

CITY OF ALBUQUERQUE



January 9, 2020

James Benjamin Clark, RA
Masterworks Architects, Inc.
516 11th St. NW
Albuquerque, NM 87102

**Re: Lindo Mexico Addn.
7209 Central Ave NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 5-20-19 (K19D144)
Certification dated 1-8-20**

Dear Mr. Clark,

Based upon the information provided in your submittal received 1-8-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

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NM 87103

www.cabq.gov

- Please label the 4 small cars stalls. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
- Please add bicycle rack.
- Please add motorcycle signs. Each Motorcycle parking space shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the IDO.
- Please add to ADA access aisles. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
- Please update ADA signs. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.

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Once these corrections are complete, email pictures showing the changes to PLNDRS@cabq.gov, and epgomez@cabq.gov for release of Final CO. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

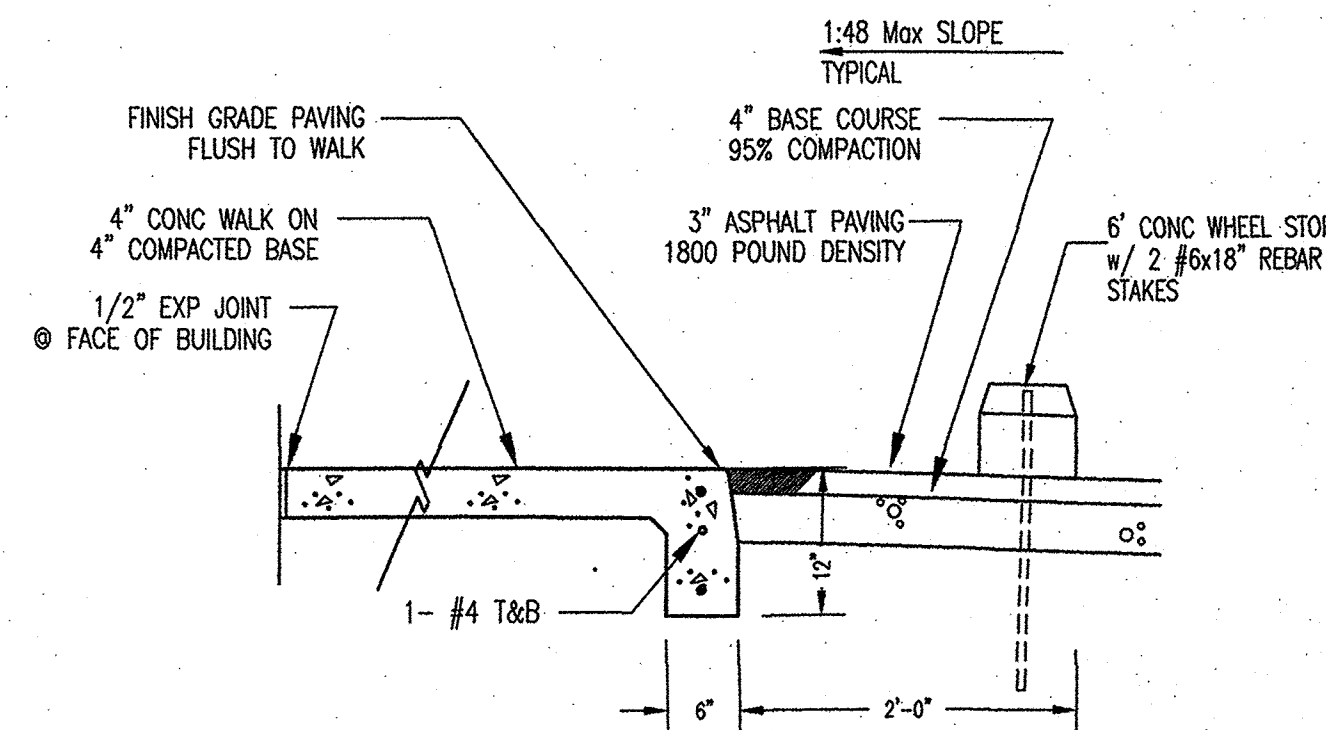
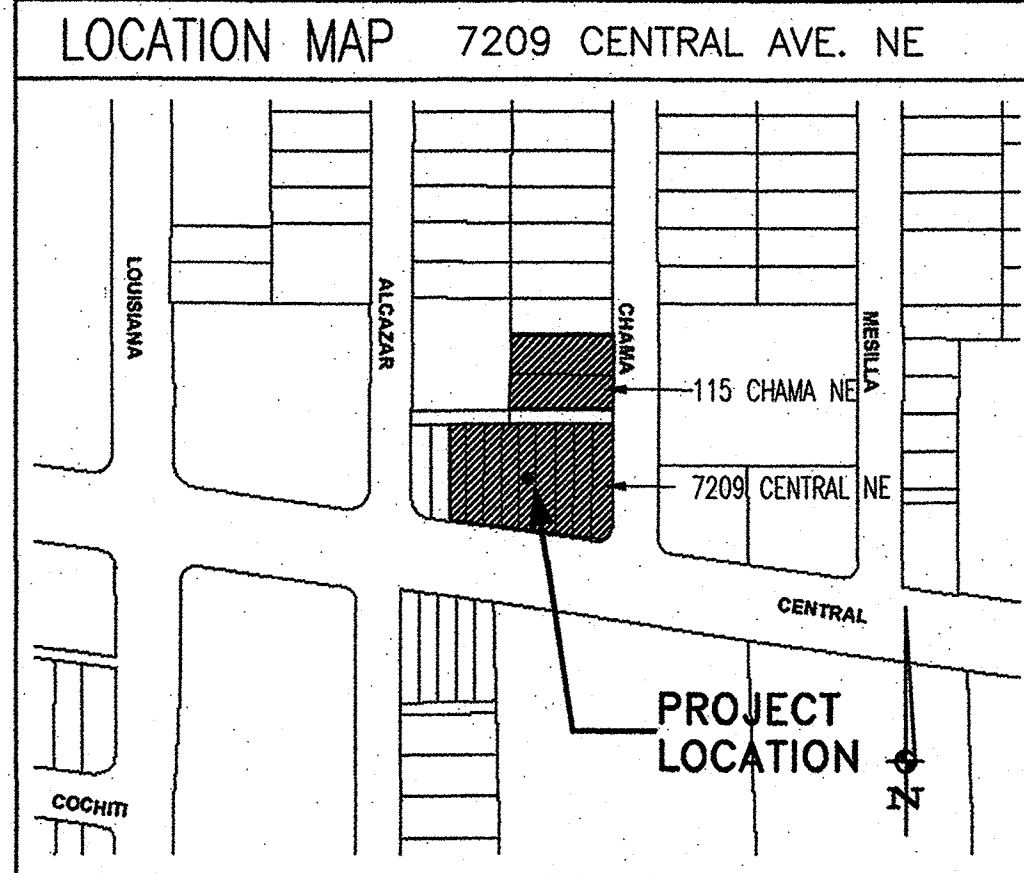
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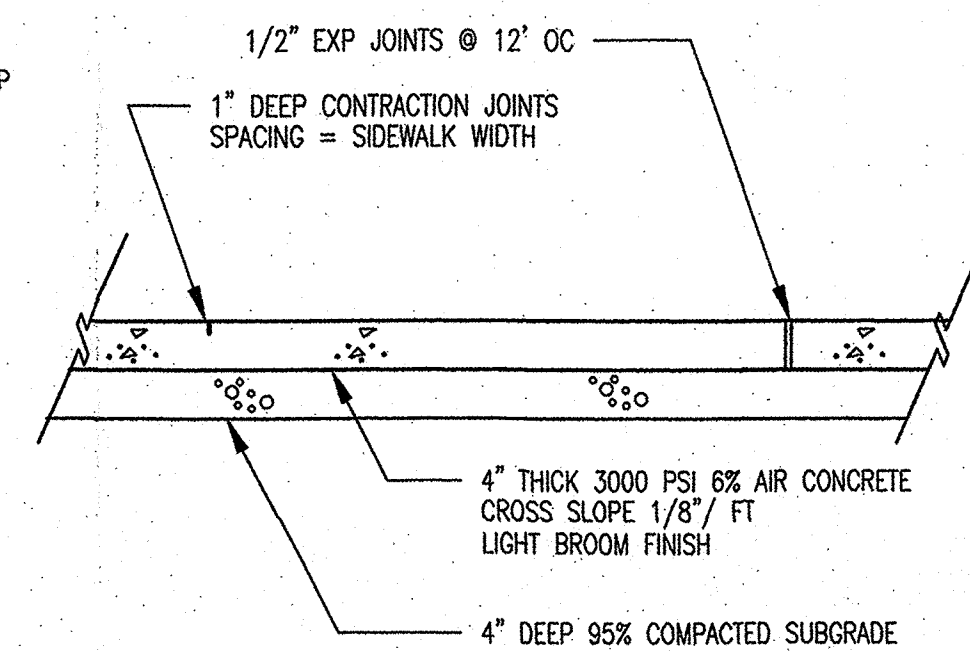
PARKING CALCULATIONS I.D.O. TABLE 5-1-1

