

FIRM MAP: 35001C0358G

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = CENTRAL.TXT

- VERSION: 1997.02d  
RUN DATE (MON/DAY/YR) = 06/21/2012  
USER NO. = AHYMO-I-9702C0100R31-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION
START	RAINFALL TYPE= 1									TIME= .00	
COMPUTE NM HYD		100.00	-	1	.00191	5.95	.230	2.25487	1.500	RAIN= 2.600	
FINISH										PER IMP= 93.00	

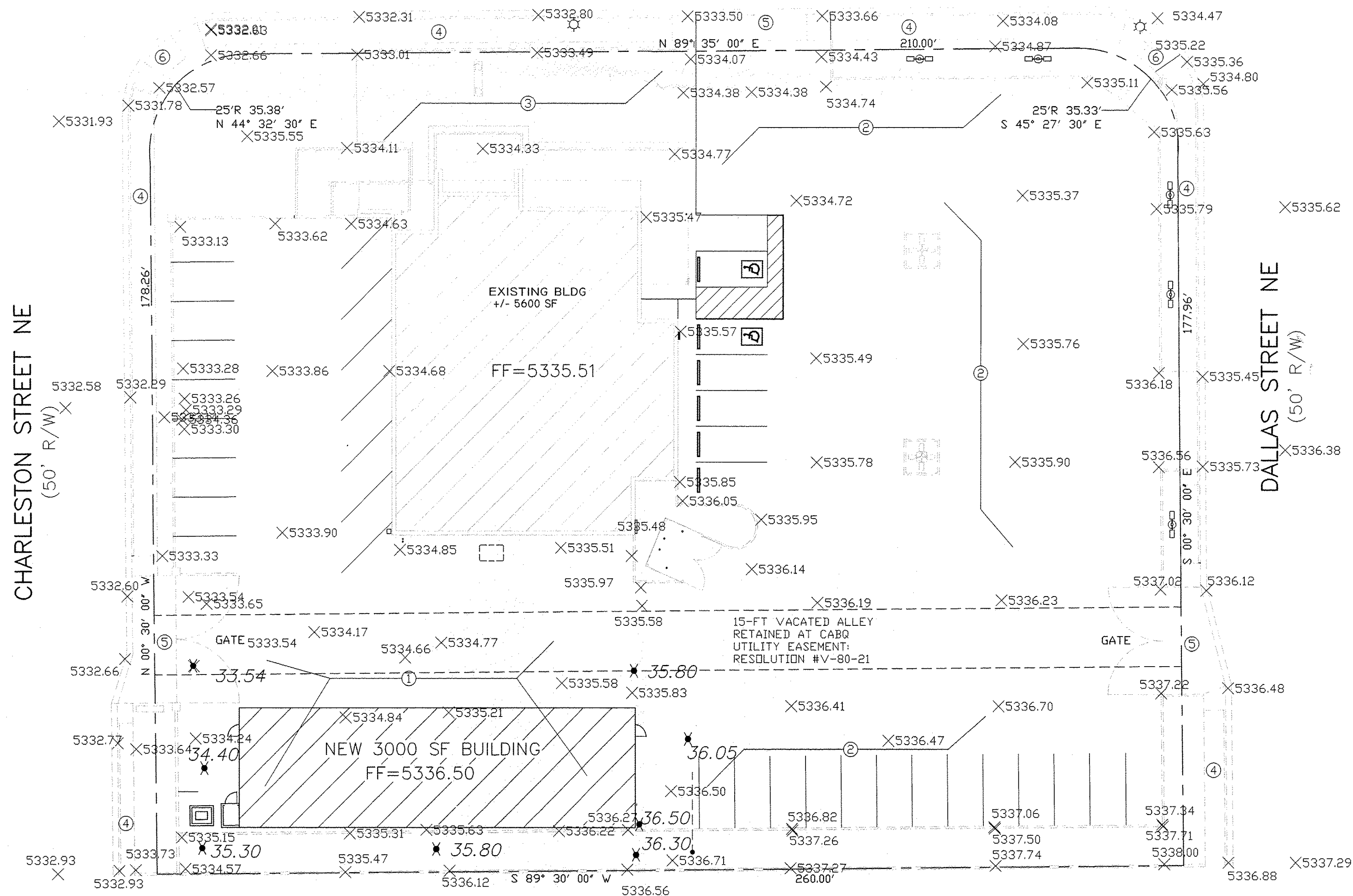
GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1.00) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 26-K19, HAVING AN ELEVATION OF 5329.456 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.

KEYED NOTES

1. CUT AND REMOVE EXISTING ASPHALT PAVING AS REQUIRED BY NEW CONSTRUCTION.
2. EXISTING ASPHALT PAVING.
3. EXISTING CONCRETE PAVING.
4. EXISTING SIDEWALK.
5. EXISTING CURB CUT WITH SIDEWALK RAMPS.
6. EXISTING WC RAMP.

LOMAS BOULEVARD NE  
(100' R/W)



\*\*\*\*\*  
\* ZONE 3 100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*  
\*\*\*\*\*  
START  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=2.14 IN RAIN SIX=2.60 IN  
RAIN DELAY=3.10 IN DT=0.03333 HR  
COMPUTE NM HYD ID=1 HYD NO=100.0 AREA=0.00191 SQ MI  
PER A=0.00 PER B=7.00 PER C=0.00 PER D=93.00  
TP=0.1333 HR MASS RAINFALL=-1  
FINISH  
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**Location**  
The site is located at 7800 Lomas Boulevard NE between Dallas St., ne and Charleston St., NE.

