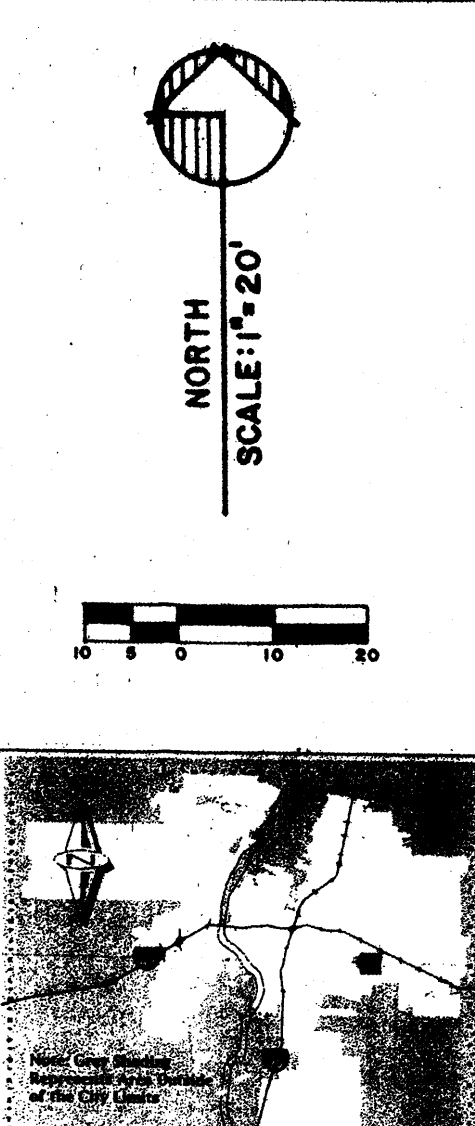
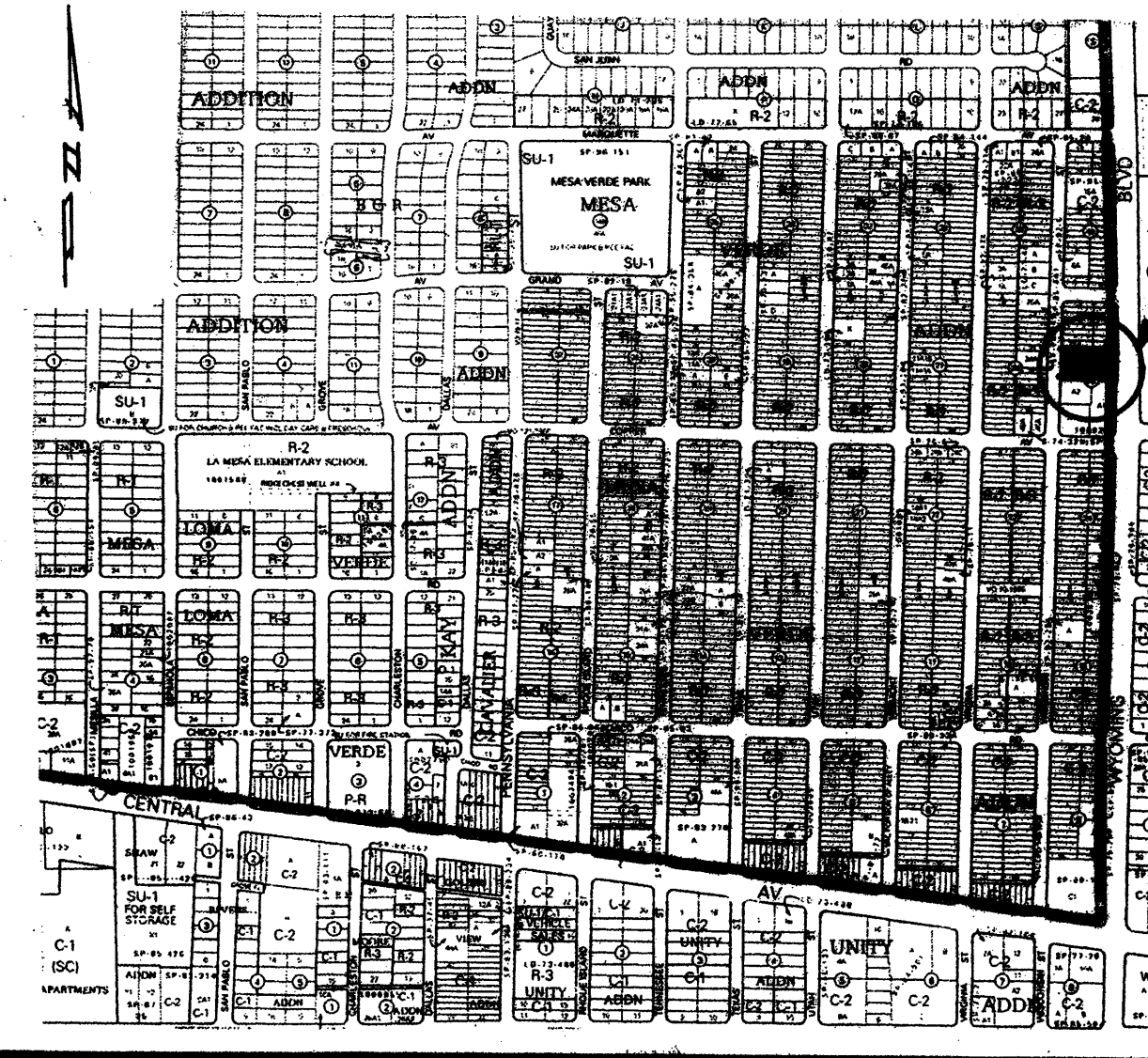




