

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

January 2, 2020

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: Bernalillo County THV  
Grading and Drainage Plan  
Engineer's Stamp Date: 12/30/19  
Hydrology File: K19D138**

Dear Ms. McDowell:

PO Box 1293

Based upon the information provided in your submittal received 12/30/2019, the Grading and Drainage Plan is approved for Building Permit, Grading Permit and SO-19 Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

Also as a reminder, please provide a Drainage Covenant for the proposed stormwater quality ponds per Chapter 17 of the DPM prior to Permanent Release of Occupancy. Please submit this on the 4th floor of Plaza de Sol. A \$25 fee will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

October 30, 2019

## RESPONSE TO COMMENTS

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: Bernalillo County THV  
Grading and Drainage Plan  
Engineer's Stamp Date: 08/05/19  
Hydrology File: K19D138**

Dear Ms. McDowell:

PO Box 1293

Based upon the information provided in your submittal received 10/23/2019, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

NM 87103

www.cabq.gov

1. First off, this site is currently being replatted into two tracts. Tract 5-A (the subject THV) and Tract 12-A (the existing Albuquerque Indian Center). See attached Preliminary Plat. Please show these two new tracts. **OK**
2. Please shade back all existing items. Also please just show the existing building outline on Tract 12-A. **OK**
3. As you can see on the Preliminary Plat, there is a Right-of-Way dedicated to the City of Albuquerque. A portion of stormwater quality pond is within this new Right-of-Way. Please correct. **OK**
4. Since the site is being replatted into two tracts, please correct the Existing Conditions. Please note that Tract 12-A (the existing Albuquerque Indian Center) drains to the east and onto Texas. Tract 5-A (the subject THV) does drain to the west towards Tennessee. **OK**
5. Please correct the address for this project. 105 Texas is for the existing Albuquerque Indian Center.  
**New address for THV has been added and AIC existing address has been shown**
6. Please update the drainage calculations. These should be just for Tract 5-A. **OK**
7. Please clean up all the overlapping text. It is very hard to read.  
**OK - did the best we could as to not impact the necessary information.**

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

8. Talking to the Transportation Section, all three existing driveways on Tennessee need to be closed off and removed. Please add a note stating that the driveways will be removed and a proposed sidewalk and curb & gutter will be added to match existing grades. **OK**
9. Please add two spillways for the stormwater quality ponds via sidewalk culverts at the elevation of the required stormwater quality volume. One for the northwest pond and one for the southwest pond. These should be right where two existing driveways are being removed. Also please label the inverts both at the pond and at the gutter. **OK**
10. Please add a note install sidewalk culverts per CoA drawing 2236. **OK**
11. Please add the attached SO-19 notes for the two sidewalk culverts. **OK**
12. Please provide the weir calculations, per DPM Chapter 22.3.A.1, for the sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ . **OK**
13. Please label both stormwater quality ponds with the provided volume and elevation. Please note that the table for the stormwater quality calculations should show a list of the three ponds with the provided volumes with a total provided volume.  
**there is one pond which merges together - labels and volume shown**
14. For Section A-A. Please add the location of the property line and label each side of this line with an arrow and either Tennessee R.O.W. or Tract 5-A. **OK**
15. Standard review fee of \$150 will be required at the time of resubmittal. **OK**

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance. **OK**

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

# Notes

1. FIELD SURVEY PERFORMED IN APRIL 2019.
2. ALL DISTANCES ARE GROUND DISTANCES. U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS . . . . .

# Easement Notes

1. INTENTIONALLY OMITTED
2. EXISTING 5' PNM & US WEST EASEMENT (4/10/1997, BK. 95-9, PG. 8594, DOC. NO. 97035960)
3. EXISTING 5' PNM EASEMENT (8/11/2004, BK. A-82, PG. 3517, DOC. NO. 2004113810)

# Sketch Plat for Lot 5-A and 12-A, Block 3 Unity Addition Being Comprised of Lots 5 thru 14, Block 3 Unity Addition City of Albuquerque Bernalillo County, New Mexico August 2019

## Legal Description

LOTS NUMBERED FIVE THROUGH FOURTEEN (5-14), BLOCK NUMBERED THREE (3), OF UNITY ADDITION, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 28, 1926 IN BOOK B, PAGE 36.

