

KEYED NOTES

- 1 PEDESTRIAN GATE
- 2 WALL- PILASTERS / WROUGHT IRON
- 3 MOTORIZED ENTRANCE GATE
- 4 NEW CONCRETE SIDEWALK
- 5 MONUMENT SIGN
- 6 TRELLIS
- 7 PERGOLA
- 8 TERRACE
- 9 LOUNGE
- 10 COMPACTOR SCREEN WALL
- 11 REFUSE ENCLOSURE (CITY STD.)
- 12 STOP SIGN
- 13 NEW 6" CHAIN LINK FENCE
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- 15 AREA TO BE LANDSCAPED
- 16 ASPHALT PAVING
- 17 6" CONCRETE CURB
- 18 HANDICAP ACCESS RAMP
- 19 EXISTING SIGN TO BE REMOVED
- 20 NEW 25' CURB RETURN
- 21 GATED VEHICLE AND PED. ENTRANCE
- 22 SIDEWALK CULVERT

SIDEWALK CULVERT DESIGN
"U" CHANNEL

| | | |
|-------------|-------|-------|
| BOT WIDTH | 1.5' | 1' |
| DEPTH | 0.53 | 0.53 |
| L. SIDE SLP | 0.01 | 0.01 |
| R. SIDE SLP | 0.01 | 0.01 |
| CH SLOPE | 0.02 | 0.01 |
| "N" VAL | 0.013 | 0.013 |

RESULTS:

| | | |
|--------------|-------|-------|
| AREA (SF) | 0.823 | 0.558 |
| HYD R (FT) | 0.32 | 0.27 |
| VEL (FT/SEC) | 0.57 | 6.75 |
| Q (CFS) | 6.23 | 3.76 |

GRADING & DRAINAGE PLAN PURPOSE AND SCOPE

PER THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN FOLLOWS THE DRAINAGE MANAGEMENT CRITERIA FOR PLANNING THE DEVELOPED RUNOFF COMBINED WITH THE OFFSITE FLOWS, IF ANY, FROM THE PROJECT SITE.

THE PROJECT CONSISTS OF THE RE-DEVELOPMENT OF THE PROPERTY. THE OBJECTIVE IS TO CONSTRUCT DRAINAGE FACILITIES THAT WILL USE THE ELEMENTS PROPOSED FOR OTHER USES TO SLOW THE DISCHARGE TO THE STREET TO AN EXTENT PRACTICAL. THE PARKING AREA WILL DETAIN THE RUNOFF AND IRRIGATE THE LANDSCAPING AT THE WEST SIDE OF THE SITE.

EXISTING CONDITIONS:

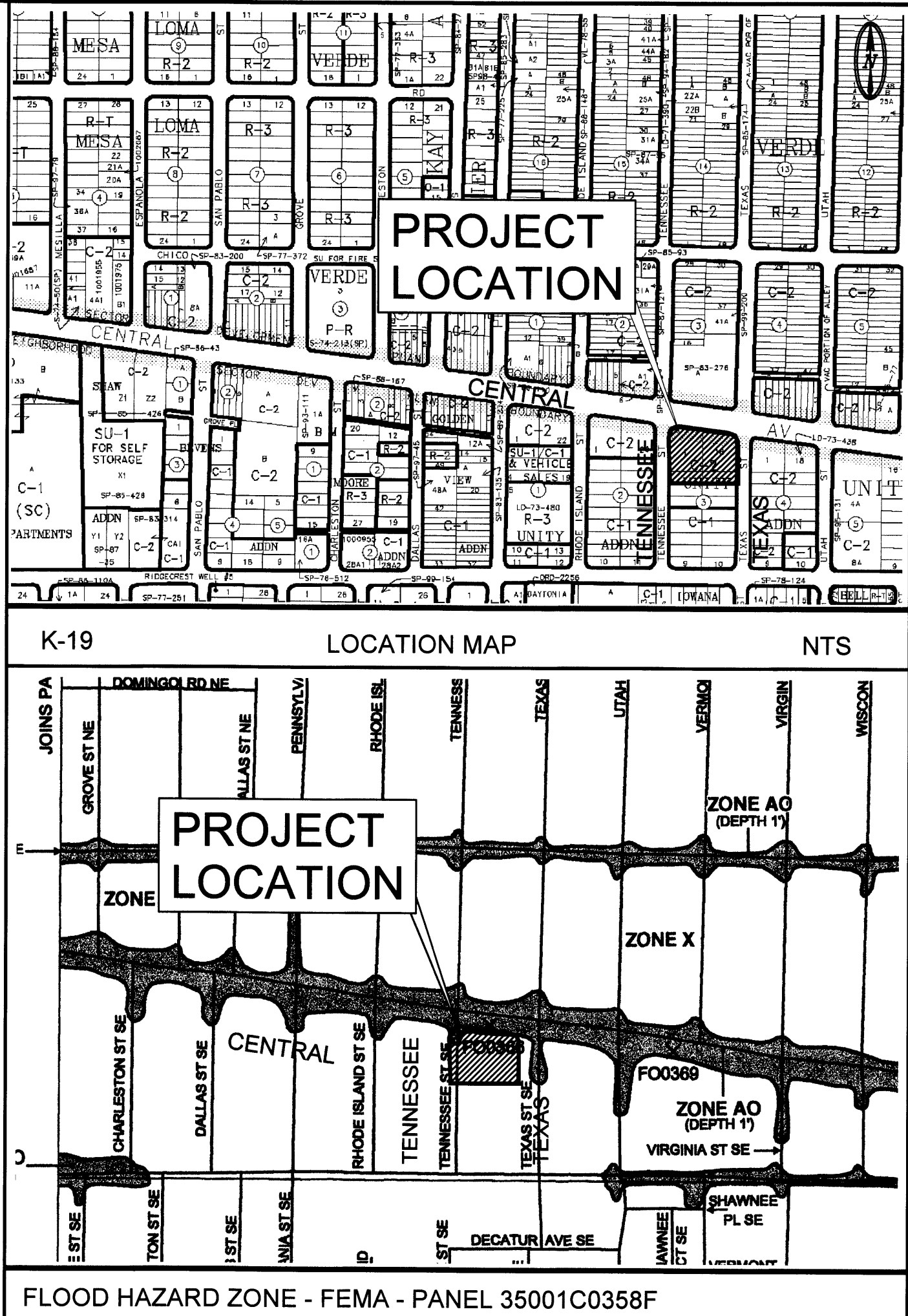
THE PROJECT SITE CONTAINS APPROXIMATELY 1.32 ACRES, AND IS LOCATED ON THE SOUTH SIDE OF CENTRAL, BETWEEN TEXAS AND TENNESSEE. THE SITE WAS ORIGINALLY DEVELOPED AS MOTEL, AND HAS SINCE BEEN CLEARED. THE SITE IS BOUNDED ON THE EAST, WEST AND ACROSS CENTRAL BYPAVED STREETS, AND FULLY-DEVELOPED COMMERCIAL PROPERTIES. CURRENTLY, RUNOFF GENERATED ONSITE DRAINS WEST TO TENNESSEE, THEN NORTH TO CENTRAL. OFFSITE RUNOFF, FROM THE EAST, IS CHANNLED BY EXISTING STREET PAVING IN TEXAS, TO THE EXISTING STORM DRAIN SYSTEM IN CENTRAL. TO THE EXTENT THAT THE EXISTING STORM DRAIN SYSTEM IN CENTRAL LACKS CAPACITY, A TEMPORARY RISE IN WATER SURFACE ELEVATION DURING THE 100-YR/6HR STORM MAY OCCUR. THIS IS INDICATED ON THE FEMA PANEL, AS SHOWN, WHICH SUGGESTS THAT A PORTION OF THIS SITE'S STREET FRONTAGE MAY LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE TO A DEPTH OF AT LEAST ONE FOOT. UNDER THESE CONDITIONS, THE ELEVATED WATER SURFACE LEVEL MAY BE AN OBSTRUCTION TO TRAFFIC. THE APPROXIMATE LOCATION AND ALIGNMENT OF THIS MAPPED FLOOD HAZARD ZONE IS SHOWN ON THE PLAN.

PROPOSED CONDITIONS:

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE RE-DEVELOPED AS A 40-UNIT APARTMENT BUILDING WITH PARKING, SIDEWALKS, AND LANDSCAPING. THE PLAN SHOWS THE FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE SITE AS IT IS NOW GRADED, AND INTENDED TO ENSURE ITS ELEVATION ABOVE THE LEVEL OF THE FLOOD HAZARD. ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES AND LOW CHANNELS, CONVEYING RUNOFF TO TENNESSEE, THEN TO CENTRAL. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR DEVELOPED CONDITIONS. SINCE THIS IS AN INFILL SITE, NO ON-SITE PONDING IS REQUIRED. TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SILT FENCING IS RECOMMENDED ALONG THE DOWNSTREAM CONSTRUCTION BOUNDARIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. STORM WATER FLOWS GENERATED BY THIS DEVELOPMENT AND CONVEYED TO THE EXISTING STREETS AND CLOSED-CONDUIT SYSTEM DO NOT AFFECT THE

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THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.