AUTOMOBILES AND LIGHT TRUCKS
 EXISTING BUILDING: SEATING CAPACITY 173 PERSONS FLOOR AREA 6,231.3 SF
 THIS ADDITION: SEATING CAPACITY 40 PERSONS FLOOR AREA 661.5 SF
 RESTAURANT w/ BEER-WINE LICENSE FLOOR AREA 6,892.8 SF
 8 SPACES / 1000 CSF 0.008 * 6,892.8 SF = 56 SPACES
 CENTRAL AVE. BUS ROUTE REDUCTION @ 30% -17 SPACES
 TOTAL REQUIRED PARKING SPACES: 39 SPACES
 TOTAL PROVIDED PARKING SPACES: 42 SPACES

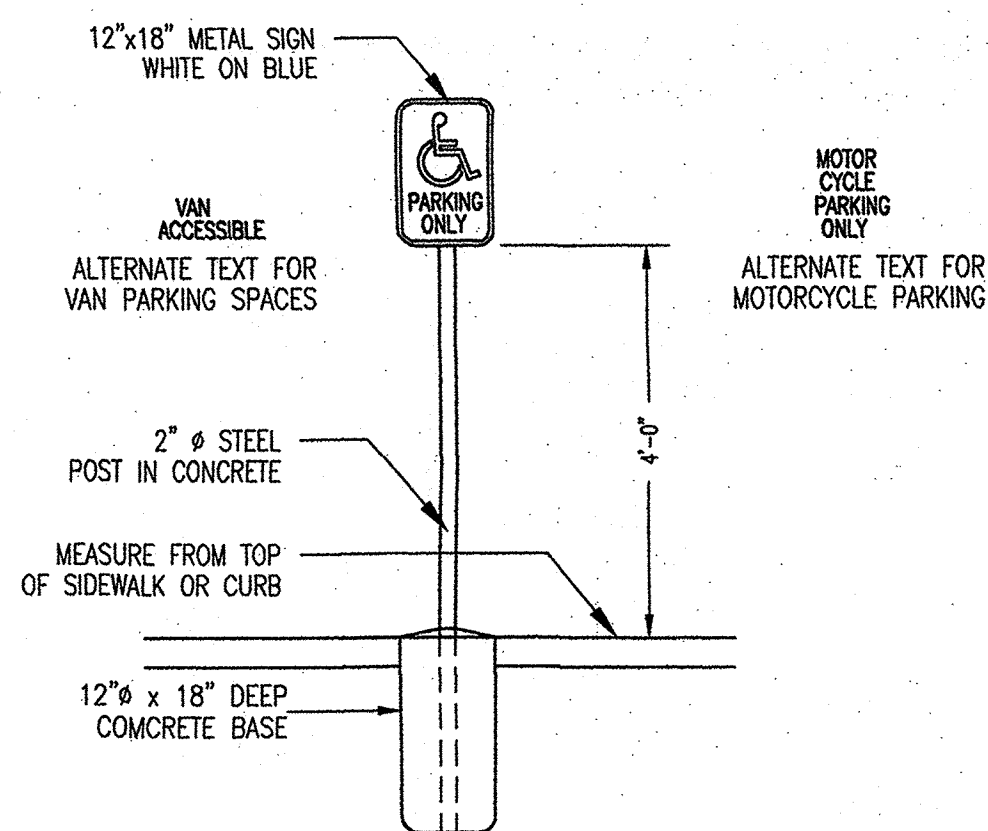
| OTHER PARKING | ACCESSIBLE PARKING SPACES | MOTORCYCLE PARKING SPACES | BICYCLE PARKING SPACES |
|----------------------------|---------------------------|---------------------------|------------------------|
| BASIC PARKING SPACES REQD. | 39 SPACES | 39 SPACES | 39 SPACES |
| REQUIRED NUMBER OF SPACES | = 3 SPACES | = 2 SPACES | = 3 SPACES |
| TOTAL SPACES PROVIDED: | 4 SPACES | 2 SPACES | 3 SPACES |



