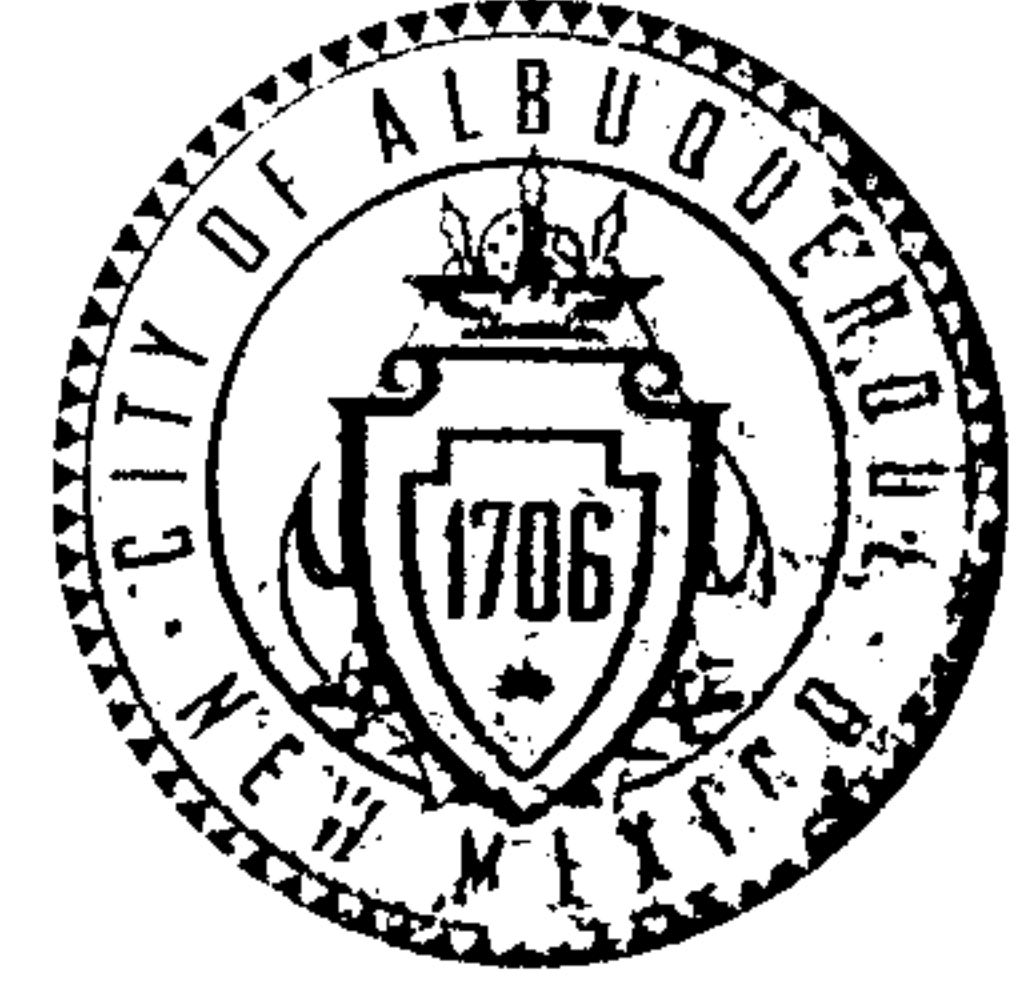


CITY OF ALBUQUERQUE



June 4, 2008

Paul Brasher, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Ed Romero Terrace Grading and Drainage Plan
Engineer's Stamp dated 4-30-08 (K19/D139)