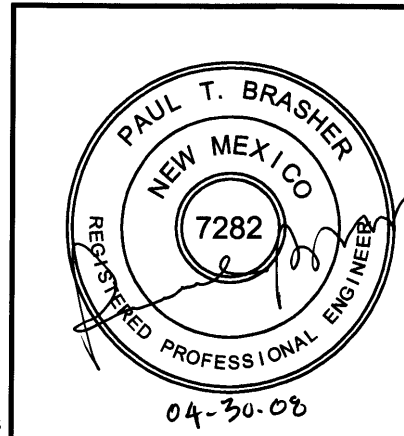
LEGEND

| ITEM | EXISTING | PROPOSED |
|---|---------------|----------------|
| WATERLINE | --- 6"W --- | --- 6"W --- |
| SANITARY SEWER | --- 8"SAS --- | --- 8"SAS --- |
| STORM SEWER | --- 36"SD --- | --- 24" SD --- |
| FIRE HYDRANT | ⊙ | ⊙ |
| VALVE | ⊕ | ⊕ |
| WATER SERVICE (SINGLE) | — | — |
| WATER SERVICE (DOUBLE) | — | — |
| MANHOLE | — | — |
| SEWER SERVICE | — | — |
| POWER POLE (GUYED) | ● PP | ● PP |
| DROP INLET | — | — |
| OVERHEAD ELEC | — OHE --- | — OHE --- |
| UNDERGROUND ELEC, GAS, TEL, TV | — UGT --- | — UGT --- |
| TEL. PEDESTAL | ○ TEL | ○ TEL |
| RIGHT OF WAY | --- | --- |
| EASEMENT LINE | --- | --- |
| PROPERTY LINE | --- | --- |
| CENTERLINE | --- | --- |
| FIRE LANE - NO PARKING - CURB PAINTED RED | --- | --- |

| ITEM | EXISTING | PROPOSED |
|------------------------------|----------|----------|
| CHAIN LINK FENCE | — | — |
| RETAINING WALL | — | — |
| PILASTER / WROUGHT IRON WALL | — | — |
| DRAINAGE BASIN DIVIDE | — | — |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| SPOT ELEV. | × 16.7 | — 87.26 |
| CURB | — | — |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| CONTOUR | — 5166 — | — 66 — |
| SWALE | — | — |
| DIRECTION OF FLOW | → | → |
| WATER BLOCK | — | — |
| LANDSCAPED AREA | — | — |

RESULTS OF HYDROLOGY COMPUTATIONS

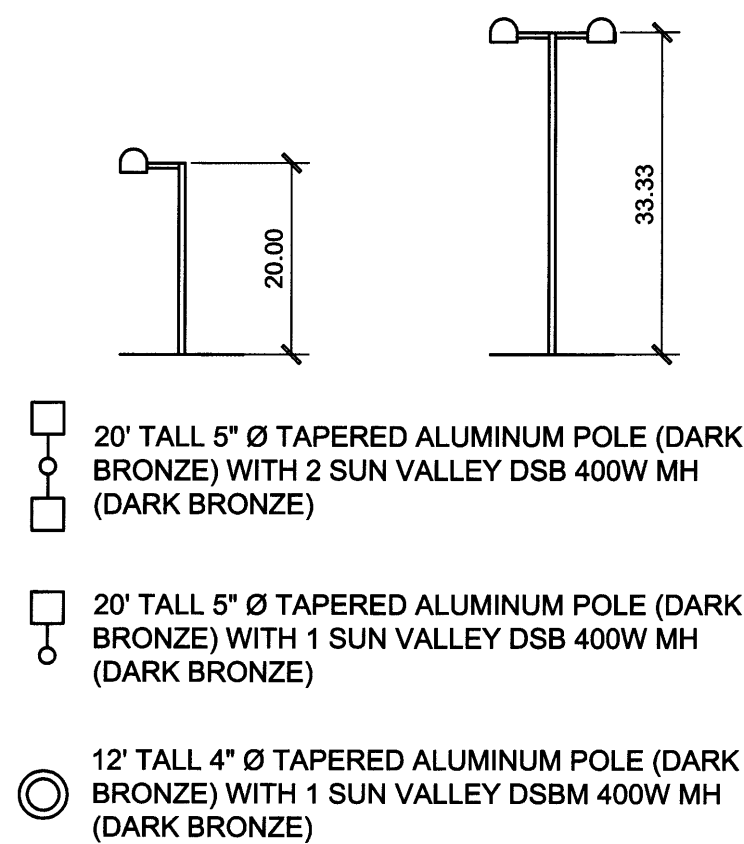
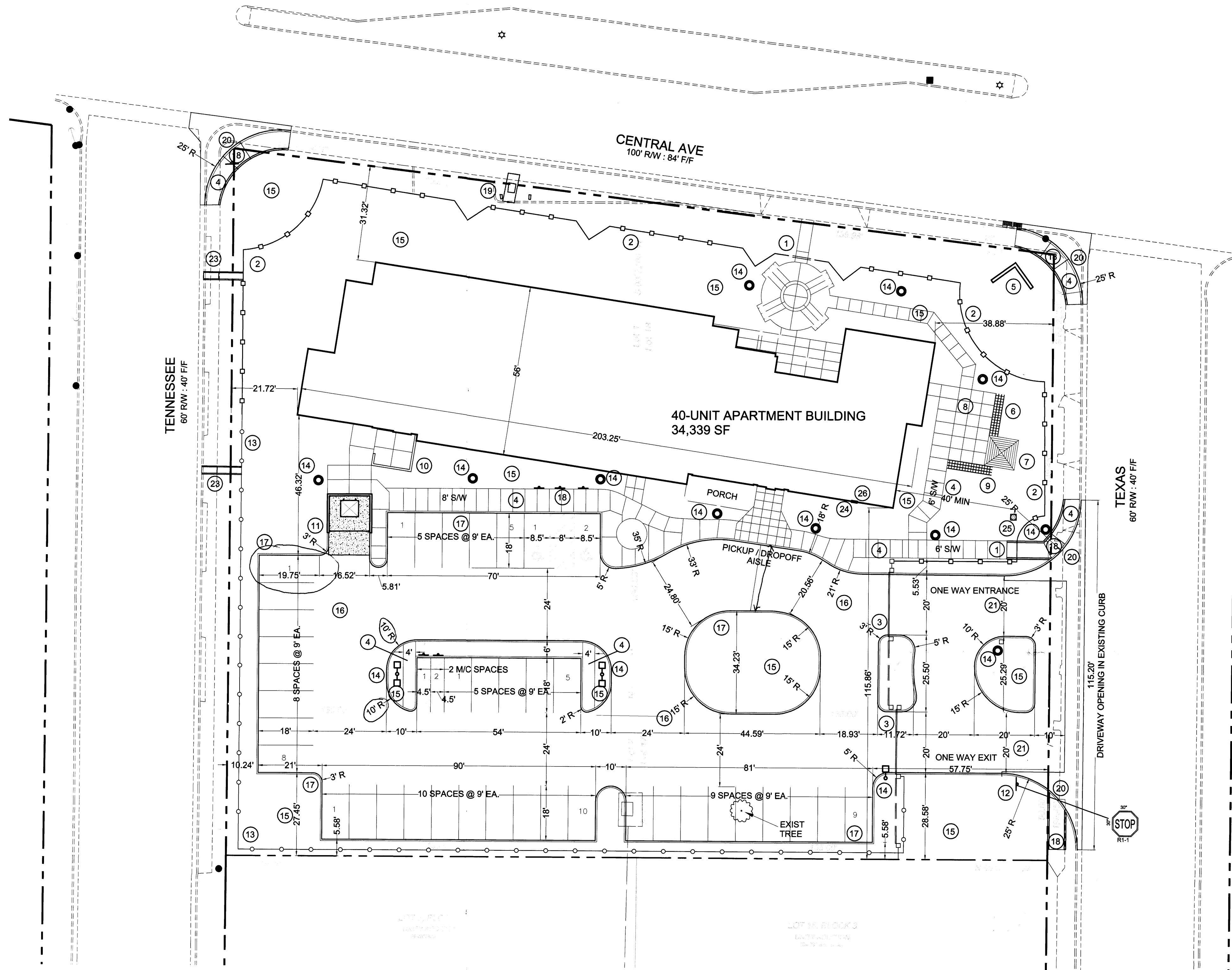
| | | | | | |
|--|-------------------------------|-----------------------------------|--------------|------------------------------------|-----------------------|
| AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) - | | - VERSION: 1997.02a | | RUN DATE (MON/DAY/YR) = 04/28/2008 | |
| INPUT FILE = C:\EDROMERO.txt | | USER NO. = AHYMO-9702001000076-SH | | | |
| COMMAND | HYDROGRAPH IDENTIFICATION NO. | TO ID NO. | AREA (SQ MI) | PEAK DISCHARGE (CFS) | RUNOFF VOLUME (AC-FT) |
| START | 101.10 | 1 | .00060 | 1.53 | .054 |
| FINISH | 102.10 | 2 | .00150 | 4.54 | .173 |
| | | | | 1.68717 | 1.518 |
| | | | | 3.985 PER IMP= | 50.00 |
| | | | | 4.728 PER IMP= | 85.00 |



ED ROMERO TERRACE
GRADING AND DRAINAGE PLAN

| | | |
|-------------|--------------|----------------|
| DRW: R.M. | TR: | DATE: 04/21/08 |
| CKD: P.T.B. | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | |
| REV. NO. | 01553-GD.DWG | |

SHT: 3 OF 7



NOTE: DIMENSIONS SHOWN REFER TO FACE OF CURB

PROJECT DATA

LEGAL DESCRIPTION:
Lots 1, 2, 17, and 18, Block 3, Unity Addition
The existing lot lines within the project boundaries will be eliminated by platting action.

