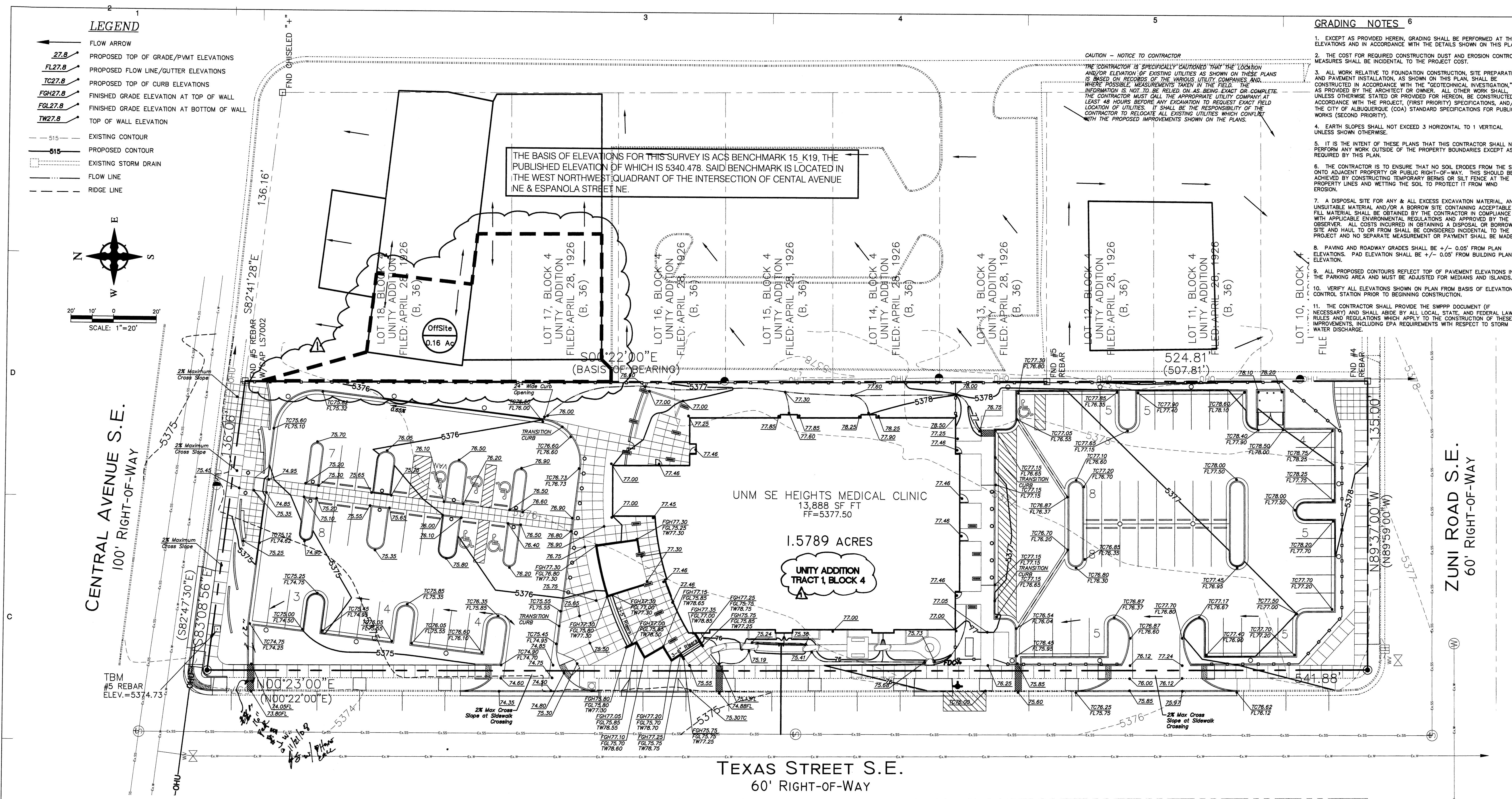
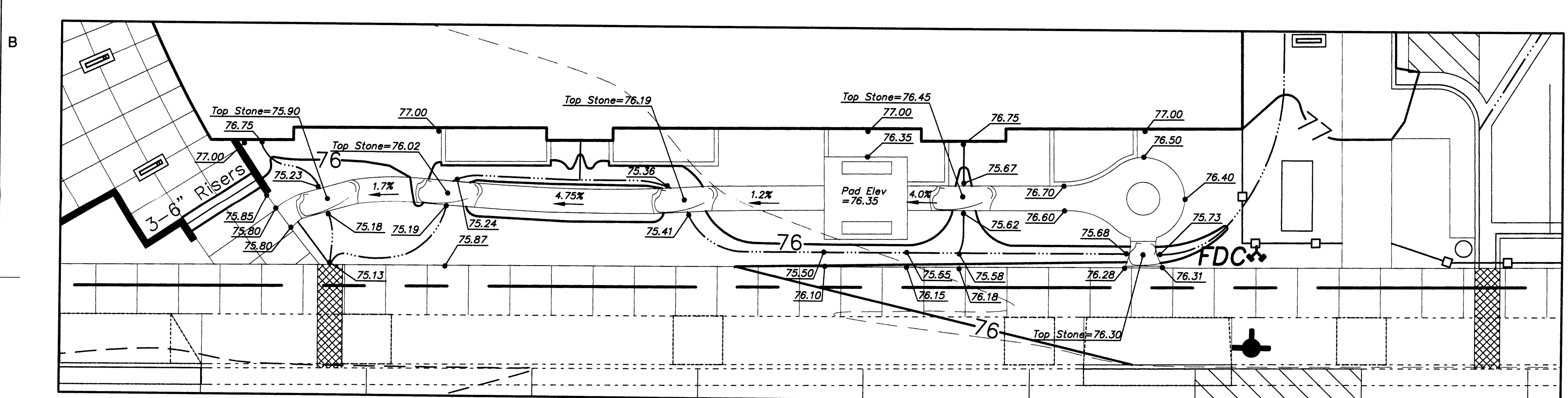