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	39.25'	25.00'	89°57'32"	35.34'	N 44°30'20" W
C2	39.34'	25.00'	90°09'11"	35.40'	S 45°26'18" W

Line #	Direction	Length (ft)
L1	N 89°29'06" W	24.98'
L2	N 00°28'25" E	24.98'
L3	S 00°21'43" W	25.07'
L4	N 89°29'06" W	25.07'

THE PURPOSE OF  
THIS PLAT IS TO  
SUBDIVIDE EXISTING  
LOTS INTO TWO  
NEW LOTS AND  
DEDICATE  
RIGHT-OF-WAY.



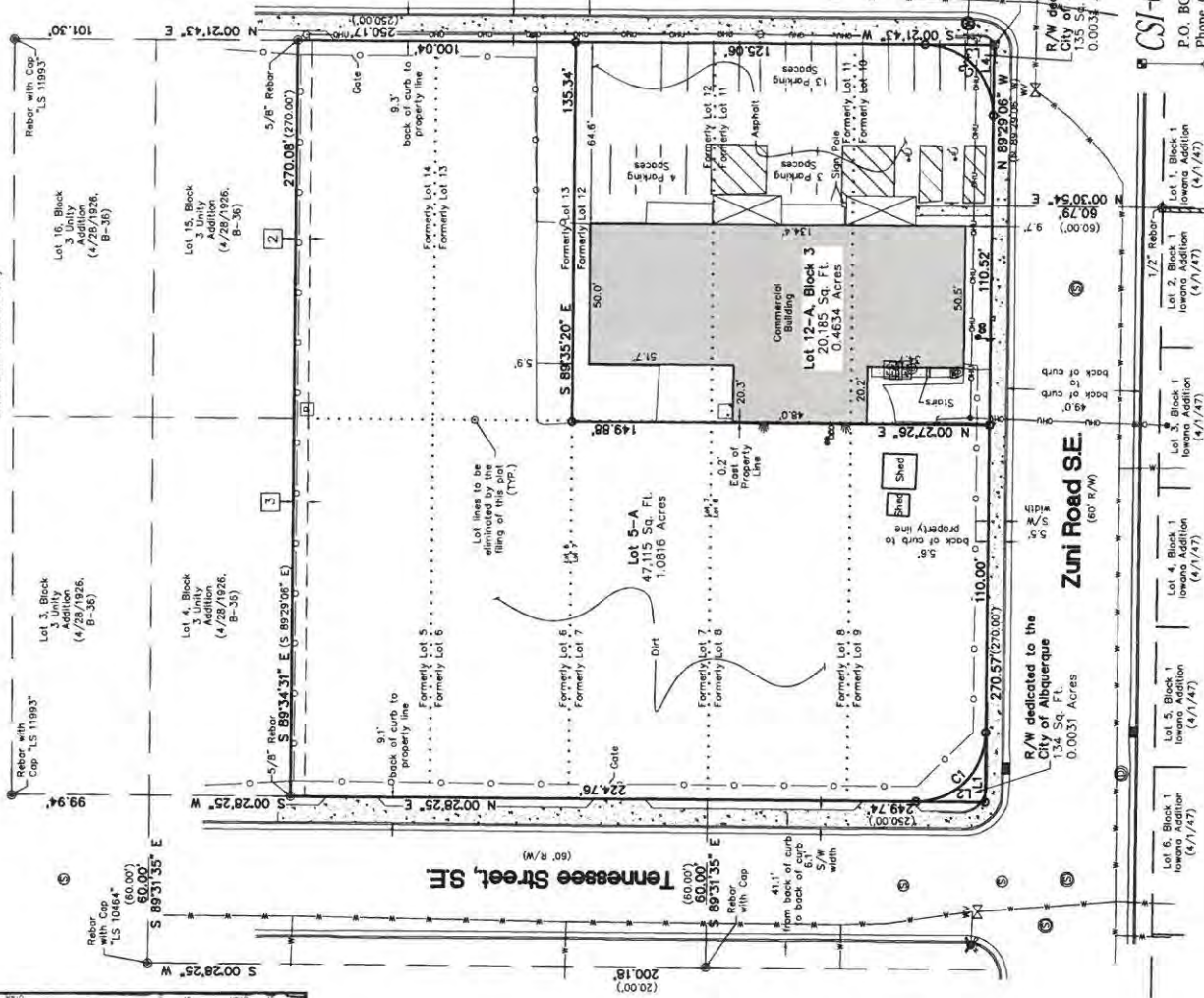
Vicinity Map - Zone Atlas K-19-Z

## Legend

MEASURED BEARINGS AND DISTANCES (N 90°00'00" E (N 90°00'00" E))	FOUND MONUMENT AS INDICATED	SET CORNER X UNLESS OTHERWISE NOTED	COVERED AREA	CONCRETE	UTILITY FEDESTAL	CHAINLINK FENCE	BOLLARD	OVERHEAD UTILITY LINE	UTILITY POLE	ANCHOR	PULL BOX	LIGHT POLE	GAS METER	WATER VALVE	WATER METER	FIRE HYDRANT	ROOF DRAIN	SANITARY SINKER MANHOLE	SAS CLEANOUT	STORM DRAIN MANHOLE	STORM DRAIN INLET	SIGN	UNDERGROUND WATER UTILITY LINE
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## Indexing Information

Section 19, Township 10 North, Range 4 East, N.M.P.M.  
Subdivision: Unity Addition  
Owner: American Indian Center Inc.  
UPC # 0190573520240302 (Lots 10-14)  
UPC # 01905735201040301 (Lot 9)  
UPC # 01905735201440308 (Lot 8)  
UPC # 01905735202040307 (Lot 7)  
UPC # 0190573520240306 (Lot 6)  
UPC # 01905735203040305 (Lot 5)



CSI-CARTESIAN SURVEYS INC.  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244  
vp@cartesian.com

FILE  
JUL 28 2019

**Private Drainage Facilities within City Right-of-Way**

**Notice to Contractor**

(Special Order 19 ~ “SO-19”)

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial “811”** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Augie Armijo at (505) 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

SPILLWAY VIA 1' WIDE  
SIDEWALK CULVERT  
INV. IN=72.00  
INV. OUT=71.80  
(MATCH EXISTING  
GRADE)

INSTALL SIDEWALK  
CULVERT PER COA  
DWG. 2236