PROPERTY ADDRESS:
8100 Central Ave. SE

ZONING:
Present zoning: C-2
Proposed zoning: SU-1

SITE AREA:
Lot 1: 23,635.43 SF (0.5426 AC)
Lot 2: 6750.13 SF (0.1550 AC)
Lot 17: 6750.13 SF (0.1550 AC)
Lot 18: 21,328.84 SF (0.4896 AC)
TOTAL PROJECT SITE AREA: 58,464.58 SF (1.3422 AC)

BUILDING AREA:
FIRST FLOOR - 10,430 SF
SECOND FLOOR - 8353 SF
THIRD FLOOR - 8353 SF
FOURTH FLOOR - 7203 SF
TOTAL GROSS BUILDING AREA - 34,339 SF

PARKING:
Required:
Automobile: 40 spaces, less 10% bus route = 36 spaces including 2 Handicap
Motorcycle: 2 motorcycle spaces
Bicycle: 1 space per 2 dwelling units = 20 spaces
Provided:
37 Standard spaces
1 Van Accessible Space
1 Standard Accessible Space
2 Motorcycle spaces
21 Bicycle spaces

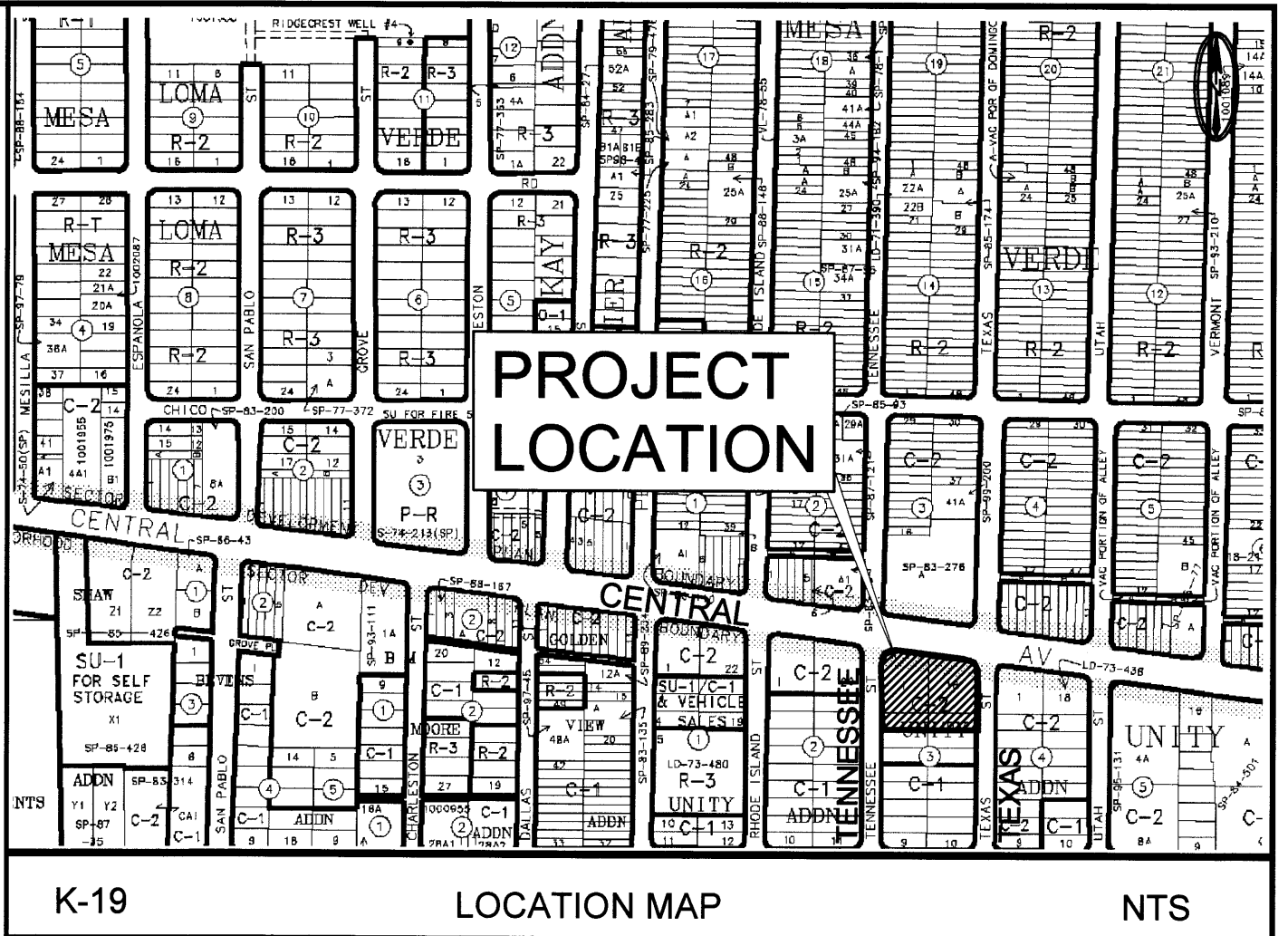
LANDSCAPING: (Recommended 15% Net Site Area)
Net Site Area: 58,464 SF (total site), less 10,211 (building footprint) = 48,253 SF
Recommended landscaped area: 7238 SF
Total Landscaped Area provided: 22,889 SF (316.2%)

WALL and FENCES:
6' High pilaster and wrought iron
6' Chain link security fencing west and south sides

SIGNAGE:
1 Free-standing monument sign along Central Ave. frontage, as regulated under the City of Albuquerque Zoning Code, in Sections 14-16-3-5.
Total sign area (total of exposed faces): 24 SF

LIGHTING:
Free standing lighting will be provided and located such that visibility of any light source from the street is difficult or impossible during dark. All lighting shall be full cut-off lighting, and shall be in conformance with the New Mexico Night Sky Protection Act and as regulated under the City of Albuquerque Zoning Code Sections 14-16-3-9.

BUILDING HEIGHT AND SETBACKS
Building height and setback limitations are as regulated under R-2 zoning.

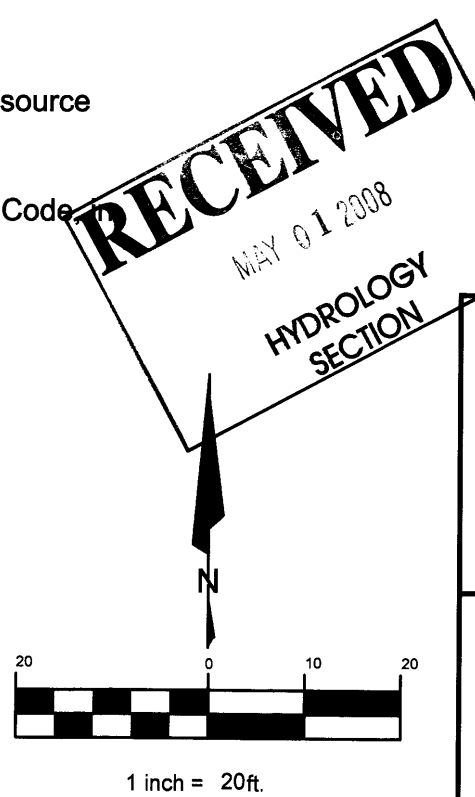


PROJECT NUMBER: _____
APPLICATION NUMBER: _____
DRB SITE DEVELOPMENT PLAN APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
UTILITIES DEVELOPMENT _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
CITY ENGINEER _____ DATE _____
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
SOLID WASTE MANAGEMENT _____ DATE _____
DRB CHAIR, PLANNING DEPARTMENT _____ DATE _____

| LEGEND | | |
|---|---------------|----------------|
| ITEM | EXISTING | PROPOSED |
| WATERLINE | --- 6"W --- | --- 8" W --- |
| SANITARY SEWER | --- 8"SAS --- | --- 8" SAS --- |
| STORM SEWER | --- 36"SD --- | --- 24" SD --- |
| FIRE HYDRANT | ⊙ | ⊙ |
| VALVE | --- X --- | --- X --- |
| WATER SERVICE (SINGLE) | --- □ --- | --- □ --- |
| WATER SERVICE (DOUBLE) | --- □ --- | --- □ --- |
| MANHOLE | ⊙ | ⊙ |
| SEWER SERVICE | --- □ --- | --- □ --- |
| POWER POLE (GUYED) | ⊙ PP --- | ⊙ PP --- |
| DROP INLET | --- □ --- | --- □ --- |
| OVERHEAD ELEC | --- OHE --- | --- OHE --- |
| UNDERGROUND ELEC, GAS, TEL, TV | --- UGT --- | --- UGT --- |
| TEL. PEDESTAL | ⊙ TEL | ⊙ TEL |
| RIGHT OF WAY | --- --- | --- --- |
| EASEMENT LINE | --- --- | --- --- |
| PROPERTY LINE | --- --- | --- --- |
| CENTERLINE | --- --- | --- --- |
| FIRE LANE - NO PARKING - CURB PAINTED RED | --- --- | --- --- |