- LEGEND**
- 27.8 FLOW ARROW
 - FL27.8 PROPOSED TOP OF GRADE/PWT ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGH27.8 FINISHED GRADE ELEVATION AT TOP OF WALL
 - FW27.8 FINISHED GRADE ELEVATION AT BOTTOM OF WALL
 - 515 EXISTING CONTOUR
 - 515 PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE
- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING, DISPOSING, OR BORROWING SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +1.00' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING ELEVATION.
 - ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
 - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES, AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



Proposed UNM Hospital SE Heights Center for Family Health
Drainage Calculations (based on COA DPM Section 22.2, Hydrologic Zone 3)

BASIN	Area (SF)	Area (AC)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (in)	V(100)360 (CF)
			A	B	C	D				
Existing	72,000	1.65	0.0%	0.00%	5.0%	95.0%	4.94	8.17	2.31	13,939
Proposed	72,000	1.65	0.0%	0.00%	20.0%	80.0%	4.71	7.78	2.15	12,876
Off-Site	6,837	0.16	0.0%	0.00%	10.0%	90.0%	4.86	0.78	2.25	1,284

DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a final drainage management plan for the proposed building and parking lot serving UNM Hospital's SE Heights Center for Family Health, which is located at 8200 Central Ave SE (SE Corner of Central Ave SE and Texas Street SE) in Albuquerque, New Mexico. The site contains approximately 1.65 acres.