VICINITY MAP K-19-Z

LOCATION MAP

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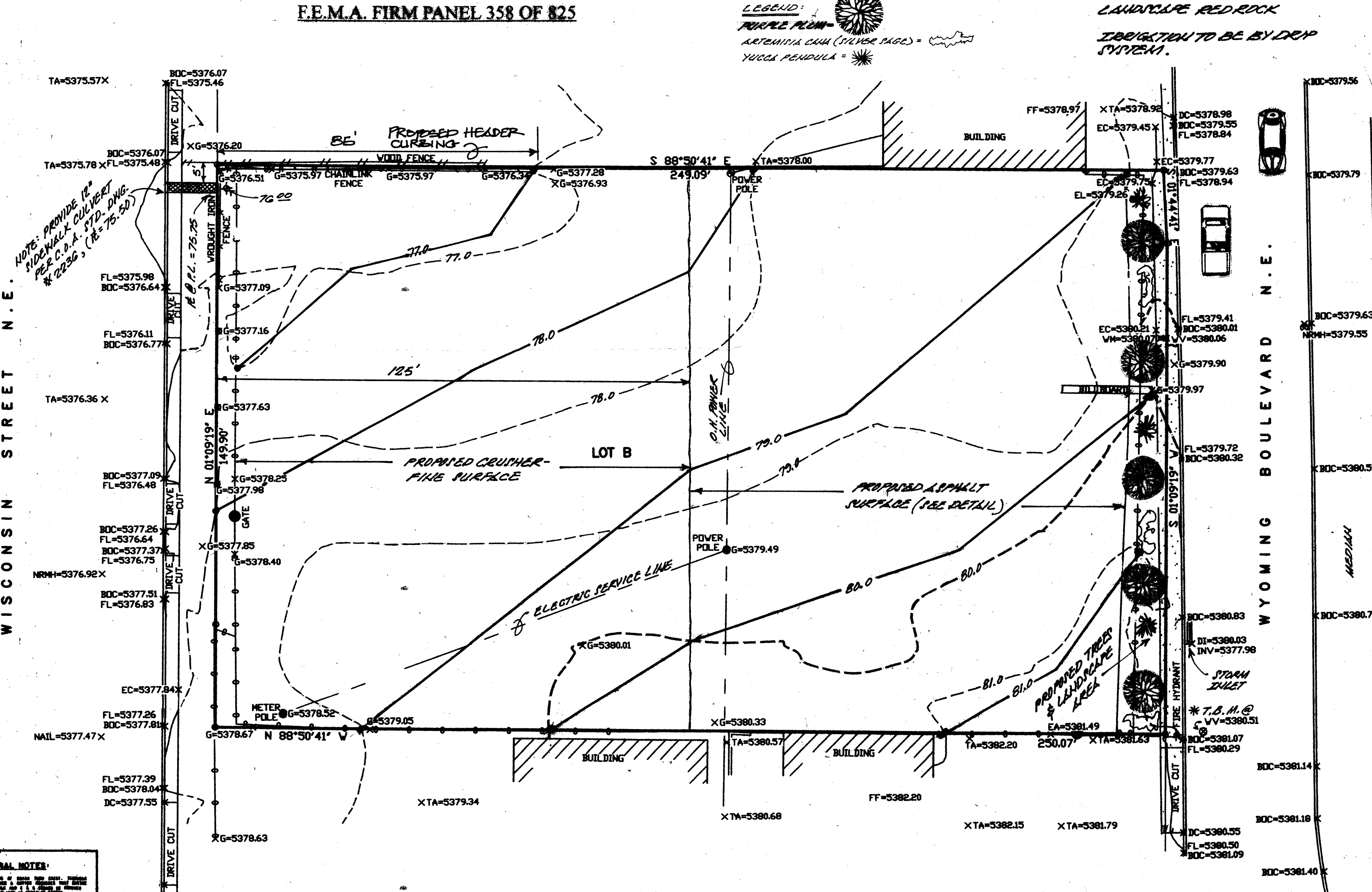
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F.E.M.A. FIRM PANEL 358 OF 825