- KEYED NOTES
- 1 PEDESTRIAN GATE
 - 2 WALL - PILASTERS / WROUGHT IRON
 - 3 MOTORIZED ENTRY GATE
 - 4 NEW CONC. SIDEWALK
 - 5 MONUMENT SIGN
 - 6 TRELLIS
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 - 8 TERRACE
 - 9 LOUNGE
 - 10 EXTERIOR STORAGE SCREEN WALL
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 - 20 NEW 25" CURB RETURN
 - 21 GATED VEHICLE AND PED. DRIVE
 - 22 HANDICAP ACCESS RAMP
 - 23 SIDEWALK CULVERT
 - 24 BICYCLE PARKING RACK
 - 25 POST INDICATOR VALVE
 - 26 FIRE DEPARTMENT CONNECTION

| DRAWING INDEX | |
|-------------------------|-----------|
| TITLE | SHEET NO. |
| SITE PLAN | 1 |
| LANDSCAPE PLAN | 2 |
| GRADING & DRAINAGE PLAN | 3 |
| BUILDING ELEVATIONS | 4 - 6 |
| UTILITIES PLAN | 7 |



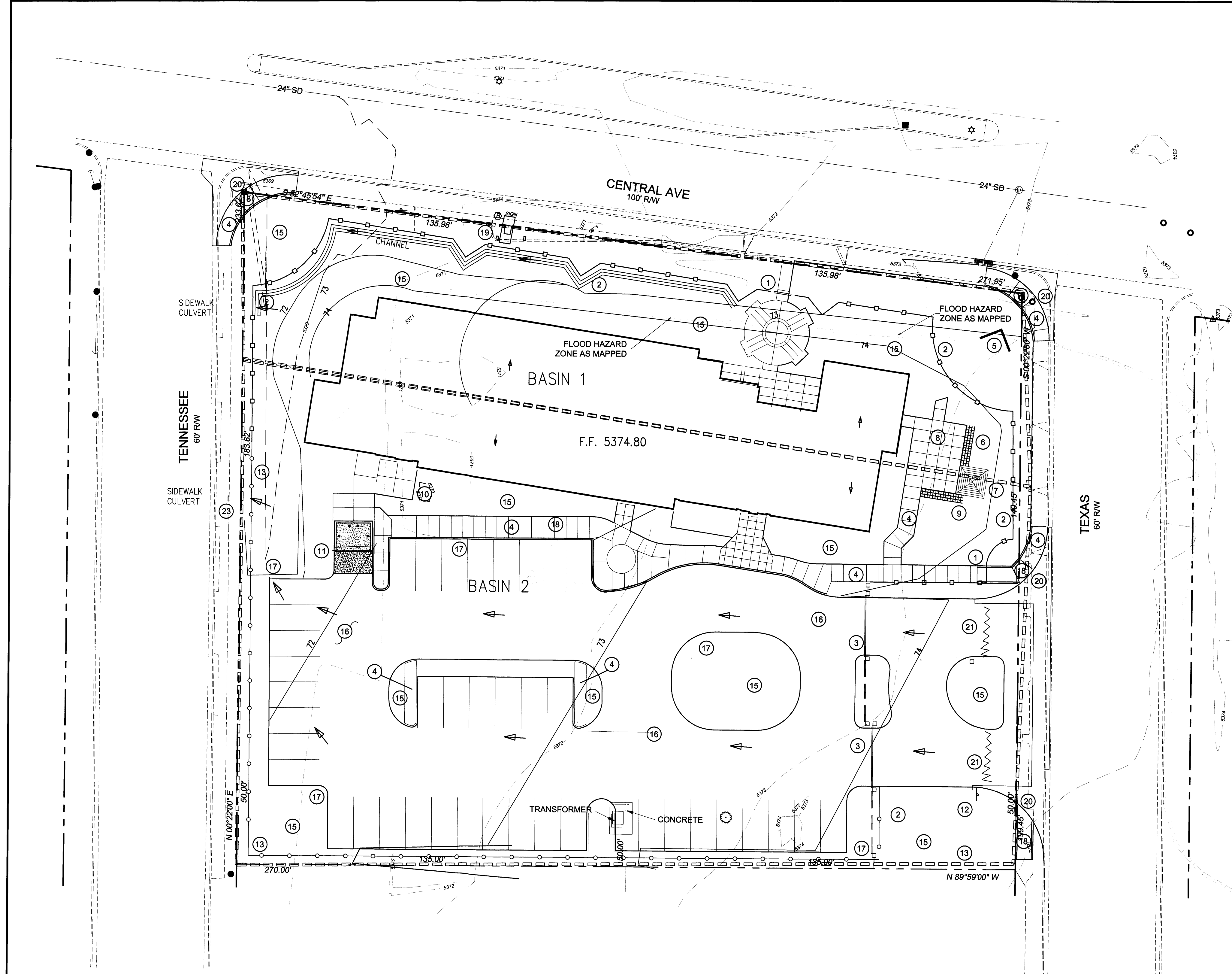
ARCHITECT:
TC ARCHITECTS
755 WHITE POND DRIVE
SUITE 401
AKRON, OHIO 44320
PH: (330) 867-1093
FAX: (330) 867-4198

CONSULTING ENGINEERS
BRASHER & LORENZ
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-0088 Fax: 505-888-6188



ED ROMERO TERRACE
TRAFFIC CONTROL LAYOUT

| | | |
|------------|--------------|----------------|
| DRW: R.M | TR: | DATE: 04/21/08 |
| CKD: P.T.B | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | |
| REV. NO. | 01553-GD.DWG | |



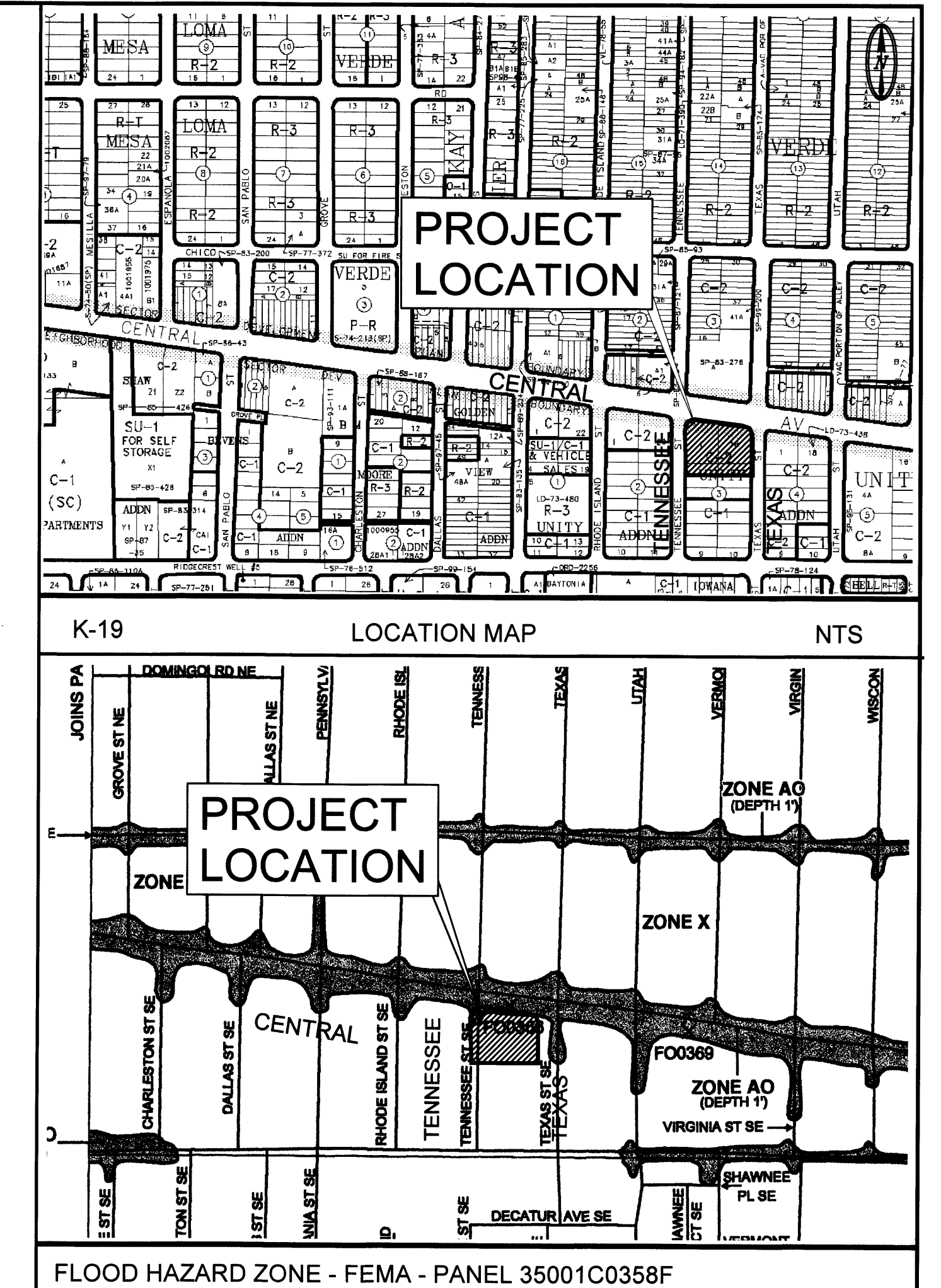
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SIDEWALK CULVERT DESIGN
"U" CHANNEL