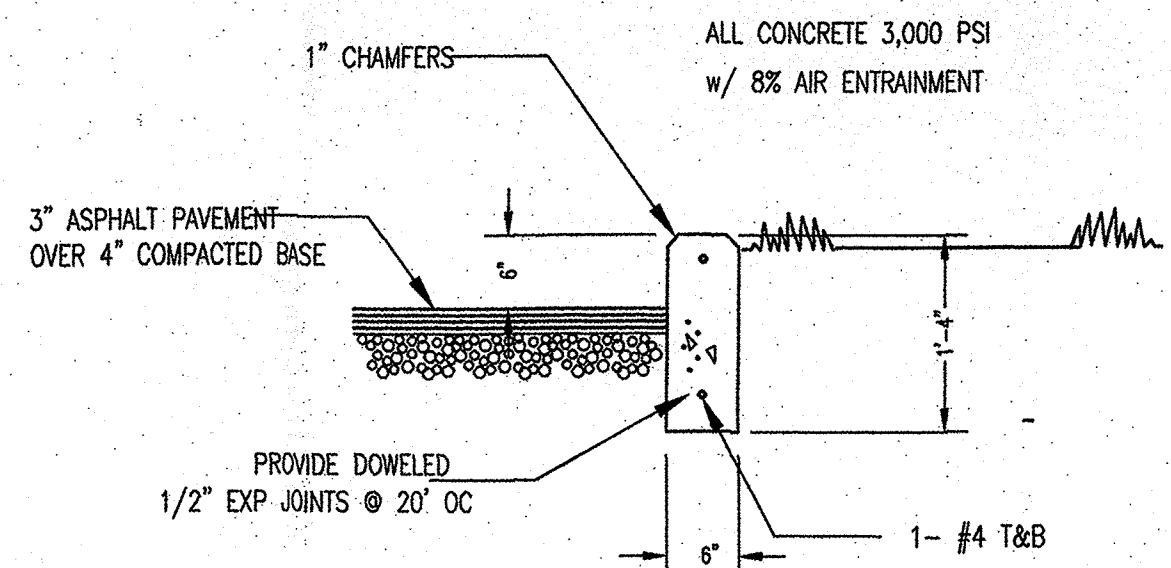
3 PAVING @ SIDEWALK
 SCALE: 3/4" = 1'-0"