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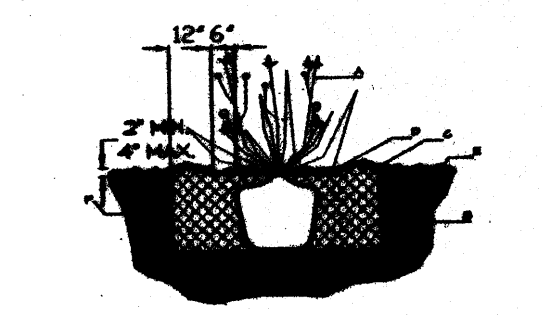
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LANDSCAPE MAINTENANCE IS RESPONSIBILITY OF LAND OWNER.

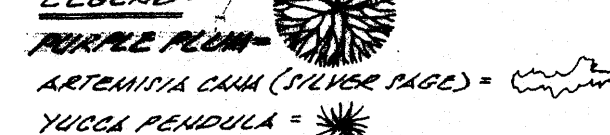


SHRUB PLANTING DETAIL

- GENERAL NOTES:
- 1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASK SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- A. SHRUB.
- B. BACKFILL WITH EXISTING SOIL.
- C. EARTH BERM AROUND WATER RETENTION BASK.
- D. 3" DEPTH OF GRAVEL MULCH.
- E. FINISH GRADE.
- F. UNDISTURBED SOIL.

NOTE: LANDSCAPING PLAN SHALL BE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION, POLLUTION, AND WASTE WATER ORDINANCE.

LEGEND:



TREE PLANTING DETAIL

- GENERAL NOTES:
- 1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE HAS GROWN AND DISE. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH OF GRAVEL MULCH.
- D. UNDISTURBED SOIL.

GROUND COVER TO BE 34" LANDSCAPE RED ROCK IRRIGATION TO BE BY DROP SYSTEM.