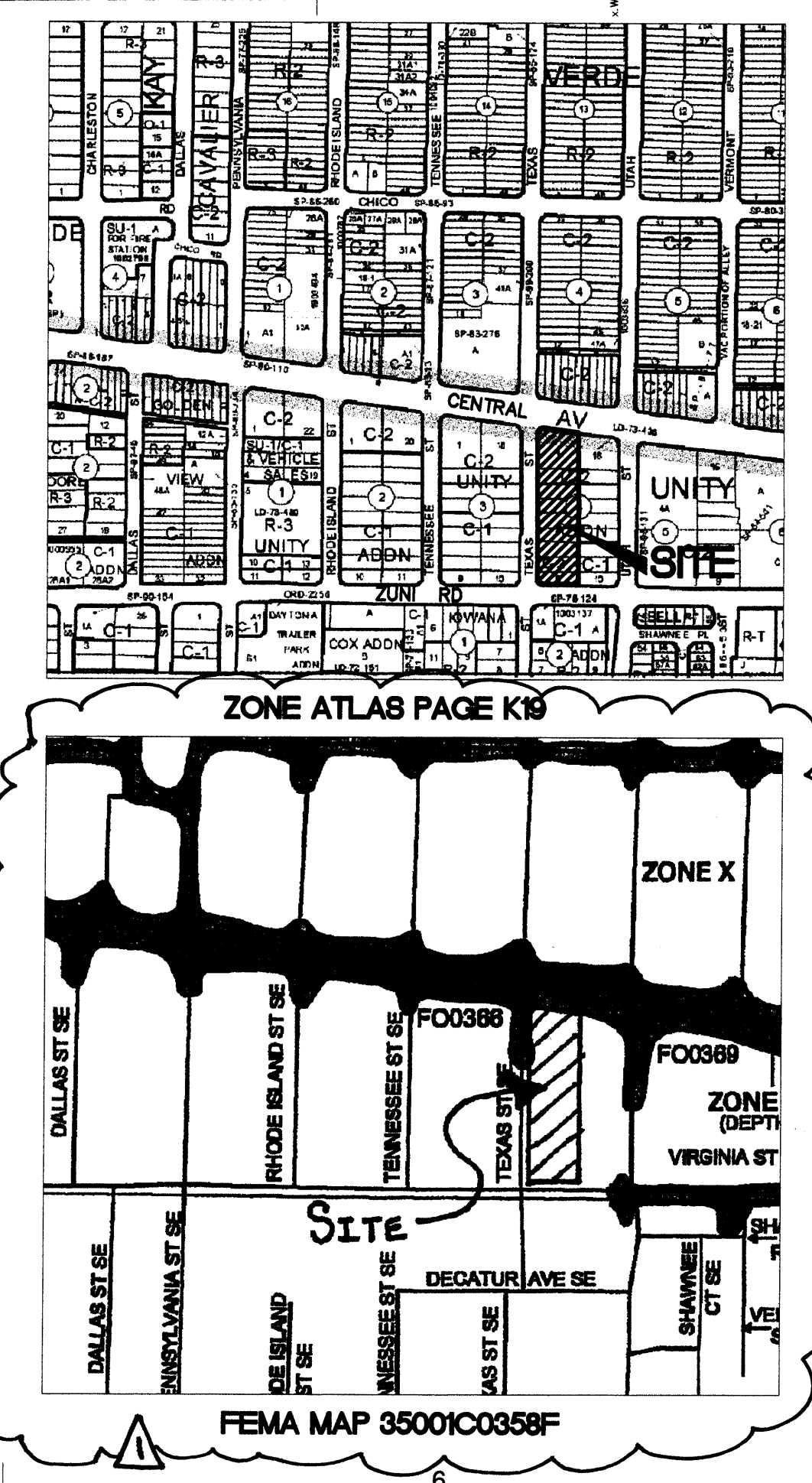
EXISTING HYDROLOGIC CONDITIONS
The site has previously been developed and drains via surface flow in a northwesterly direction to Central Ave. In researching past aerial photos, it appears the site was an auto salvage yard of some sort. It also appears the site was paved with asphalt and was approximately 95% impervious. Per the below table, the previous runoff from the site was approximately 8.17 cfs. During a site visit and analyzing the adjacent sites building and parking lot drainage, it has been determined that there is approximately 0.78 cfs of runoff draining onto the site from the east. This has a minimal impact on this site.

PROPOSED HYDROLOGIC CONDITIONS
The site will continue to drain via surface flow in a northwesterly direction to Central Ave. The calculations for the developed site (see Table below) show the 100-year runoff rate to be a total of 7.78 cfs. Since the proposed site is approximately 80% impervious, the actual flows from the site will be reduced by approximately 0.39 cfs. Again, the 0.78 cfs draining onto the site from the eastern property will have a minimal impact.

CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100-year storm and which meets city requirements. The site was previously developed with more impervious area than that which is proposed, thereby reducing actual drainage flows leaving the site to the northwest. The proposed improvements to the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting the SO-19 Permit Approval.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT (SO-19) WILL BE REQUIRED FROM THE CITY OF ALBUQUERQUE BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. THIS INCLUDES ANY SIDEWALK REMOVAL, NEW SIDEWALK, SIDEWALK CULVERTS, ETC.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERNAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 280-1990, FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = 811)
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



ARCHITECTS

Fanning Bard Tatum Architects AIA, Ltd.