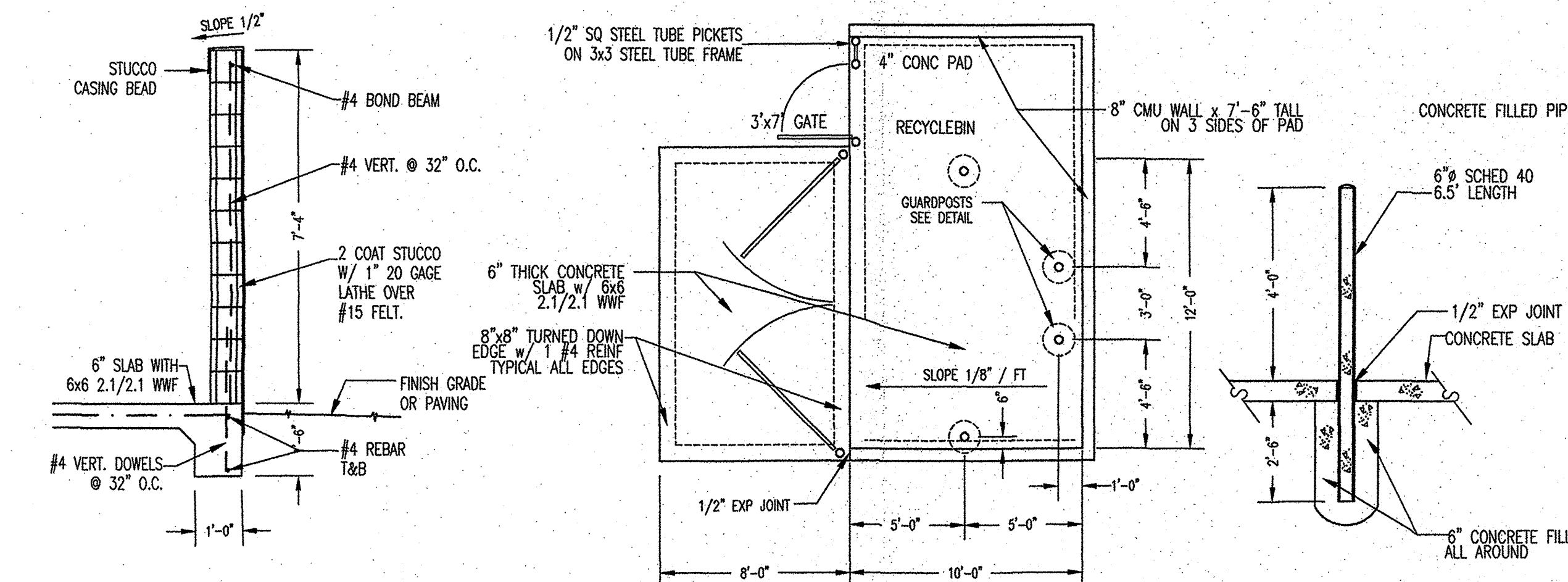
4 TYPICAL SIDEWALK
 SCALE: 3/4" = 1'-0"



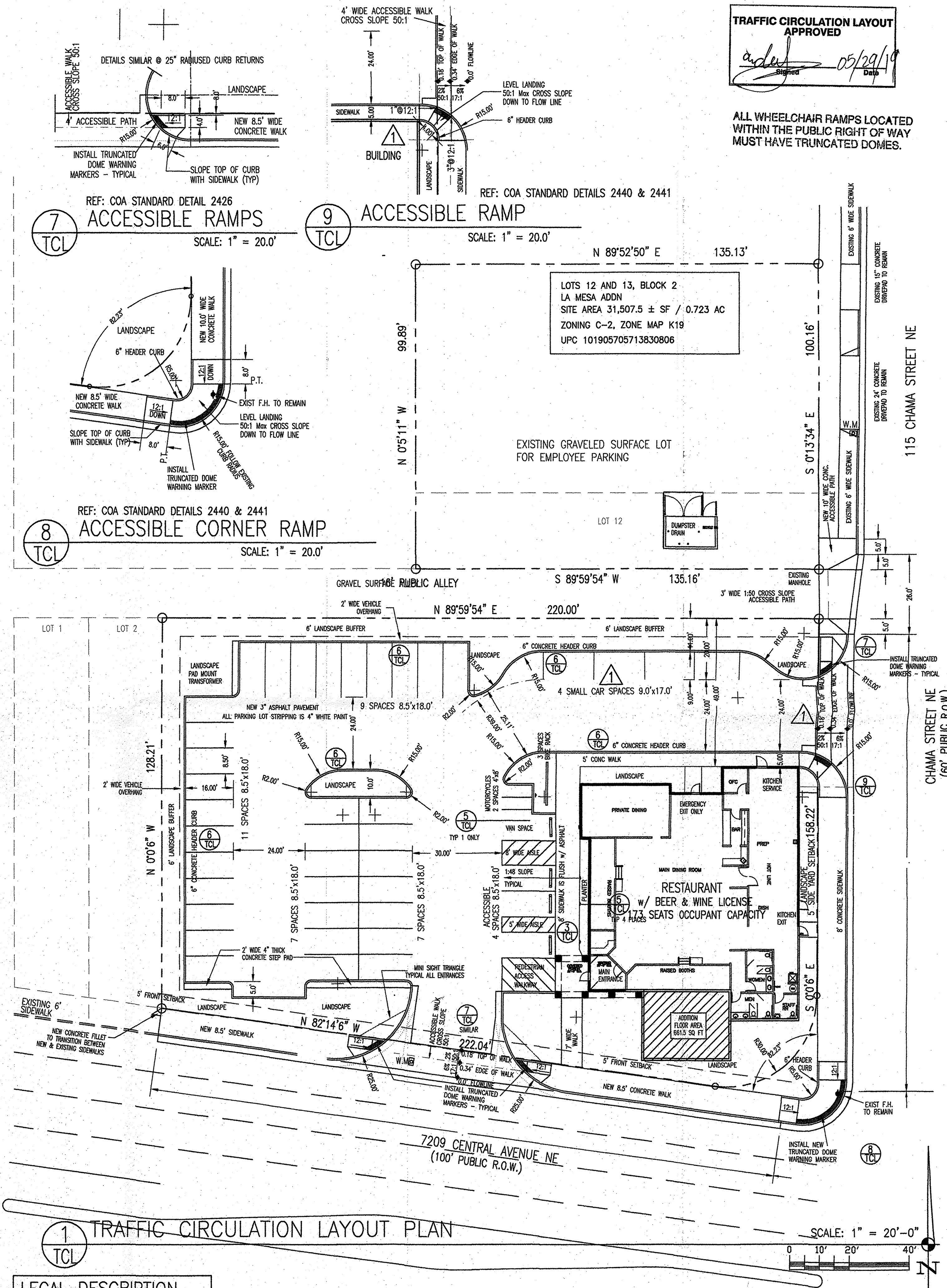
5 PARKING SIGNAGE
 SCALE: 1/2" = 1'-0"