Dear Mr. Brasher,

Based upon the information provided in your submittal dated 5-1-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Please show the sidewalk culvert on the plan and provide size, inverts and provide enough spot elevations or contours to show me how the runoff will get to the culvert. Add City Standard Drawing number and add the notes to contractor on this plan
- What size is the curb opening? Provide build note.
- Will there be curb openings at the middle island or are they flush with the asphalt. The contours would suggest as much.
- Provide a cross-section of the swale noted along the wall.
- Provide more spot elevations to describe what is happening at the entrance, the islands and landscape areas on the south side.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: Ed Romero Terrace ZONE MAP/DRG. FILE # K-19/D139
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1, 2, 17, 18, BLK 3, UNIT 1 ADD.
CITY ADDRESS: 8100 Central Ave SE

ENGINEERING FIRM: Brasher & Lorenz
ADDRESS: 2201 San Pedro Dr. NE
CITY, STATE: Albuquerque, NM
Stc 1200

CONTACT: Paul
PHONE: 888-6088
ZIP CODE: 87110

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: TC Architects
ADDRESS: 755 White Pond Drive
CITY, STATE: Akron, Ohio
Stc. 401

CONTACT: Mike
PHONE: 330-867-1093
ZIP CODE: 44320

SURVEYOR: Brasher and Lorenz
ADDRESS: _____
CITY, STATE: _____

CONTACT: Leonard Martinez
PHONE: 888-6088
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

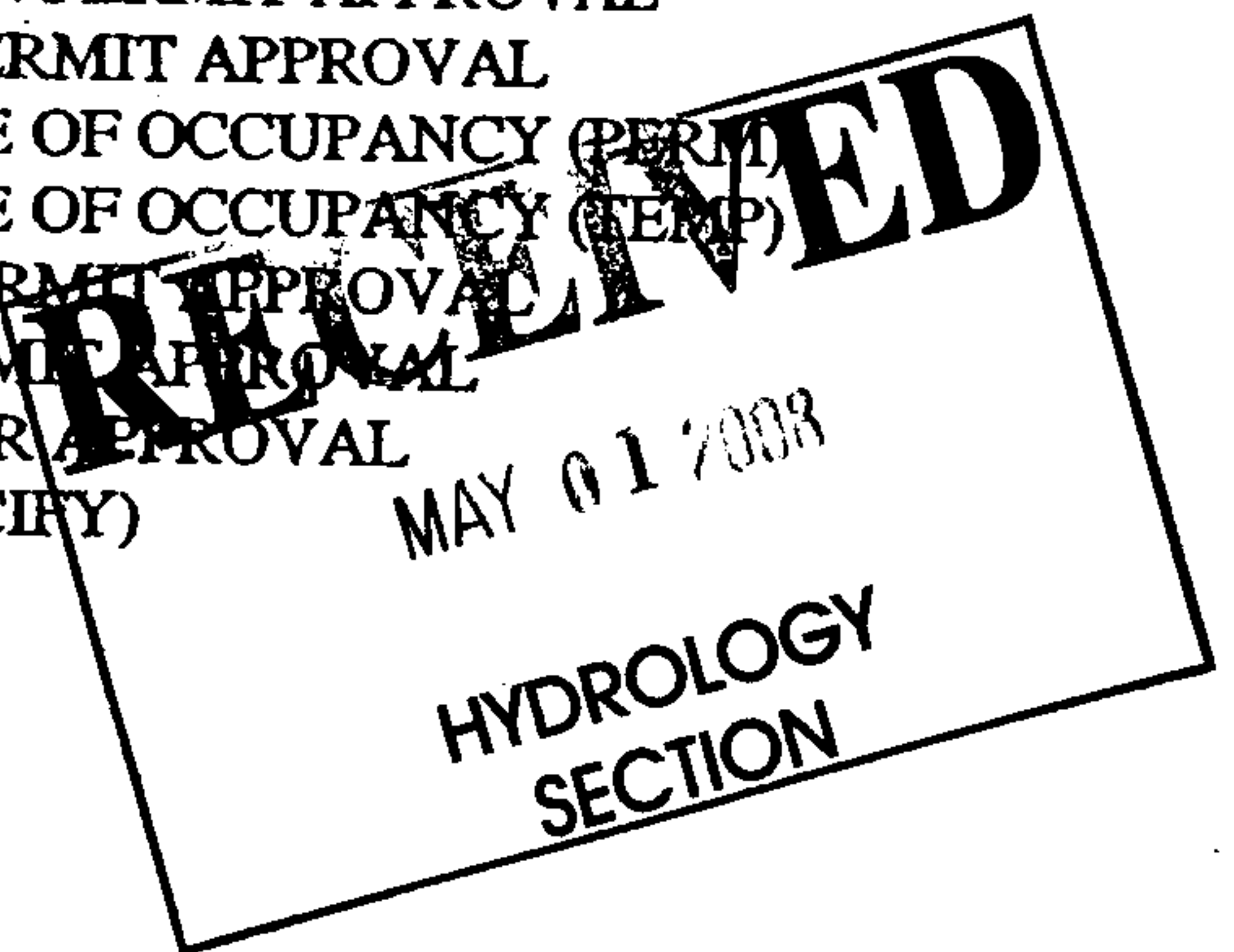
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 04-29-08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