SPILLWAY VIA 1' WIDE  
SIDEWALK CULVERT  
INV. IN=73.04  
INV. OUT=72.84  
(MATCH EXISTING  
GRADE)

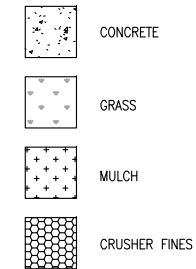
#### GENERAL DRAINAGE PLAN NOTES:

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.

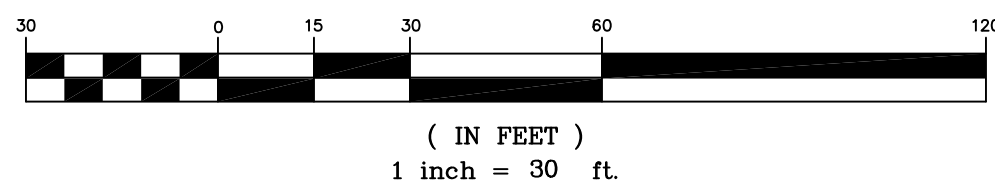
STANDARD GRADING NOTE:  
THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET  
(HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING  
WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEEDDED.

GRADING  
6-9-19  
1=30  
BAK0219L

#### ARCH. LEGEND



#### GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

#### DRAINAGE PLAN

##### SCOPE:

The Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. Several small buildings and one larger building are proposed for the subject property, with associated access, landscaping, and utility improvements along with updates to the existing building and parking lot. The proposed grading shows that a first flush water quality pond will be provided around the perimeter of the westerly, downstream side of the property in accordance with the City of Albuquerque requirements.

##### EXISTING CONDITIONS:

Presently the 1.06 acre site is partially developed. The site is bounded on the north by private property, on the west by Tennessee Street SE, on the south by Zuni Road SE, and on the east by Texas Street SE. Site topography slopes from the southeast to the northwest.

As shown by Floodway Map No. 358H, dated, August 6, 2012, the property is not located in a 100-year flood plain.

##### PROPOSED CONDITIONS:

As shown by the plan, the structures are located throughout the property. On site flows will drain around the structures via swales/slopes and sheet flow, and flow to the west, and north to existing drainage paths. A First Flush Water Quality pond is included to provide the required volume of ponding for the Type D, Impervious, land treatments.