| | | |
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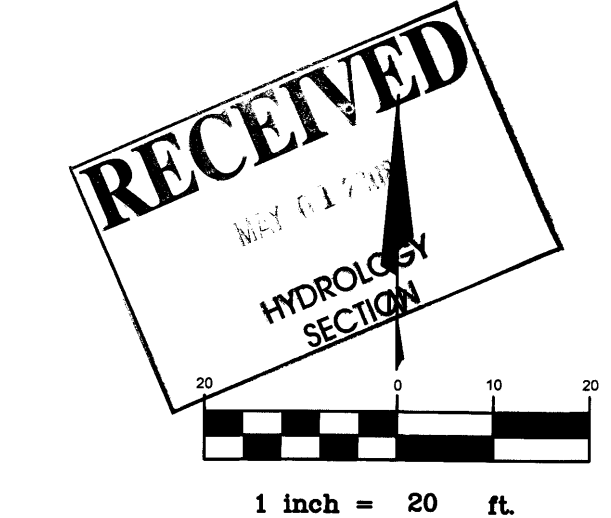
| ITEM | EXISTING | PROPOSED | ITEM | EXISTING | PROPOSED |
|---|----------------|----------------|------------------------------|--------------|------------|
| WATERLINE | --- 6" W --- | --- 6" W --- | CHAIN LINK FENCE | --- 5166 --- | --- 66 --- |
| SANITARY SEWER | --- 8" SAS --- | --- 8" SAS --- | RETAINING WALL | --- 5166 --- | --- 66 --- |
| STORM SEWER | --- 36" SD --- | --- 24" SD --- | PILASTER / WROUGHT IRON WALL | --- 5166 --- | --- 66 --- |
| FIRE HYDRANT | --- 36" SD --- | --- 24" SD --- | DRAINAGE BASIN | --- 5166 --- | --- 66 --- |
| VALVE | --- 36" SD --- | --- 24" SD --- | DIVIDE | --- 5166 --- | --- 66 --- |
| WATER SERVICE (SINGLE) | --- 36" SD --- | --- 24" SD --- | TOP OF ASPHALT ELEV. | --- 5166 --- | --- 66 --- |
| WATER SERVICE (DOUBLE) | --- 36" SD --- | --- 24" SD --- | SPOT ELEV. | --- 5166 --- | --- 66 --- |
| MANHOLE | --- 36" SD --- | --- 24" SD --- | CURB | --- 5166 --- | --- 66 --- |
| SEWER SERVICE | --- 36" SD --- | --- 24" SD --- | FLOWLINE ELEV. | --- 5166 --- | --- 66 --- |
| POWER POLE (GUYED) | --- 36" SD --- | --- 24" SD --- | TOP OF CURB ELEV. | --- 5166 --- | --- 66 --- |
| DROP INLET | --- 36" SD --- | --- 24" SD --- | CONTOUR | --- 5166 --- | --- 66 --- |
| OVERHEAD ELEC | --- 36" SD --- | --- 24" SD --- | SWALE | --- 5166 --- | --- 66 --- |
| UNDERGROUND ELEC. | --- 36" SD --- | --- 24" SD --- | DIRECTION OF FLOW | --- 5166 --- | --- 66 --- |
| GAS, TEL, TV | --- 36" SD --- | --- 24" SD --- | WATER BLOCK | --- 5166 --- | --- 66 --- |
| TEL. PEDESTAL | --- 36" SD --- | --- 24" SD --- | LANDSCAPED AREA | --- 5166 --- | --- 66 --- |
| RIGHT OF WAY | --- 36" SD --- | --- 24" SD --- | | | |
| EASEMENT LINE | --- 36" SD --- | --- 24" SD --- | | | |
| PROPERTY LINE | --- 36" SD --- | --- 24" SD --- | | | |
| CENTERLINE | --- 36" SD --- | --- 24" SD --- | | | |
| FIRE LANE - NO PARKING - CURB PAINTED RED | --- 36" SD --- | --- 24" SD --- | | | |

RESULTS OF HYDROLOGY COMPUTATIONS

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = C:\EDROMERO.LTX

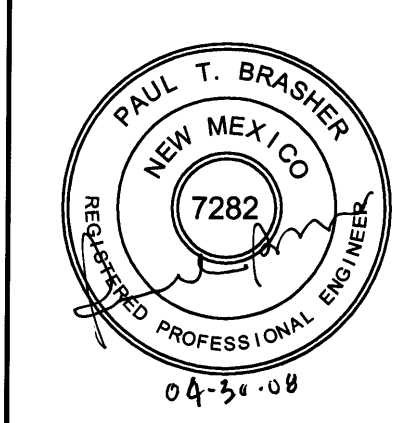
VERSION: 1997.02a RUN DATE (MON/DAY/YR) = 04/28/2008
USER NO. = AHYMO-1-9702601000076-SH

| COMMAND | HYDROGRAPH NO. | FROM NO. | TO NO. | AREA (SQ MI) | PEAK DISCHARGE (CFS) | RUNOFF VOLUME (AC-FT) | RUNOFF (INCHES) | TIME TO PEAK (HOURS) | CFS PER ACRE | PAGE |
|--------------------|----------------|----------|--------|--------------|----------------------|-----------------------|-----------------|----------------------|----------------|-------|
| START | | | | | | | | | | 1 |
| *S RAINFALL TYPE=1 | | | | | | | | | | |
| *S BASIN 1 | | | | | | | | | | |
| COMPUTE NM HYD | 101.10 | - | 1 | .00060 | 1.53 | .054 | 1.68717 | 1.518 | 3.985 PER IMP= | 50.00 |
| *S BASIN 2 | | | | | | | | | | |
| COMPUTE NM HYD | 102.10 | - | 2 | .00150 | 4.54 | .173 | 2.15649 | 1.485 | 4.728 PER IMP= | 85.00 |
| FINISH | | | | | | | | | | |



ARCHITECT:
TC ARCHITECTS
755 WHITE POND DRIVE
SUITE 401
AKRON, OHIO 44320
PH: (330) 867-1093
FAX: (330) 867-4198

BRASHER & LORENZ
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Ph: 505-888-6088 Fax: 505-888-6188



ED ROMERO TERRACE
GRADING AND DRAINAGE PLAN

SHT: 3 OF 7

| | | |
|------------|--------------|----------------|
| DRW: R.M | TR: | DATE: 04/21/08 |
| CKD: P.T.B | OK: | SCALE: 1"=20' |
| APP: | ACAD FILE: | |
| REV. NO. | 01553-GD.DWG | |

ENGINEERS CERTIFICATION (DRB SITE PLAN) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679 of the firm Brasher and Lorenz, Inc., hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved DRB Site Plan dated 7-09-09. The record information obtained onto the original design document has been obtained by me or under my direct supervision and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy. Any deviation from the approved plans is marked on the attached plan.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance with the traffic aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679

5-25-10

Date

EXISTING 8' PUBLIC SIDEWALK

3' PUBLIC ROADWAY EBMNT. DEDICATED BY PLAT

CENTRAL AVE 100' R/W: 84' FF

EXISTING 8' PUBLIC SIDEWALK

3' PUBLIC ROADWAY EBMNT. DEDICATED BY PLAT

R.O.W. DED.