PD 50

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: Ed Romero Terrace ZONE MAP/DRG. FILE # K-19/D139
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS 1, 2, 17, 18, BLK 3, UNIT 1 ADD.
CITY ADDRESS: 8100 Central Ave SE

ENGINEERING FIRM: Brasher & Lorenz
ADDRESS: 2201 San Pedro Dr. NE
CITY, STATE: Albuquerque, NM
Stc 1200

CONTACT: Paul
PHONE: 888-6088
ZIP CODE: 87110

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: TC Architects
ADDRESS: 755 White Pond Drive
CITY, STATE: Akron, Ohio
Stc. 404

CONTACT: Mike
PHONE: 330-867-1093
ZIP CODE: 44320

SURVEYOR: Brasher & Lorenz
ADDRESS: _____
CITY, STATE: _____

CONTACT: Leonard Martinez
PHONE: 888-6088
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ STATE FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: [Signature]

DATE: 04-29-08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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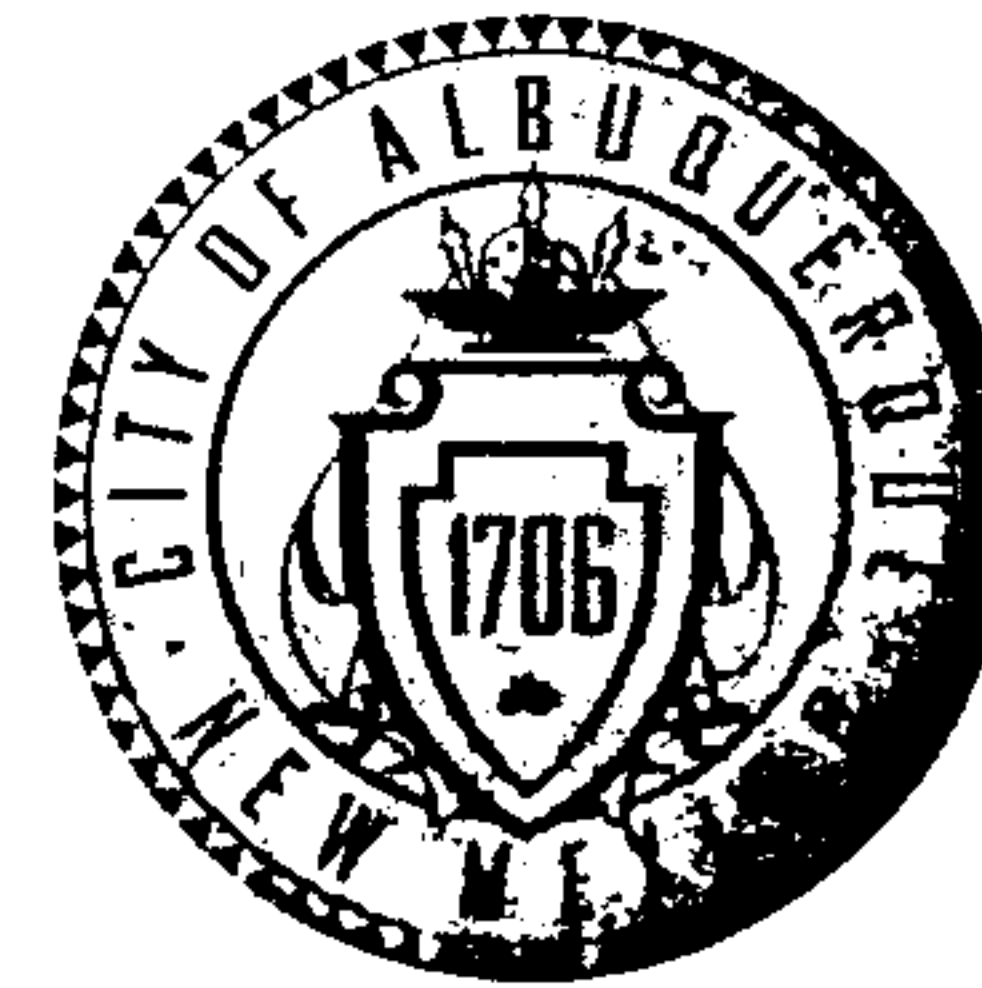
5/8/08
VERBAL REVIEW
DRB
Site Plan
RECEIVED
MAY 01 2008
HYDROLOGY SECTION

