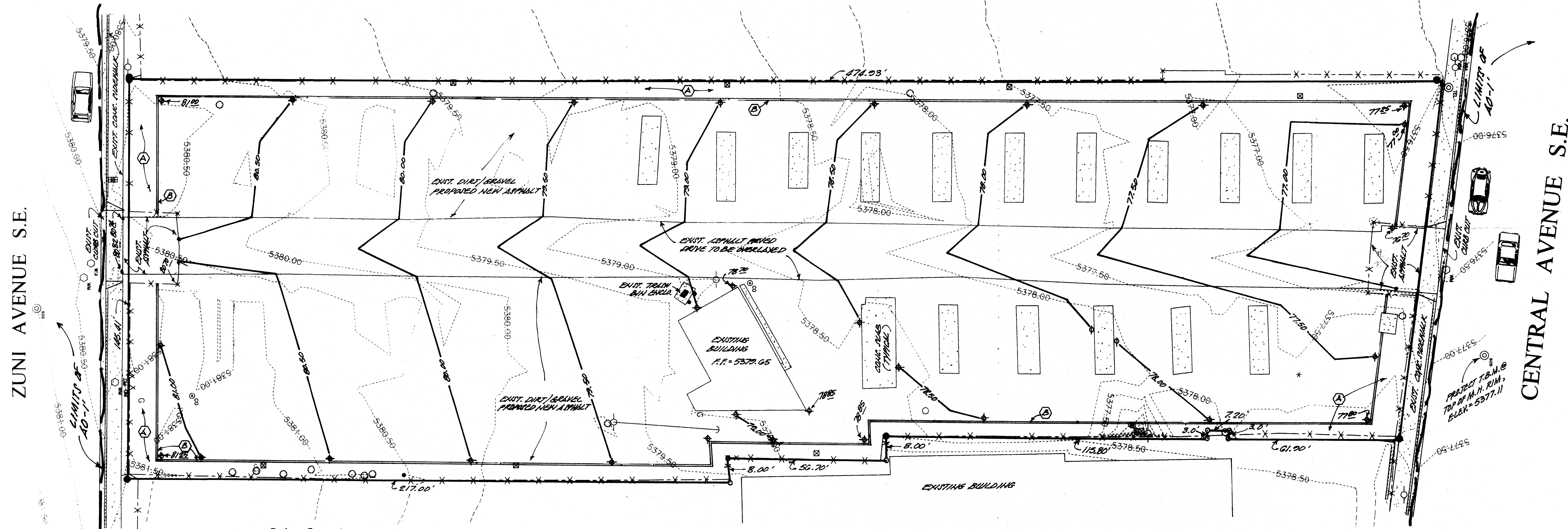
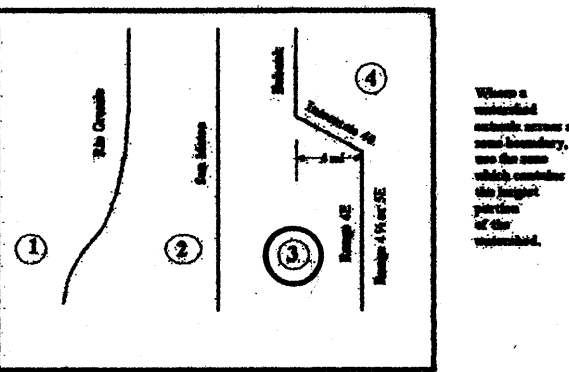
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Treatment	Land Condition
A	Soil unaccompanied by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cephala. Unlined Arroyos.
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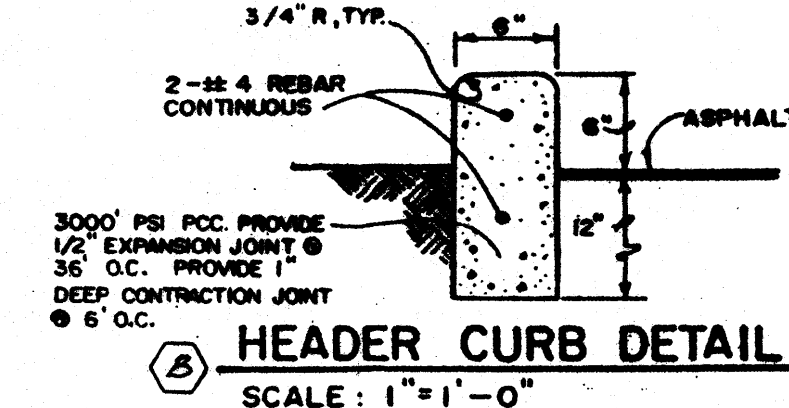
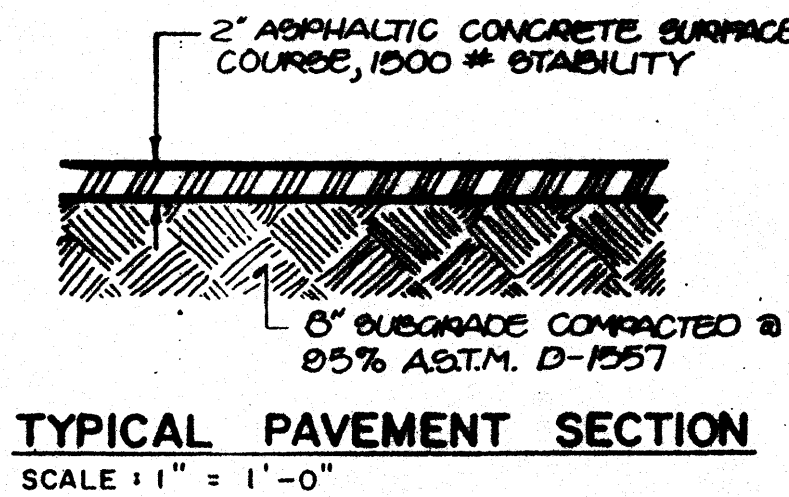
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PAVING PLAN

A PROPOSED PLAN FOR
 8404 CENTRAL AVENUE S.E.
 ALBUQUERQUE, NEW MEXICO
 SEPTEMBER, 2007