NEW RAMP IN 8' SIDEWALK (PUBLIC)

EXISTING 5' PUBLIC SIDEWALK (NOMINAL WIDTH)

TENNESSEE 60' R/W: 40' FF

REMOVE EXISTING DRIVEPADS ON EAST SIDE OF TENNESSEE REPLACE WITH SIDEWALK AND CURB AND GUTTER PER C.O.A. STD. DWG. 2430 & 2415

EXISTING 5' PUBLIC SIDEWALK (NOMINAL WIDTH)

REMOVE EXISTING DRIVEPADS ON WEST SIDE OF TEXAS REPLACE WITH SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DWG. 2430 & 2415

EXISTING 5' PUBLIC SIDEWALK (NOMINAL WIDTH)

TEXAS 60' R/W: 40' FF

NEW RAMP IN 8' SIDEWALK (PUBLIC)

EXISTING 5' PUBLIC SIDEWALK (NOMINAL WIDTH)

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NEW RAMP IN 8' SIDEWALK (PUBLIC)

EXISTING 5' PUBLIC SIDEWALK (NOMINAL WIDTH)

NEW RAMP IN 8' SIDEWALK (PUBLIC)

40-UNIT APARTMENT BUILDING
34,339 SF

LOT 3, BLOCK 3
UNITY ADDITION
(14-00-22-03, E-14-00-22-03)

LOT 16, BLOCK 3
UNITY ADDITION
(14-00-22-03, E-14-00-22-03)

LEGEND

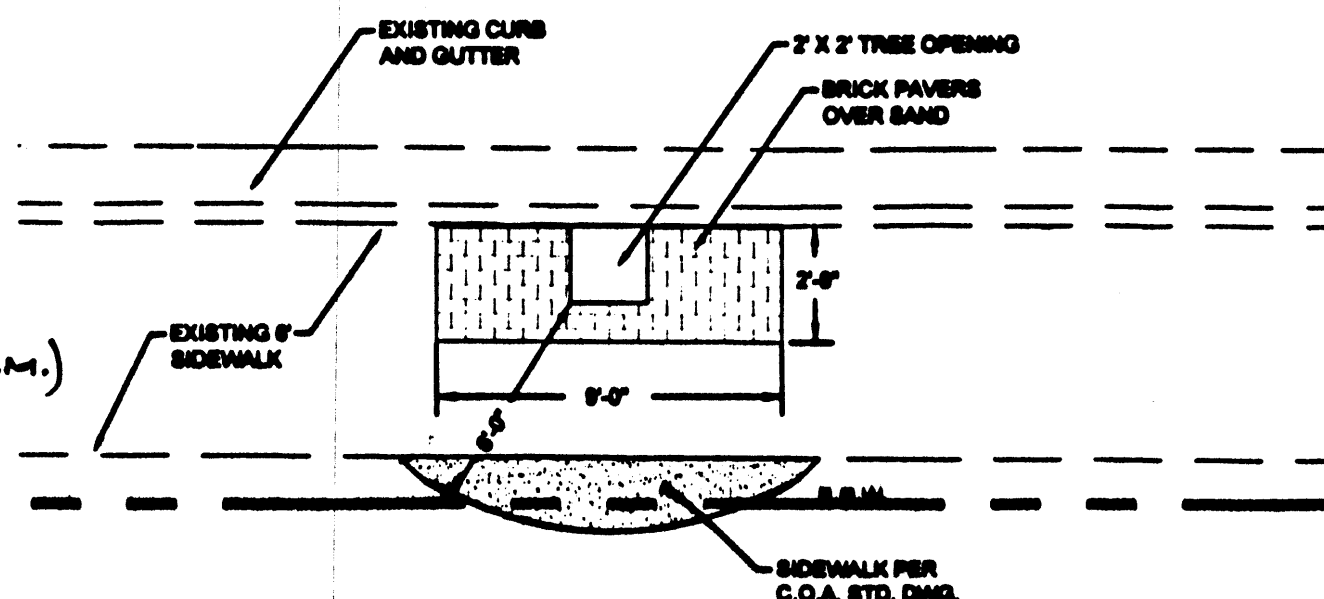
| ITEM | EXISTING | PROPOSED |
|---|----------|----------|
| WATERLINE | 6" W | 6" W |
| SANITARY SEWER | 8" SAS | 8" SAS |
| STORM SEWER | 36" SD | 24" SD |
| FIRE HYDRANT | ⊙ | ⊙ |
| VALVE | ⊕ | ⊕ |
| WATER SERVICE (SINGLE) | — | — |
| WATER SERVICE (DOUBLE) | — | — |
| MANHOLE | — | — |
| SEWER SERVICE | — | — |
| POWER POLE (GUYPED) | PP | PP |
| DROP INLET | — | — |
| OVERHEAD ELEC | — | — |
| UNDERGROUND ELEC. | — | — |
| TEL. PED. T.V. | — | — |
| RIGHT OF WAY | — | — |
| EASEMENT LINE | — | — |
| PROPERTY LINE | — | — |
| CENTERLINE | — | — |
| FIRE LANE - NO PARKING - CURB PAINTED RED | — | — |

| ITEM | EXISTING | PROPOSED |
|------------------------------|----------|----------|
| CHAIN LINK FENCE | — | — |
| RETAINING WALL | — | — |
| PILASTER / WROUGHT IRON WALL | — | — |
| DRAINAGE BASIN | — | — |
| DIVIDE | — | — |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.2 |
| SPOT ELEV. | X 16.7 | 87.26 |
| CURB | — | — |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| GRASS | — | — |
| SWALE | — | — |
| DIRECTION OF FLOW | — | — |
| WATER BLOCK | — | — |
| LANDSCAPED AREA | — | — |

KEYED NOTES

- PEDESTRIAN GATE
- WALL - PILASTERS / WROUGHT IRON
- MOTORIZED ENTRY GATE
- NEW CONC. SIDEWALK
- MONUMENT SIGN
- TRELLIS
- PERGOLA
- TERRACE
- LOUNGE
- EXTERIOR STORAGE SCREEN WALL
- REFUSE ENCLOSURE (CITY STD.)
- (NOT USED)
- NEW 6" CHAIN LINK FENCE
- PARKING LOT LIGHT
- AREA TO BE LANDSCAPED
- ASPHALT PAVING
- 6" CONCRETE CURB
- HANDICAP ACCESS RAMP
- EXIST. SIGN AND CURB TO BE REMOVED (SIGN STILL IN PLACE AS OF 5-24-10 S.K.M.)
- NEW 28" CURB RET. (CITY STD. 2426)
- GATED VEHICLE AND PED. DRIVE
- HANDICAP ACCESS RAMP
- SIDEWALK CULVERT
- BICYCLE PARKING RACK
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- FUTURE WASTE RECYCLING AREA
- STREET TREE, GRATE, SW ADDITION PER DETAIL A
- SEATING BENCH (NONE INSTALLED AS OF 5-24-10 S.K.M.)
- "DO NOT ENTER" SIGN
- CURB DELETED
- CURB ADDED TO CREATE 28' DRIVE AISLE PER FIRE MARSHALL

BUILDING HEIGHT AND SETBACKS
Building height and setback limitations are as regulated under R-3 zoning.



TREE, PAVEMENT AND ADDITIONAL SIDEWALK DETAIL

NTS

LIGHTING STANDARDS

NOTE: DIMENSIONS SHOWN REFER TO FACE OF CURB

PROJECT DATA

LEGAL DESCRIPTION:
Lots 1, 2, 17, and 18, Block 3, Unity Addition
The existing lot lines within the project boundaries will be eliminated by platting action; additional right of way at Central Ave. returns will be dedicated.

PROPERTY ADDRESS:
8100 Central Ave. SE

ZONING:
Present zoning: C-2
Proposed zoning: SU-1 FOR HOUSING FOR OLDER PERSONS

SITE AREA:
Lot 1: 23,836.43 SF (0.5426 AC)
Lot 2: 6750.13 SF (0.1550 AC)
Lot 17: 6750.13 SF (0.1550 AC)
Lot 18: 21,328.84 SF (0.4896 AC)
TOTAL PROJECT SITE AREA: 58,464.58 SF (1.3422 AC)

BUILDING AREA:
FIRST FLOOR - 10,430 SF
SECOND FLOOR - 8363 SF
THIRD FLOOR - 8363 SF
FOURTH FLOOR - 7203 SF
TOTAL GROSS BUILDING AREA - 34,339 SF

PARKING:

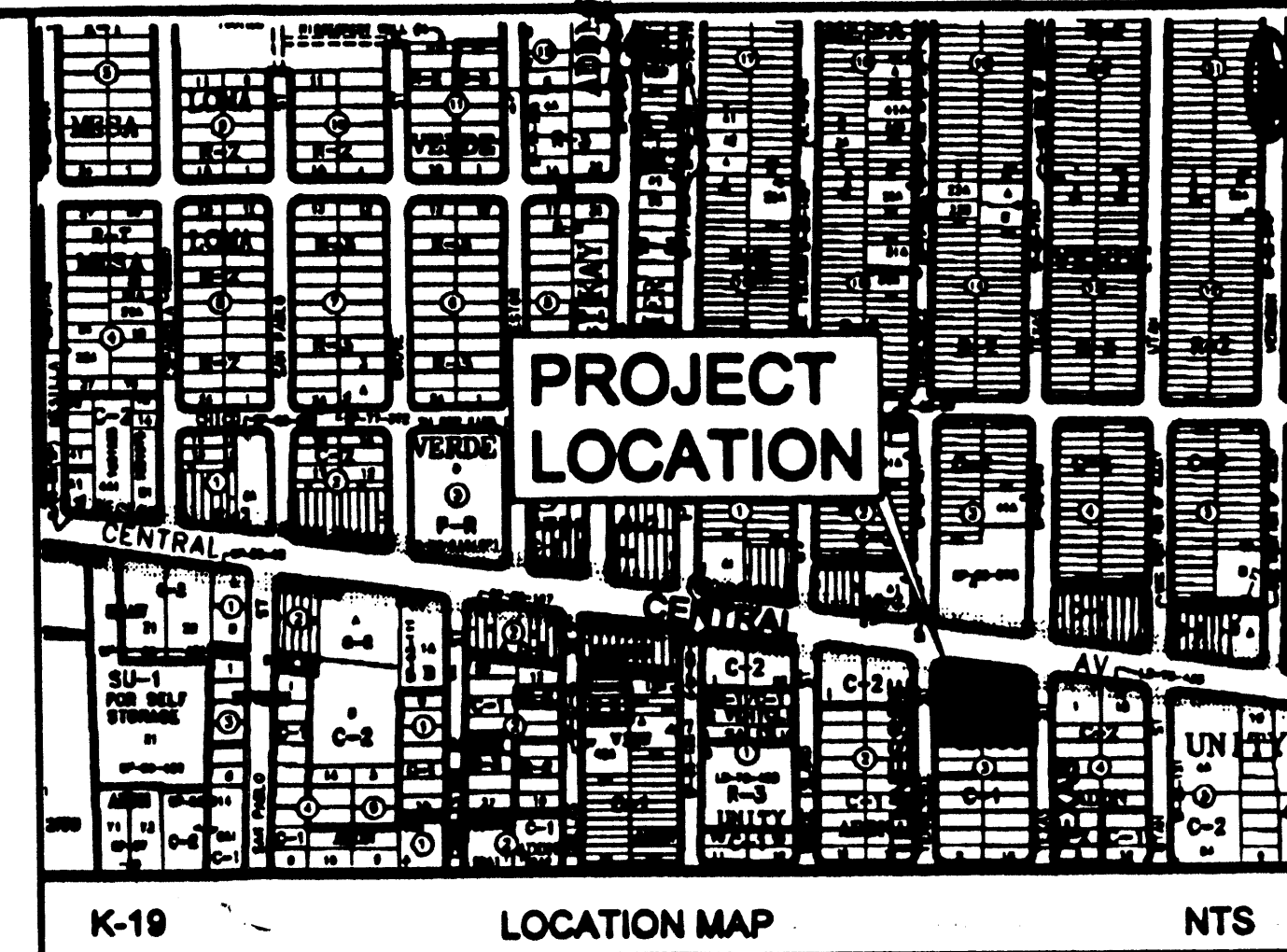
Required:
Automobile: 40 spaces, less 10% bus route = 36 spaces including 2 Handicap
Motorcycle: 2 motorcycle spaces
Bicycle: 1 space per 2 dwelling units = 20 spaces
Provided:
36 Standard spaces
1 Van Accessible Space
3 Standard Accessible Spaces
2 Motorcycle spaces
21 Bicycle spaces

LANDSCAPING: (Recommended 15% Net Site Area)
Net Site Area: 58,464 SF (total site), less 10,211 (building footprint) = 48,253 SF
Recommended landscaped area: 7238 SF
Total Landscaped Area provided: 22,828 SF (48.4% total area)

WALL and FENCES:
6" High plaster and wrought iron

SIGNAGE:
1 Free-standing monument sign along Central Ave. frontage, as regulated under the City of Albuquerque Zoning Code, in Sections 14-16-3-5.
Total sign area (total of exposed faces): 24 SF

LIGHTING:
Free standing lighting will be provided and located such that visibility of any light source from the street is difficult or impossible during dark. All lighting shall be full cut-off lighting, and shall be in conformance with the New Mexico Night Sky Protection Act and as regulated under the City of Albuquerque Zoning Code, in Sections 14-16-3-9.



PROJECT NUMBER: 1007267
APPLICATION NUMBER: 08 EPC 40050 - SITE PLAN FOR BP
APPLICATION NUMBER: 08 EPC 40054 - ZONE CHANGE

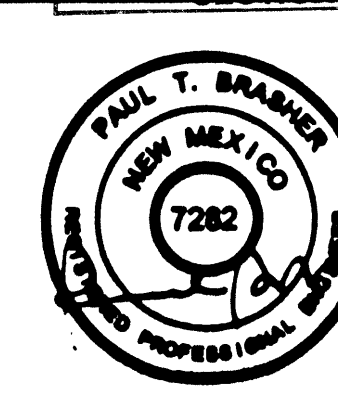
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
11-12-08
DATE
11-12-08
DATE
11/12/08
DATE
11/12/08
DATE
CITY ENGINEER
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)
DATE
SOLID WASTE MANAGEMENT
DATE
12-15-08
DATE
DEPT. CHAIR, PLANNING DEPARTMENT

| Sheet Number | Sheet Title |
|--------------|---------------------------------|
| 1 | SITE PLAN FOR BUILDING PERMIT |
| 2 | LANDSCAPING PLAN |
| 3 | GRADING PLAN |
| 4 | NORTH, EAST AND WEST ELEVATIONS |
| 5 | SOUTH ELEVATIONS |
| 6 | DETAIL SHEET |
| 7 | UTILITY PLAN |

THIS SHEET IS CURRENT AS OF
07-09-09

RECEIVED
MAY 25 2010
HYDROLOGY SECTION



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHEET 1 OF 7

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-455-0255 Fax: 505-455-0105

EHDG - ED ROMERO TERRACE
40 UNIT SENIOR CITIZENS APARTMENT BUILDING
8100 CENTRAL AVE. S.E., ALBUQUERQUE, NM

T C Architects, Incorporated

DATE 10/23/08
REVISION
PROJECT NO 40-A-07
DRAWING NO A000

SITE PLAN FOR BUILDING PERMIT

755 White Pond Drive, Suite 401
Albany, Ohio 44320

Phone (330) 867-1093
Fax (330) 867-4198

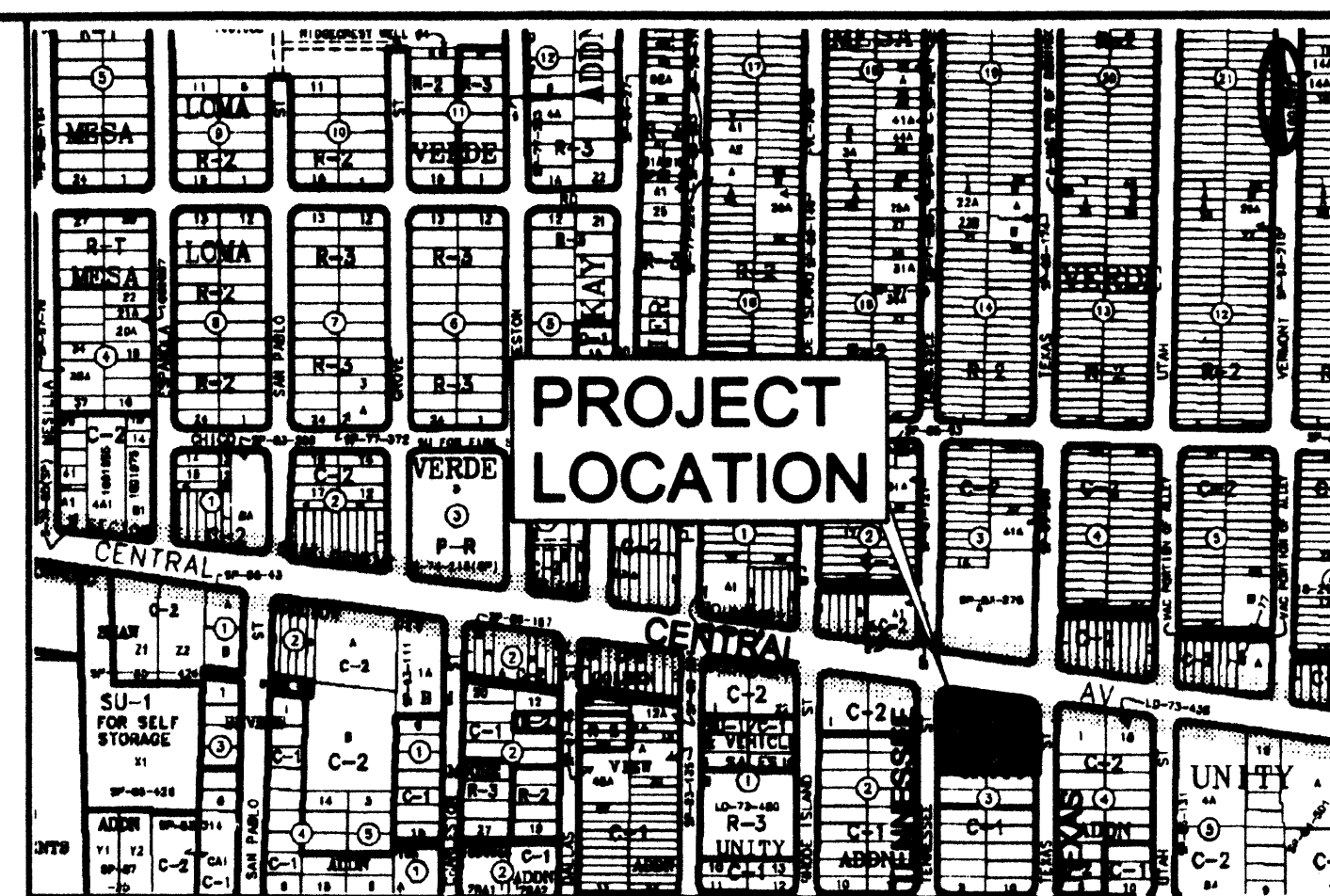
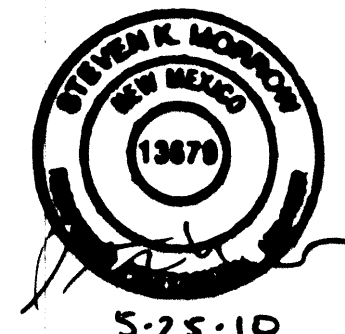
ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Braisher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3-02-00. The record information edited onto the original design document has been obtained by me as supplemental data to the original topographic survey prepared by Leonard G. Martinez, NMPS 9801 of the firm Braisher and Lorenz, Inc. and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679