**Purpose**  
The purpose of this Grading and Drainage Plan is to show the proposed grades for the new building and the existing drainage pattern for this site. We are requesting building permit approval.

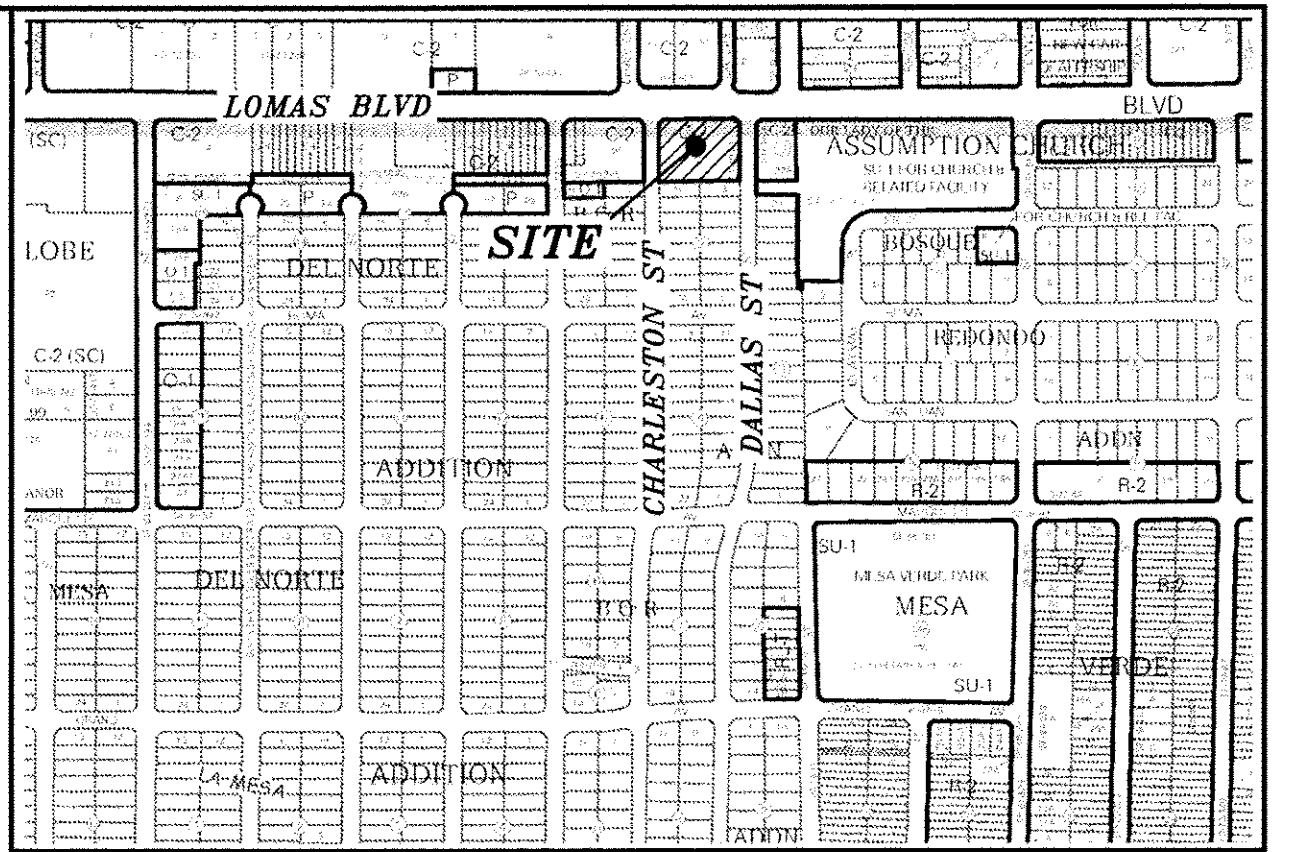
**Existing Drainage Conditions**  
The site drains from east to west to Charleston St. According to FIRM map number 35001C0358G, map revised September 08, 2008, the site does not fall within a 100-year floodplain.

**Proposed Conditions and On-Site Drainage Management Plan**  
The new building will be built over existing impervious surface, and no additional runoff is being generated from this site. The drainage pattern will remain the same. The runoff will drain west through the existing entrance to Charleston St.

**Calculations**  
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

EROSION CONTROL PLAN  
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP: K-19-Z

LEGAL DESCRIPTION:

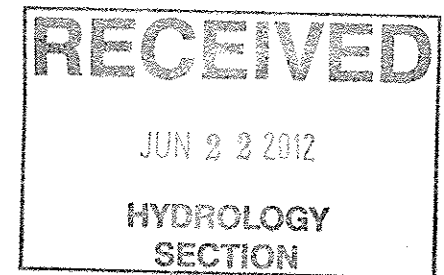
LOT A, BLOCK 2, B & R ADDITION  
CONTAINING 1.2060 ACRE

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5100 — EXISTING CONTOUR (MAJOR)
- 5102 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- ✱ 36.05 PROPOSED SPOT ELEVATION
- ✱ 5336.70 EXISTING GRADE



SBS CONSTRUCTION  
AND ENGINEERING, LLC

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7800 LOMAS, NE  
NEW BUILDING ADDITION  
GRADING AND DRAINAGE PLAN

201212-GR.DWG	DRAWN BY: SBB	DATE: 06-22-12	SHEET # 1 OF 1
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