Calculations are shown on the plan.

##### CALCULATIONS:

The calculations shown hereon and define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

##### PROPERTY ADDRESS:

8101 Zuni Road SE

##### TOPOGRAPHY:

Topographic information provided by CSI-Cartesian Surveys Inc. dated May 2019.

Precipitation Zone = 3

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.60 inches

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.00	0.31
Treatment C	1.06	0.00
Treatment D	0.00	0.75
Total (acres) =	1.06	1.06

POND VOLUME PROVIDED:		
ELEV	AREA	VOL
5372	3592	
		1272
5371.5	1496	
		1272
TOTAL		
		CF

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.11	0.17	0.05	0.10	0.02	0.06
Volume (cubic feet) =	4,964	7,460	2,386	4,489	770	2,491

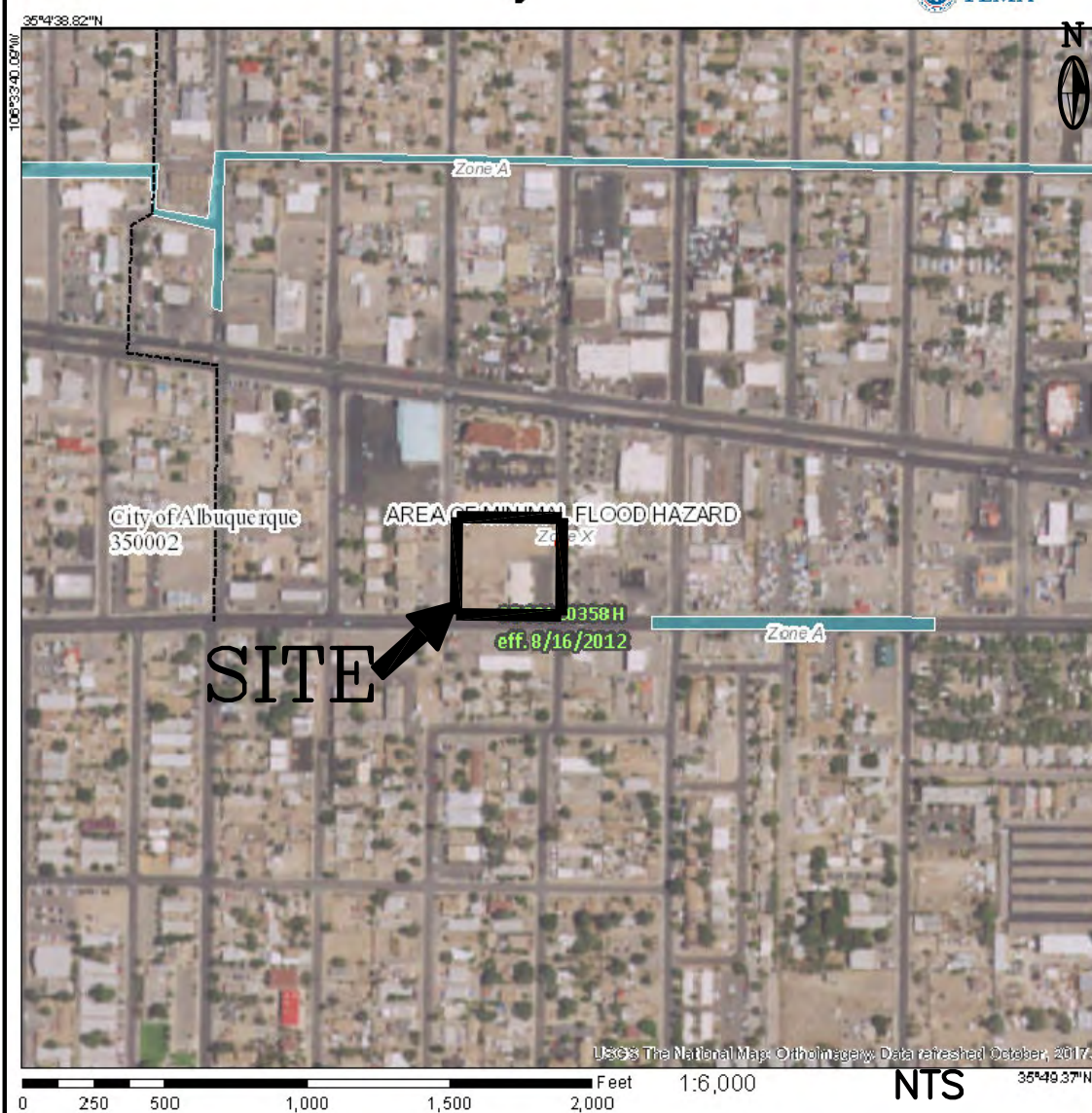
FIRST FLUSH REQUIRED POND VOL = 0.34"/(12"/FT)\*(0.75 AC \* 43560 SF/AC) = 926 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.00	0.81	0.00	0.37	0.00	0.07
Treatment C	3.66	0.00	2.12	0.00	0.83	0.00
Treatment D	0.00	3.77	0.00	2.54	0.00	1.53
Total Q (cfs) =	3.66	4.57	2.12	2.91	0.83	1.60