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UNM HOSPITAL
SE HEIGHTS CENTER
FOR FAMILY HEALTH
8200 CENTRAL AVE. SE
ALBUQUERQUE, NEW MEXICO

MAY 16, 2008

1.	July 14, 2008	Address COA Hydrology Comments
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MARK	DATE	DESCRIPTION

PROJECT NO: 2007053
CAD DWG FILE: 808205-0100.DWG
DRAWN BY: JTW
CHECKED BY: JTW

SHEET TITLE

RECEIVED

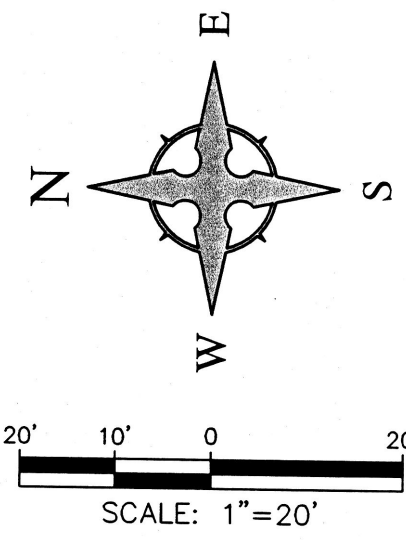
JUL 23 2008

HYDROLOGY SECTION

GRADING PLAN

C1.4

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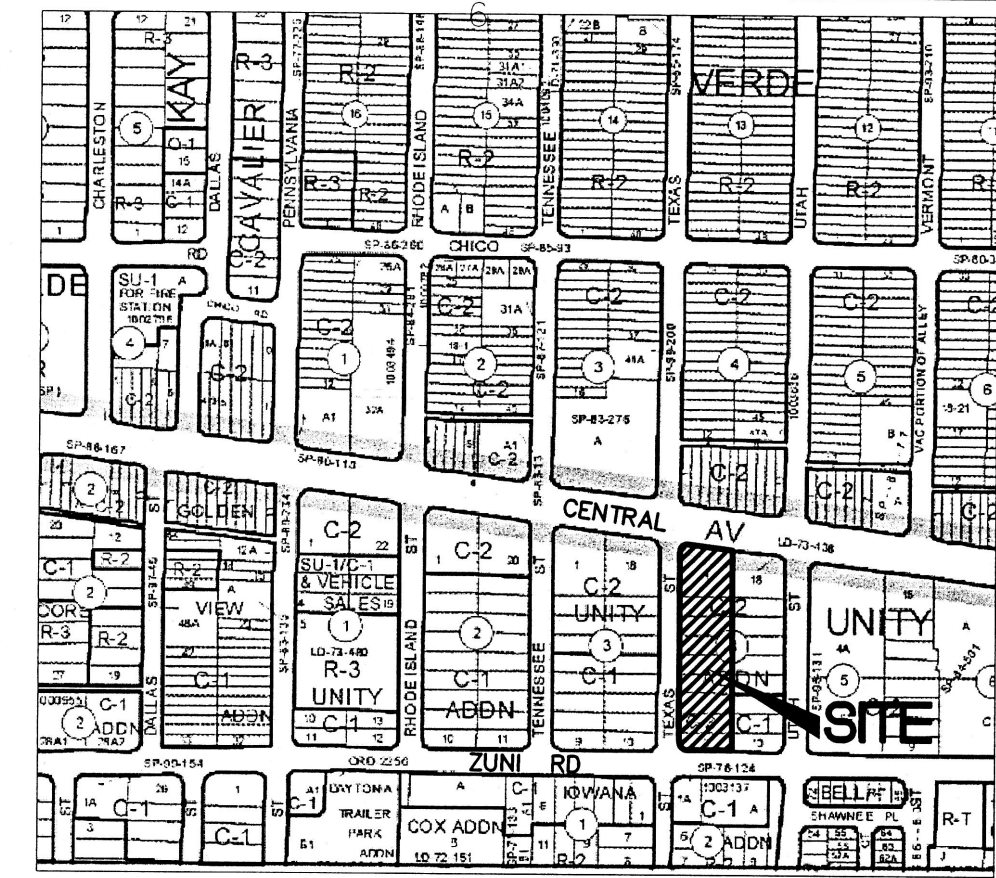
LEGEND