email

paulb@brasherlorenz.com

10/10/10

CITY OF ALBUQUERQUE



May 25, 2010

Steven K. Marrow, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

**Re: Ed Romero Terrace, 8100 Central Ave SE,
Request for Permanent Certificate of Occupancy - Approved
Engineer's Stamp dated 3-02-09 (K-19/D141)
Certification dated 5-25-10**

Dear Mr. Marrow,

Based upon the information provided in the Certification received 5-25-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

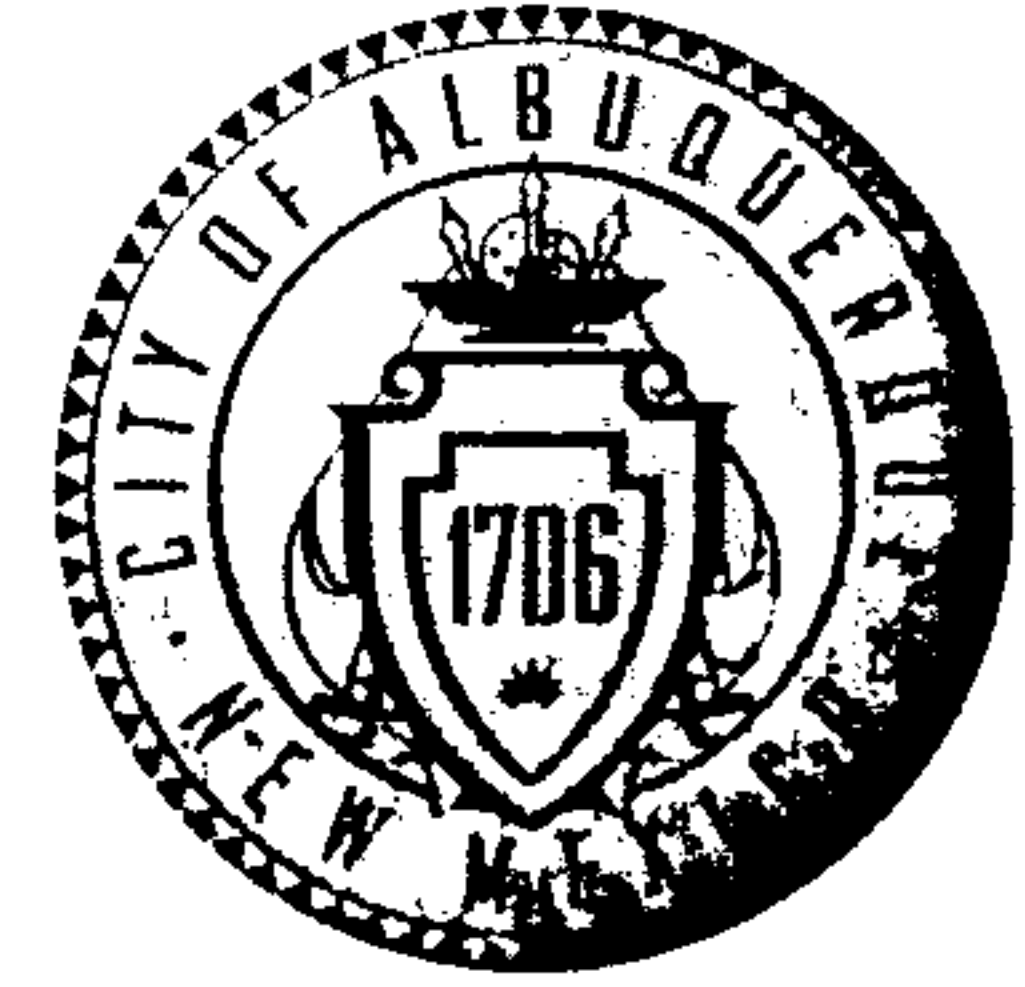
NM 87103

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

CITY OF ALBUQUERQUE



May 28, 2010

Steven Morrow, P.E.
Brasher & Lorenz
2201 San Pedro NE, Building 1 Suite 1200
Albuquerque, NM 87110

**Re: Ed Romero Terrace Senior Citizen Apartments, 8100 Central Ave SE,
Permanent Certificate of Occupancy – Transportation Development
DRB Site Plan (1007267) Certification dated 05-25-10 (K19-D141)**

Dear Mr. Morrow,

Based upon the information provided in your submittal received 05-25-10, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: ED ROMERO TERRACE ZONE MAP: K19/D139