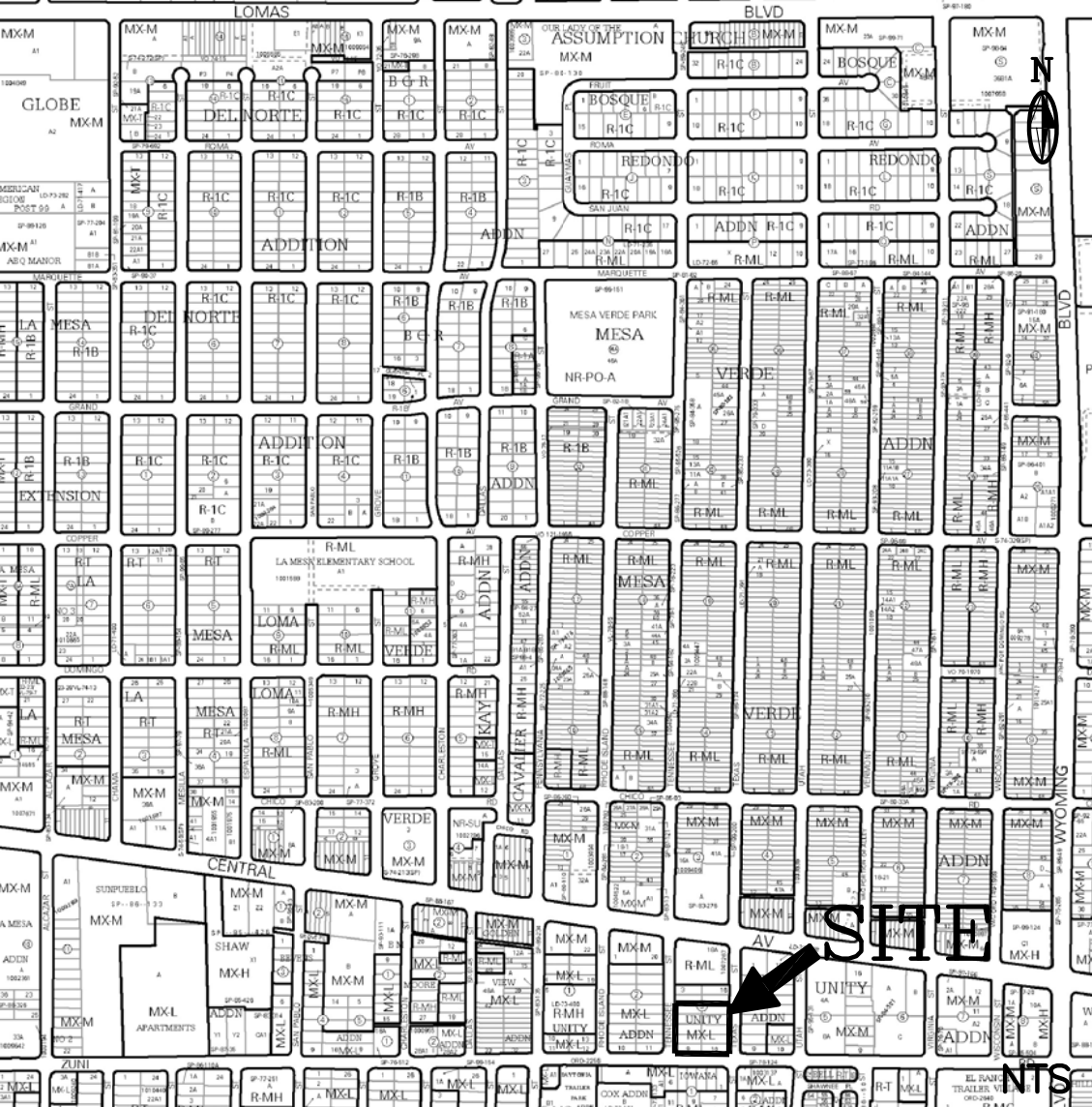
#### EROSION CONTROL PLAN:

CONTRACTOR SHALL NOT ALLOW ANY DEBRIS TO ENTER CITY RIGHT-OF-WAY OR ADJACENT PROPERTIES BY INSTALLING SILT FENCING OAE TO ACHIEVE THIS REQUIREMENT.

THIS PLAN SHALL BE SUBMITTED TO THE STORM WATER QUALITY ENGINEER (DOUGH HUGHES, PE, jhughes@cabq.gov, 924-3420) 14 DAYS PRIOR TO ANY EARTH DISTURBANCE ALONG WITH THE OWNER'S REQUIRED CERTIFIED NOTICE OF INTENT (NOI) SINCE THE SITE IS OVER 1 ACRE.



FEMA FLOODWAY MAP NO. 35001C0358H



VICINITY MAP

ZONE ATLAS: K-19

#### STANDARD BERNALILLO COUNTY FENCE NOTES:

1. NO FENCING SHALL BE CONSTRUCTED WITHIN ANY DRAINAGE EASEMENT AREA UNLESS SPECIFICALLY APPROVED BY THE BERNALILLO COUNTY PUBLIC WORKS DEPARTMENT.
2. ANY FUTURE FENCING ALONG THE PERIMETER PROPERTY LINES MUST ADDRESS HOW OFFSITE FLOWS ARE CONVEYED THROUGH THE SITE AND BE APPROVED BY THE BERNALILLO COUNTY PUBLIC WORKS DEPARTMENT.

#### LEGEND

EXISTING PROPOSED

#### CONTOUR

5820 5850

#### PROPERTY LINE

---

#### ROAD

---

#### SETBACK

---

#### WALL

---

#### WALL/RETAINING WALL

---

#### SPOT ELEVATION

TA=5376.44' +TG XX.XX

8-5-19  
REV. 12-30-19

#### ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on June 6, 2019, and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

8101 Zuni Rd. SE, Albuquerque, NM 87108

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOTS 5-A , BLOCK 3,  
UNITY ADDITION

BAKER, MARK - TINY HOME VILLAGE - GRADING & DRAINAGE PLAN

McDowell Engineering Inc.

Designed JSM Drawn STAFF Checked JSM Sheet of  
File BAK0219L Date JUNE,2019 1 1



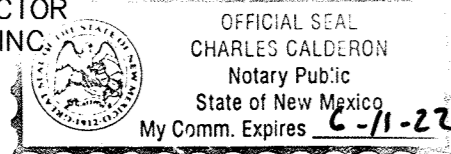
N.T.S.

1. PLAT OF RECORD FOR UNITY ADDITION FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 28, 1926 IN BOOK B, PAGE 36.
2. GENERAL WARRANTY DEED FOR THE SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERKS OFFICE ON SEPTEMBER 15, 1998 IN BOOK 9815, PAGE 5840, AS DOCUMENT NO. 1998117652.

LOTS NUMBERED FIVE (5), SIX (6), SEVEN (7), EIGHT (8), NINE (9), TEN (10), ELEVEN (11), TWELVE (12), THIRTEEN (13), AND FOURTEEN (14), BLOCK NUMBERED THREE (3), OF UNITY ADDITION, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 28, 1926 IN BOOK B, PAGE 36.

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF LOTS 5 THRU 14, BLOCK 3, UNITY ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) TO THE PARCEL(S) HEREIN DESCRIBED AND HEREBY GRANT ALL EASEMENTS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT AND DEDICATE THE RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS.