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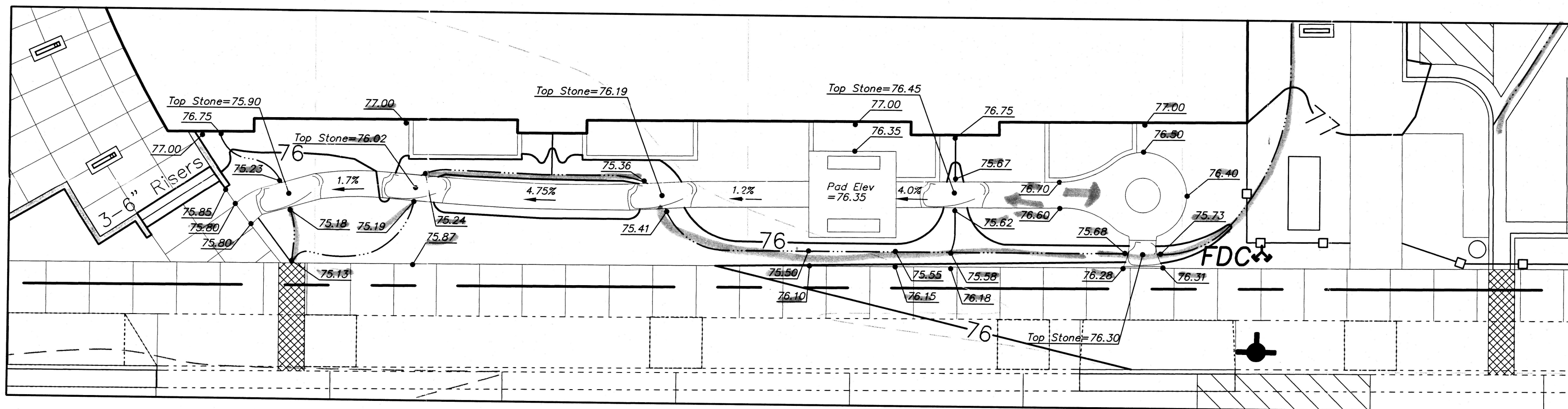
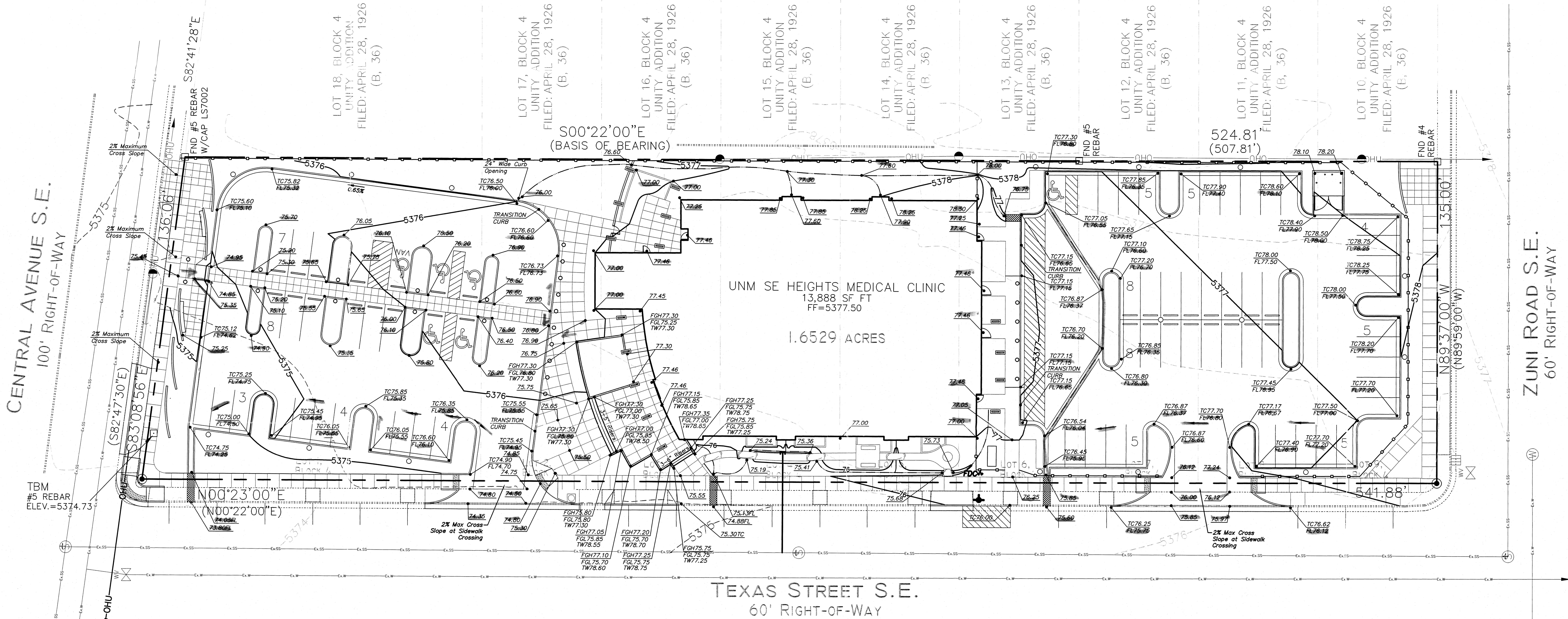
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 15_K19, THE PUBLISHED ELEVATION OF WHICH IS 5340.478. SAID BENCHMARK IS LOCATED IN THE WEST NORTHWEST QUADRANT OF THE INTERSECTION OF CENTAL AVENUE NE & ESPANOLA STREET NE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