5-25-10
Date



K-19 LOCATION MAP NTS



FLOOD HAZARD ZONE - FEMA - PANEL 35001C0358G

KEYED NOTES
① CURB DELETED
② CURB ADDED

GRADING & DRAINAGE PLAN PURPOSE AND SCOPE

PER THE ESTABLISHED DRAINAGE ORDINANCE OF THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN FOLLOWS THE DRAINAGE MANAGEMENT CRITERIA FOR PLANNING THE DEVELOPED RUNOFF COMBINED WITH THE OFFSITE FLOWS, IF ANY, FROM THE PROJECT SITE.

THE PROJECT CONSISTS OF THE RE-DEVELOPMENT OF THE PROPERTY. THE OBJECTIVE IS TO CONSTRUCT DRAINAGE FACILITIES THAT WILL USE THE ELEMENTS PROPOSED FOR OTHER USES TO SLOW THE DISCHARGE TO THE STREET TO AN EXTENT PRACTICAL. THE PARKING AREA WILL DETAIN THE RUNOFF AND IRRIGATE THE LANDSCAPING AT THE WEST SIDE OF THE SITE.

EXISTING CONDITIONS:

THE PROJECT SITE CONTAINS APPROXIMATELY 1.32 ACRES, AND IS LOCATED ON THE SOUTH SIDE OF CENTRAL, BETWEEN TEXAS AND TENNESSEE. THE SITE WAS ORIGINALLY DEVELOPED AS A MOTEL, AND HAS SINCE BEEN CLEARED. THE SITE IS BOUNDED ON THE EAST, WEST AND ACROSS CENTRAL, BY PAVED STREETS, AND FULLY-DEVELOPED COMMERCIAL PROPERTIES. CURRENTLY, RUNOFF GENERATED ON-SITE DRAINS WEST TO TENNESSEE, THEN NORTH TO CENTRAL. OFF-SITE RUNOFF, FROM THE EAST, IS CHANNIELED BY EXISTING STREET PAVING IN TEXAS, TO THE EXISTING STORM DRAIN SYSTEM IN CENTRAL. AS SHOWN ON FEMA FLOOD HAZARD ZONE PANEL 35001C0358G, THE 100 YEAR FLOOD HAZARD ZONE IS CONFINED WITHIN THE PAVED STREET.

PROPOSED CONDITIONS:

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE RE-DEVELOPED AS A 40-UNIT APARTMENT BUILDING WITH PARKING, SIDEWALKS, AND LANDSCAPING. THE PLAN SHOWS THE FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE SITE AS IT IS NOW GRADED, AND INTENDED TO ENSURE ITS ELEVATION ABOVE THE LEVEL OF THE FLOOD HAZARD. ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES AND LOW CHANNELS, CONVEYING RUNOFF TO TENNESSEE, THEN TO CENTRAL. THE PLAN SHOWS THE ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR DEVELOPED CONDITIONS. SINCE THIS IS AN INWELL SITE, NO ON-SITE PONDING IS REQUIRED. TEMPORARY EROSION CONTROL MEASURES WILL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. SILT FENCING IS RECOMMENDED ALONG THE DOWNSTREAM CONSTRUCTION BOUNDARIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. STORM WATER FLOWS GENERATED BY THIS DEVELOPMENT AND CONVEYED TO THE EXISTING STREETS AND CLOSED-CONDUIT SYSTEM DO NOT AFFECT THE

CALCULATIONS:

THE CALCULATIONS SHOWN HEREON DEFINE THE 100 YEAR 6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

NOTICE TO CONTRACTORS

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction.
3. Two working days prior to any excavation, The Contractor must contact Line Locating Service, 260-1990, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical location of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to commercial street use.
6. Maintenance of those facilities shall be the responsibility of the Owner of the property served.

SO-19

| APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |

THIS SHEET IS CURRENT AS OF 07-09-09
SEE S.O. 17 LETTER OF APPROVAL FROM CITY OF ALBUQ. DATED 03-31-09

| REVISIONS | DATE | REVISION |
|-----------|------------|---|
| 1 | 02/04/2009 | REVISED SWALE GRADING AND MIN. SITE ELEVATION PER CLUMP |

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT SHEET 3 of 7
BRASHER & LORENZ
CONSULTING ENGINEERS
2301 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
PH: 505-886-6088 FAX: 505-886-6186

PROJECT NO.
40-A-07
DRAWING NO.
3 of 5

T C Architects, Incorporated

EHDOC - ED ROMERO TERRACE
40 UNIT SENIOR CITIZENS APARTMENT BUILDING
8100 CENTRAL AVE. S.E., ALBUQUERQUE, NM
GRADING AND DRAINAGE PLAN

Phone (330) 867-1093
Fax (330) 867-4198

755 White Pond Drive, Suite 401
Akron, Ohio 44320

| LEGEND | | |
|---|----------|----------|
| ITEM | EXISTING | PROPOSED |
| WATERLINE | 8"W | 8"W |
| SANITARY SEWER | 8"SAS | 8"SAS |
| STORM SEWER | 36"SD | 24"SD |
| FIRE HYDRANT | | |
| VALVE | | |
| WATER SERVICE (SINGLE) | | |
| WATER SERVICE (DOUBLE) | | |
| MANHOLE | | |
| SEWER SERVICE | | |
| POWER POLE (GUYED) | | |
| DROP INLET | | |
| OVERHEAD ELEC | OHE | |
| UNDERGROUND ELEC. | UGT | |
| GAS, TEL, TV | | |
| TEL. PEDESTAL | TEL | |
| RIGHT OF WAY | | |
| EASEMENT LINE | | |
| PROPERTY LINE | | |
| CENTERLINE | | |
| FIRE LANE - NO PARKING - CURB PAINTED RED | | |

| ITEM | EXISTING | PROPOSED |
|------------------------------|----------|----------|
| ROOF DRAIN | | |
| CHAIN LINK FENCE | | |
| RETAINING WALL | | |
| PILASTER / WROUGHT IRON WALL | | |
| DRAINAGE BASIN | | |
| DIVIDE | | |
| TOP OF ASPHALT ELEV. | TA 16.2 | TA 16.3 |
| SPOT ELEV. | X 16.7 | 87.28 |
| CURB | | |
| FLOWLINE ELEV. | FL 0.14 | FL 0.14 |
| TOP OF CURB ELEV. | TC 99.3 | TC 99.31 |
| CONTOUR | 5106 | 66 |
| SWALE | | |
| DIRECTION OF FLOW | | |
| WATER BLOCK | | |
| LANDSCAPED AREA | | |

RESULTS OF HYDROLOGY COMPUTATIONS

ANYMO PROGRAM SUMMARY TABLE (ANYMO_97) -
INPUT FILE = C:\EDROMERO.DAT

| COMMAND | HYDROGRAPH ID | ID NO. | AREA (SQ. MI.) | PEAK DISCHARGE (CFS) | RUNOFF VOLUME (AC-FT) | RUNOFF PEAK (INCHES) | TIME TO PEAK (HOURS) | ACRE | PER ACRE | NOTATION |
|---------|---------------|--------|----------------|----------------------|-----------------------|----------------------|----------------------|-------|----------------|----------|
| START | 1 | 101.10 | 1 | 0.0060 | 1.53 | 0.054 | 1.68717 | 1.518 | 3.985 PER ACRE | 50.00 |
| FINISH | 2 | 102.10 | 2 | 0.0150 | 4.54 | 0.173 | 2.15649 | 1.485 | 4.728 PER ACRE | 85.00 |

NOTE (07/01/08)
THIS PLAN REVISES THE PREVIOUS PLAN DATED 04/21/08:
- TO SHOW MORE ACCURATELY THE FLOOD HAZARD ZONE AS MAPPED BY FEMA, THOUGH NOT NECESSARILY AS IT OCCURS DURING ACTUAL STORM EVENTS
- TO RECTIFY THE DISPLAY OF THE TOPOGRAPHIC MAPPING WITH THE PROJECT PROPERTY LINES