6 CONCRETE HEADER CURB DETAIL
 SCALE: 3/4" = 1'-0"



2 CMU DUMPSTER ENCLOSURE
 SCALE: 1/2" & 1/4" & 1/2" = 1'-0"



LEGAL DESCRIPTION
 LOTS 3 THRU 11, BLOCK 2
 LA MESA ADDN
 SITE AREA 31,507.5 ± SF / 0.723 AC
 ZONING C-2, ZONE MAP K19
 UPC 10190570521330803

ALL IMPROVEMENTS ARE EXISTING AS SHOWN ON ORIGINAL CONSTRUCTION APPROVED TCL
 THIS PROJECT WILL NOT REQUIRE ANY MODIFICATIONS TO THE EXISTING TRAFFIC PLAN

TRAFFIC CIRCULATION LAYOUT APPROVED
 05/29/19
 ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

RECEIVED
 JAN 08 2020
 LAND DEVELOPMENT SECTION

RECEIVED
 MAY 2 2019
 LAND DEVELOPMENT SECTION

James B. Clark
 20 MAY 2019
 REGISTERED ARCHITECT
 JAMES BENJAMIN CLARK III
 1047

TRAFFIC CIRCULATION LAYOUT PLAN
 LOCATION MAP
 PARKING CALCULATIONS

SHEET
TCL
 OF 01

MASTERWORKS ARCHITECTS, INC
 516 ELEVENTH ST NW 242-1866
 ALBUQUERQUE, NEW MEXICO 87102
 FILE # 1912C-TCL
 20 MAY 2019

City of Albuquerque
Planning Department
Development and Building Services Division
600 Second St. NW
Albuquerque, NM 87102

Re: Lindo Mexico Restaurant
7209 Central Ave NE

Permit #BP-2019-20536 Hydrology File #K19D144
Traffic Circulation Layout Certification
Architects Stamp 20 may 2019

I, James B. Clark, NMRA #1047, of the firm Masterworks Architects, Inc. certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Plan dated 20 May 2019. The record information of the original design document has been obtained by James B. Clark of the firm Masterworks Architects Inc. I further certify that I have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

No changes to the design requirements of the TCL Plan were made during construction.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any purpose.

Respectfully submitted,



Signature of Architect



Date



Encl: Paper copy of approved TCL Plan
PDF file of same sent to PLNDRS@cabq.gov



**MASTERWORKS ARCHITECTS, INC**

516 Eleventh Street NW, Albuquerque, NM 87102
505-242-1866 · MWArchitect@comcast.net