STATE OF NEW MEXICO }  
COUNTY OF *Sandoval* } SS



THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 15<sup>th</sup> of October, 2019  
BY: MARY GARCIA, EXECUTIVE DIRECTOR, ALBUQUERQUE INDIAN CENTER INC.

By: Chad  
NOTARY PUBLIC

MY COMMISSION EXPIRES June 11, 2022

Section 19, Township 10 North, Range 4 East, N.M.P.M. Subdivision: Unity Addition Owner: American Indian Center Inc. UPC # 101905736502040302 (Lots 10-14) UPC # 101905735201040301 (Lot 9) UPC # 101905735201440308 (lot 8) UPC # 101905735202040307 (Lot 7) UPC # 101905735202440306 (Lot 6) UPC # 101905735203040305 (Lot 5)
---

1. SUBDIVIDE AS SHOWN HEREON.
2. DEDICATE RIGHT-OF-WAY AS SHOWN HEREON.
3. GRANT EASEMENT(S).

GROSS ACREAGE.....	1.5450 ACRES
ZONE ATLAS PAGE NO.....	K-19-Z
NUMBER OF EXISTING LOTS.....	10
NUMBER OF LOTS CREATED.....	2
MILES OF FULL-WIDTH STREETS.....	0 MILES
MILES OF HALF-WIDTH STREETS.....	0 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE.....	.0062 ACRES
DATE OF SURVEY.....	September 2019

1. FIELD SURVEY PERFORMED IN APRIL 2019.
2. ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
4. LOT LINES TO BE ELIMINATED SHOWN HEREON AS .....

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

## Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND  
PAID ON UPC #: See 6 parcels listed

PROPERTY OWNER OF RECORD

BERNALILLO COUNTY TREASURER'S OFFICE

Project Number: PR-2019-002161

Application Number: SD-2019-00186

### Plat Approvals:

PNM Electric Services

En Durell

Qwest Corp. d/b/a CenturyLink QC

New Mexico Gas Company

Comcast

Loan N. Risenhoover P.S.  
City Surveyor

City Surveyor

Traffic Engineer

ABCWUA

Code Enforcement

AMAFCA

City Engineer

DRB Chairperson, Planning Department

PARKS AND RECREATION DEPARTMENT

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner, Jr.

N.M.R.P.S. No. 14271

Date / /

CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896 - 3050 Fax (505) 891 - 0244  
wplotnerjr@gmail.com

Sheet 1 of 2  
040513A

**Plat for**  
**Lot 5-A and 12-A, Block 3**  
**Unity Addition**  
**Being Comprised of**  
**Lots 5 thru 14, Block 3**  
**Unity Addition**  
**City of Albuquerque**  
**Bernalillo County, New Mexico**  
**October 2019**

**Easement Notes**

- 1 INTENTIONALLY OMITTED
- 2 EXISTING 5' PNM & US WEST EASEMENT (4/10/1997, BK. 95-9, PG. 8594, DOC. NO. 97035960)
- 3 EXISTING 5' PNM EASEMENT (8/11/2004, BK. A-82, PG. 3517, DOC. NO. 2004113810)
- 4 9' PUE GRANTED WITH THE FILING OF THIS PLAT
- 5 4' PUE GRANTED WITH THE FILING OF THIS PLAT

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	39.25'	25.00'	89°57'32"	35.34'	N 44°30'20" W
C2	39.34'	25.00'	90°09'11"	35.40'	S 45°26'18" W