DRB#: 08-70469;08-70475 EPC#: 40050;40054 WORK ORDER#: 590183

LEGAL DESCRIPTION: LOTS 1,2,17,18 BLOCK 3, UNITY ADDITION
CITY ADDRESS: 8100 CENTRAL SE

ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: Steve Morrow
ADDRESS: 2207 SAN PEDRO NE, BUILDING 1, SUITE 1300 PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

OWNER: EDWARD ROMERO TERRACE CONTACT: _____
ADDRESS: 1580 SAWGRASS CORPORATE PKWY PHONE: 954-835-9200
CITY, STATE: FORT LAUDERDALE, FLORIDA ZIP CODE: 33323

ARCHITECT: TC ARCHITECTS CONTACT: Larry Hecky
ADDRESS: 755 WHITE POND DR PHONE: 330-867-1093
CITY, STATE: AKRON, OHIO ZIP CODE: 44320

SURVEYOR: PRECISION SURVEYS CONTACT: Larry Medrano
ADDRESS: 8500 JEFFERSON ST, NE PHONE: 856-5700
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87113

CONTRACTOR: PYTHON CONSTRUCTION CONTACT: Marshall Gonzales
ADDRESS: 10523 SAFFORD PL PHONE: 899-5923
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87114

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input checked="" type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> OTHER (SPECIFY) <u>SO-19</u>