TABLE A-1. PRECIPITATION ZONES

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Belknap, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Belknap, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity (100-YR. 2-YR. 10-YR.)
1	4.70 (1.84, 3.14)
2	5.03 (2.04, 3.41)
3	5.38 (2.11, 3.65)
4	5.61 (2.34, 3.83)

TABLE A-4. LAND TREATMENT

Treatment	Land Condition
A	Soil unprotected by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Cephale, Unflooded Areas.
B	Integrating lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unprotected by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unprotected by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most recent lots. Gravel or rock on planar (steep) landscaping. Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unprotected by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-3. PEAK DISCHARGE (cfs/acre)

Zone	Treatment	100-YR. (2-YR. 10-YR.)
1	A	1.79 (0.00, 0.24)
1	B	2.03 (0.33, 0.76)
1	C	2.87 (0.47, 1.49)
1	D	4.37 (1.69, 2.89)
2	A	1.56 (0.00, 0.38)
2	B	2.28 (0.08, 0.95)
2	C	3.14 (0.60, 1.71)
2	D	4.70 (1.86, 3.14)
3	A	1.87 (0.00, 0.58)
3	B	2.60 (0.21, 1.19)
3	C	3.45 (0.78, 2.09)
3	D	5.02 (2.04, 3.39)
4	A	2.20 (0.05, 0.87)
4	B	2.92 (0.36, 1.45)
4	C	3.73 (1.00, 2.36)
4	D	5.25 (2.17, 3.57)

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED APPROXIMATELY 200' NORTH OF COPPER AVENUE N.E. ON THE WEST SIDE OF WYOMING BOULEVARD N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE SUBJECT SITE IS AN UNDEVELOPED VACANT SITE THAT IS PRESENTLY BEING USED TO STORE AUTOMOBILES; THE PROPOSED PLAN IS TO PAVE THE EASTERLY ONE - HALF (1/2) OF SAID SITE AND TO PROVIDE SOME LANDSCAPE BUFFERING. THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4) WILL DISCHARGE FLOWS INTO WISCONSIN AVENUE N.E. VIA A CITY OF ALBUQUERQUE STANDARD SIDEWALK CULVERT, SAID DISCHARGED FLOWS WILL NOT HAVE AN ADVERSE AFFECT TO DOWNSTREAM PROPERTIES.

DRAINAGE CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 0.86 ACRES
PRECIPITATION ZONE: THREE (3)
PEAK INTENSITY: IN./HR. AT 10 = TWELVE (12) MINUTES, 100-YR. - 6 HOUR = 5.38
"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp", TABLES A-3 & A-4
"LAND TREATMENT FACTORS", TABLE A-4

EXISTING CONDITIONS:

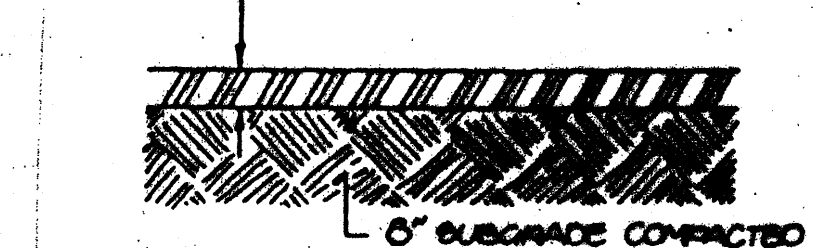
TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.86	x 3.45	= 2.97

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.46	x 3.45	= 1.59
D	0.40	x 5.02	= 2.01