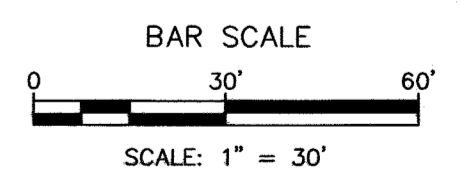
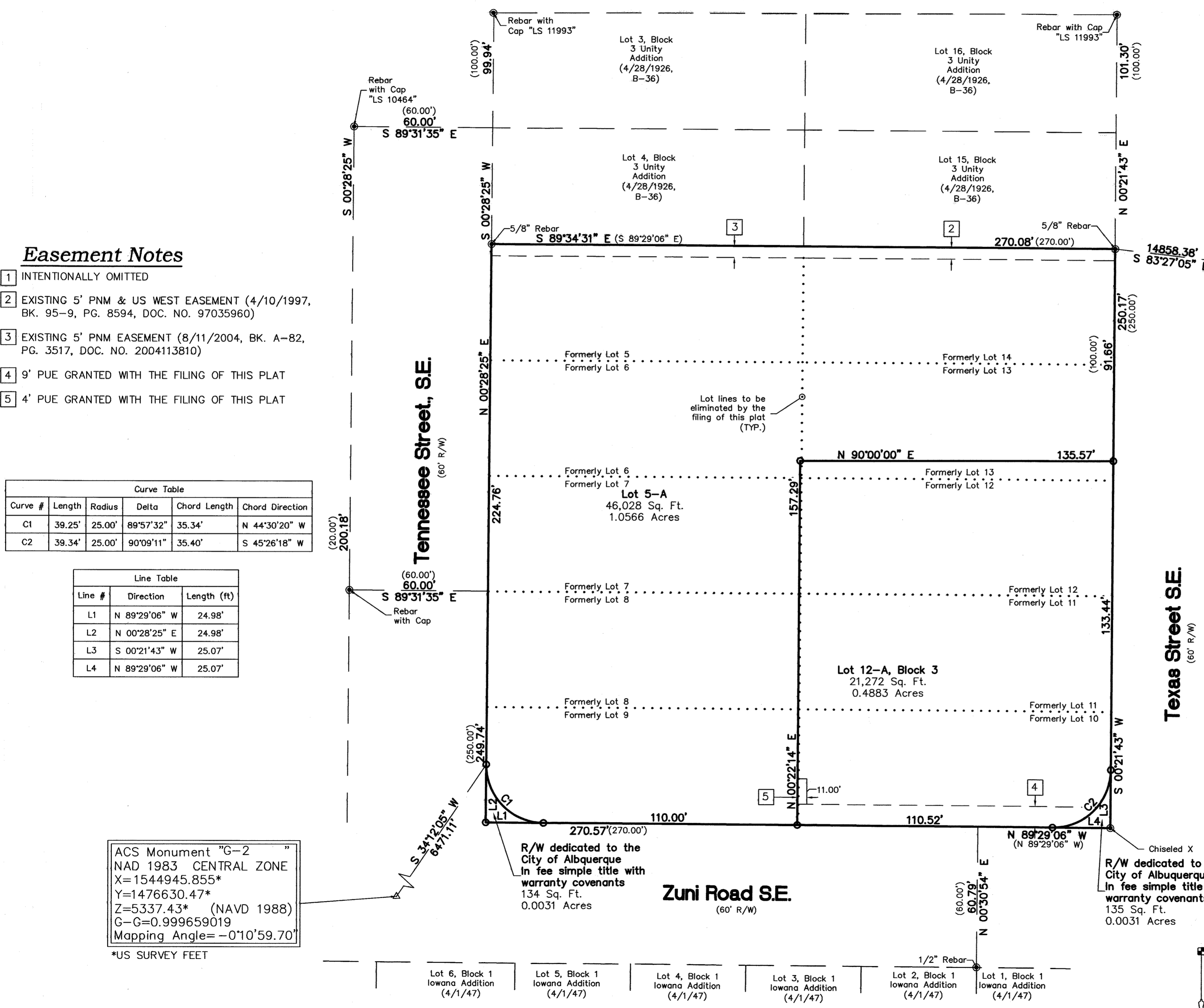
Line Table		
Line #	Direction	Length (ft)
L1	N 89°29'06" W	24.98'
L2	N 00°28'25" E	24.98'
L3	S 00°21'43" W	25.07'
L4	N 89°29'06" W	25.07'

ACS Monument "G-2"  
NAD 1983 CENTRAL ZONE  
X=1544945.855\*  
Y=1476630.47\*  
Z=5337.43\* (NAVD 1988)  
G-G=0.999659019  
Mapping Angle=-0°10'59.70"  
\*US SURVEY FEET

ACS Monument "4-L22"  
NAD 1983 CENTRAL ZONE  
X=1563610.492\*  
Y=1480509.445\*  
Z=5586.425\* (NAVD 1988)  
G-G=0.999643379  
Mapping Angle=-0°08'50.94"  
\*US SURVEY FEET

**Legend**

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES (04/28/1926, B-36)
●	FOUND MONUMENT AS INDICATED
○	SET CHISELED X UNLESS OTHERWISE NOTED



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