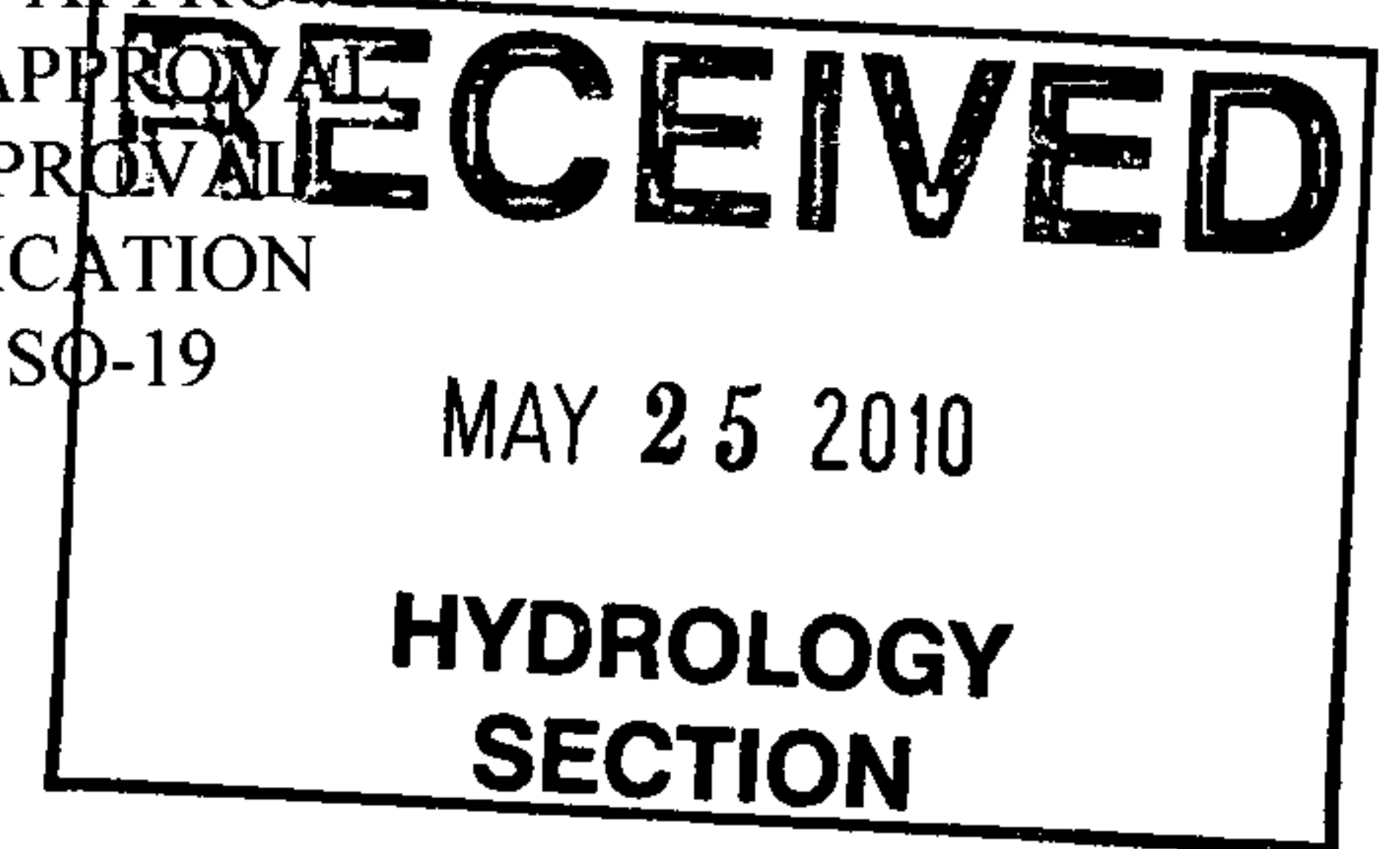
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