ZONE ATLAS PAGE K19



ALTERNATE NO. 1 - VIETNAMESE GARDEN GRADING PLAN

Scale: 1" = 10'

Proposed UNM Hospital SE Heights Center for Family Health Drainage Calculations (based on COA DPM Section 22.2, Hydrologic Zone 3)									
BASIN	Area (SF)	Area (AC)	Land Treatment Percentages				Q(100)	Q(100)	V(100) ₃₆₀
			A	B	C	D	(cfs/ac.)	(CFS)	
Existing	72,000	1.65	0.0%	0.00%	5.0%	95.0%	4.94	8.17	2.31
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INTRODUCTION

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EXISTING HYDROLOGIC CONDITIONS

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PROPOSED HYDROLOGIC CONDITIONS

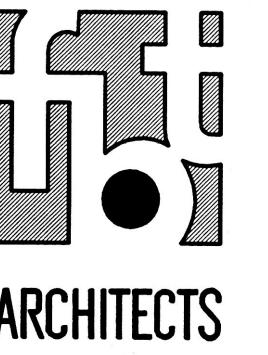
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CONCLUSION

This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meets city requirements. The site was previously developed with more impervious area than that which is proposed, thereby reducing actual drainage flows leaving the site to the northwest. The proposed improvements to the site should not have any negative impacts to facilities downstream. With this submittal, we are requesting final grading and drainage plan approval as well as Building Permit Approval.

GRADING NOTES

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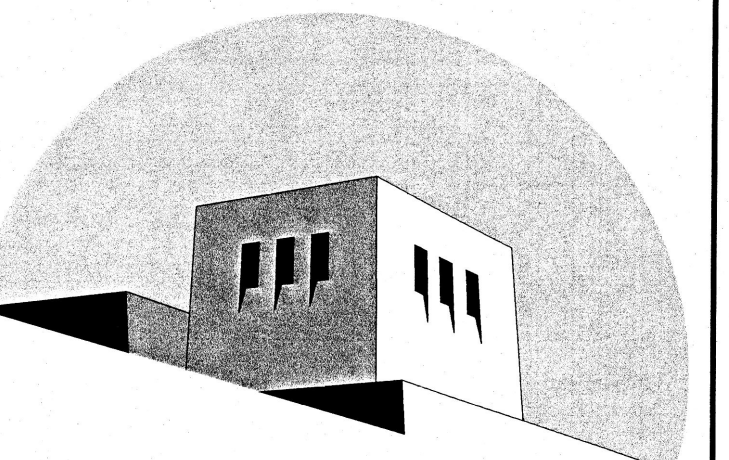
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CONSULTANT

Wooten
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