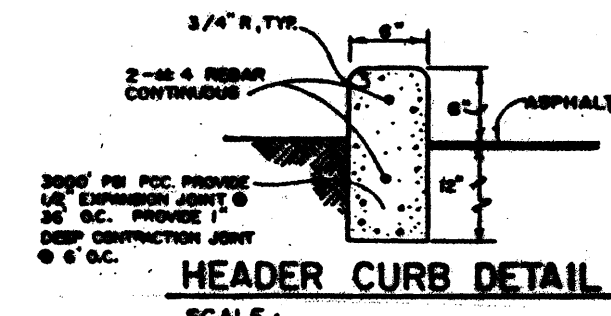
"Qp" = 3.60 CFS
*** INCREASE = 0.63 CFS

2" ASPHALTIC CONCRETE SURFACE COURSE, 1500 # STABILITY



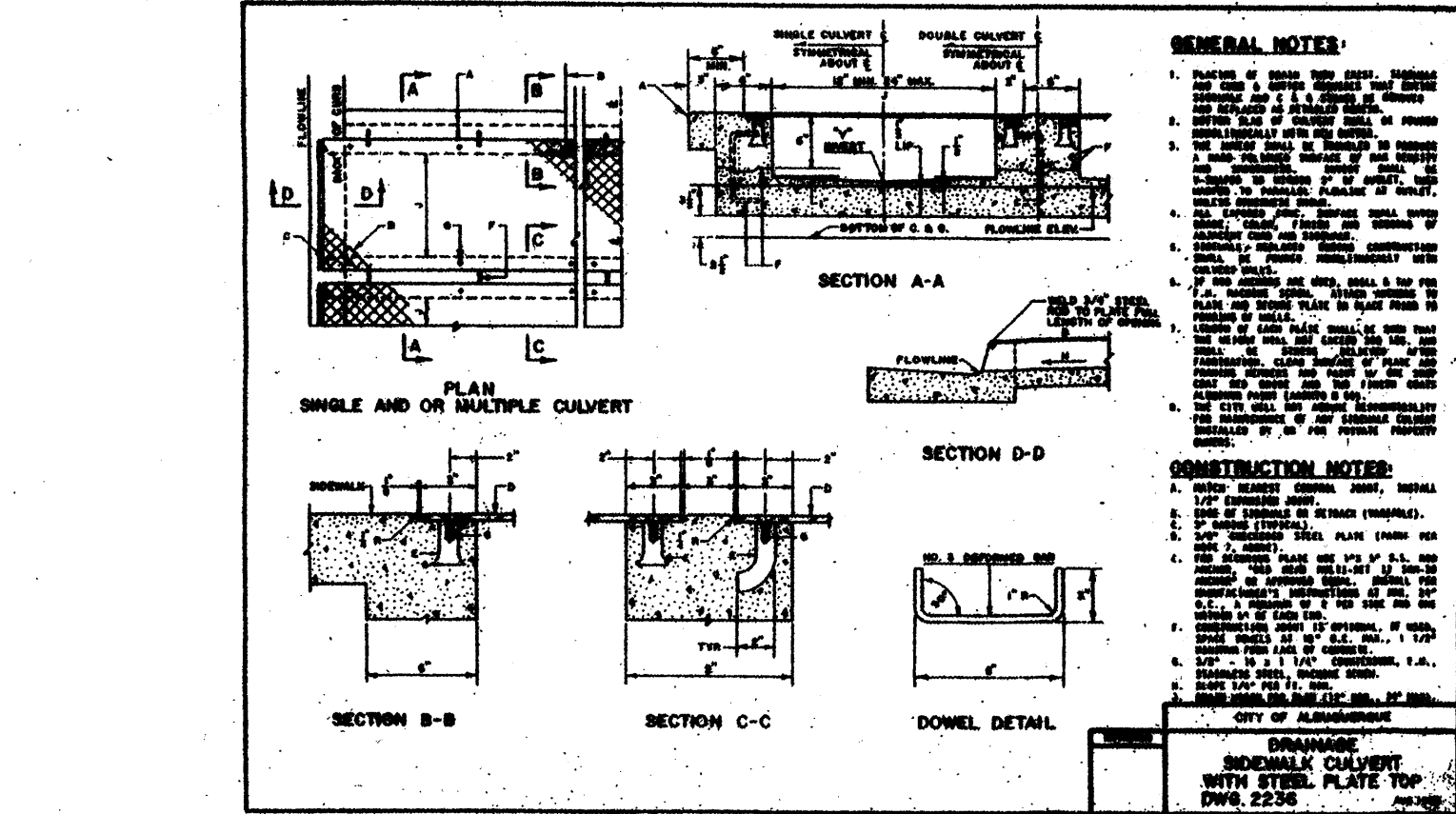
TYPICAL PAVEMENT SECTION

SCALE: 1" = 1'-0"



HEADER CURB DETAIL

SCALE: 1" = 1'-0"



PLAN AND SECTION A-A

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