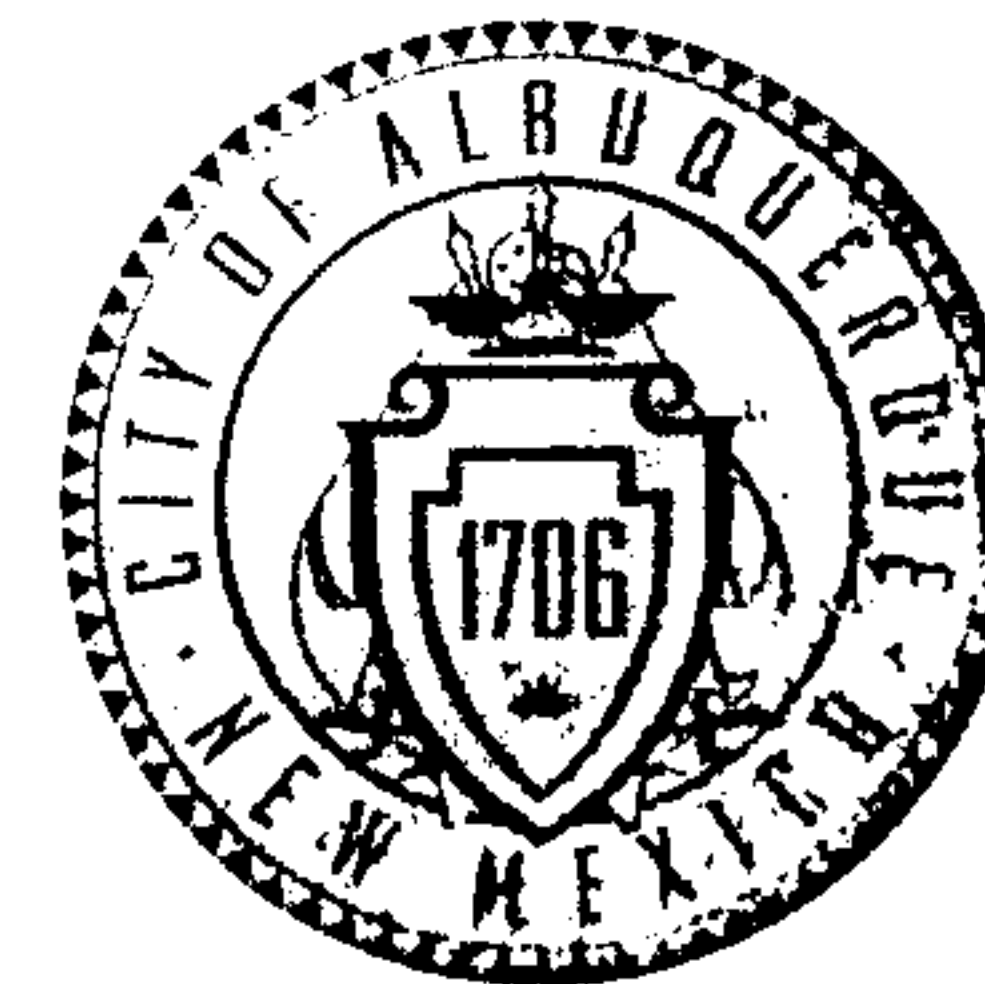
DATE SUBMITTED: 5-25-10 BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



March 31, 2009

Paul Brasher, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Ed Romero Terrace Grading and Drainage Plan
8100 Central SE
Engineer's Stamp dated 3-2-09 (K19/D139)

Dear Mr. Brasher,

Based upon the information provided in your submittal dated 3-5-09, the above referenced plan is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: file

CITY OF ALBUQUERQUE



November 14, 2008

Paul Brasher, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

**Re: Ed Romero Terrace Grading and Drainage Plan
8100 Central SE
Engineer's Stamp dated 10-27-08 (K19/D139)**

Dear Mr. Brasher,

Based upon the information provided in your submittal dated 10-28-08, the above referenced report is approved for Building Permit and SO19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to the following address:

PO Box 1293

Albuquerque

NM 87103

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions about this permit, please feel free to call the Municipal Development Department, Hydrology section at 768-3654.

www.cabq.gov

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Kathy Verhage, DMD
Duane Schmitz, DMD
Antoinette Baldonado, DMD
file