

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: *[Signature]* Date: 6-21-12

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

ZONING DATA
ZONING: C-2 (COMMUNITY COMMERCIAL)
ADDRESS: 7800 LOMAS BLVD. 87110
SITE AREA: 1.206 ACRES (+/- 52,533 SF)
EXISTING BUILDING AREA: 5600 SF
NEW AUTO SHOP BUILDING AREA: 3000 SF
ON-SITE PARKING PROVIDED: 19 SPACES (PLUS AUTO DISPLAY PARKING)
INCLUDES 2 ACCESSIBLE PARKING SPACE (VAN) PER NM BLDG CODE
REQUIRED PARKING
EXISTING OFFICES: 1500 SF / 200 = 8 SPACE
EXISTING STORAGE: 2120 SF / 2000 = 1 SPACE
EXISTING SHOP: 2000 SF / 1000 = 2 SPACES
NEW SHOP: 2770 SF / 1000 = 3 SPACE
REQUIRED ON-SITE PARKING: 14 SPACES

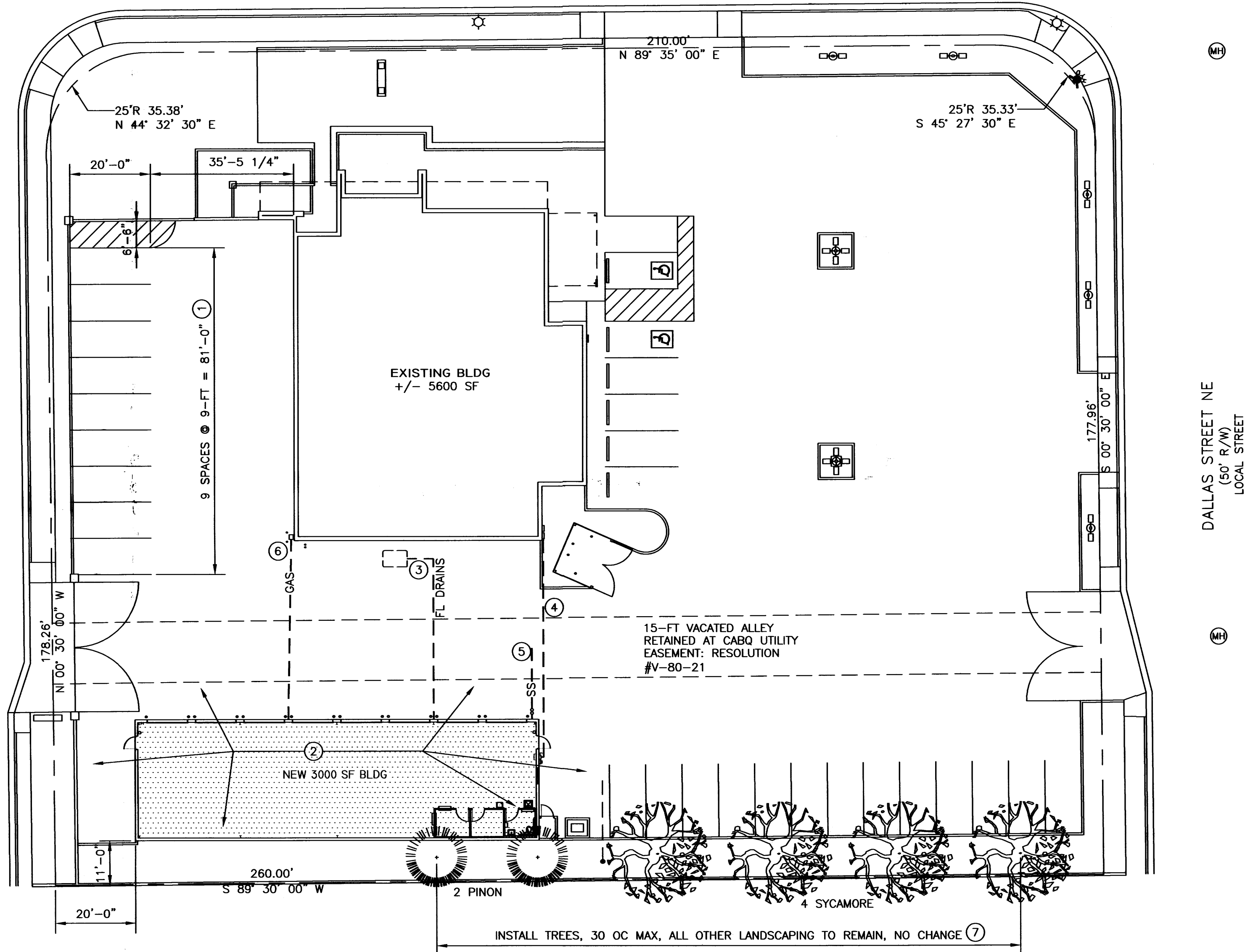
KEYED NOTES (NEW CONSTRUCTION)

1. PAINT-OUT EXISTING PARKING STRIPING AND INSTALL NEW PAINT STRIPING AS SHOWN.
2. PATCH BACK EXISTING ASPHALT PAVING, (3-INCH OVER 6-INCH COMPACTED BASE, SHALL MEET CABQ SP3 SPECIFICATION), AS REQUIRED BY PROJECT.
3. TIE NEW SHOP BUILDING'S TRENCH DRAINS INTO EXISTING OIL/SAND SEPARATOR TANK.
4. EXTEND TELEPHONE, DATA, AND ELECTRICAL SERVICE, UNDERGROUND, TO NEW SHOP BUILDING.
5. EXTEND SANITARY SEWER FROM NEW BUILDING AND TIE INTO EXISTING LINE IN EASEMENT.
6. EXTEND NEW LINE FROM EXISTING GAS REGULATOR TO NEW BUILDING.
7. REMOVE AND REPLACE EXISTING LANDSCAPE ROCK AS REQUIRED BY NEW TREE PLANTINGS. TREE TYPES AS SHOWN, MINIMUM 10-12 FOOT HEIGHT OR 2-INCH CALIPER.

UTILITY PLAN GENERAL NOTES:

- A. UTILITY LINES AND SERVICE LOCATIONS ARE SHOWN RELATIVE TO SURVEY INFORMATION. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR ALL UTILITY INSTALLATIONS. ALL UTILITIES SHALL BE COORDINATED AND INSTALLED PER CITY AND UTILITY COMPANY REQUIREMENTS.
- B. ANY UTILITIES INSTALLED IN STATE OR CITY RIGHT OF WAYS SHALL BE COORDINATED WITH AND INSTALLED PER THEIR SPECIFICATIONS AND REQUIREMENTS.
- C. UTILITY PLACEMENT SHALL BE IN ACCORDANCE WITH AREA FREEZE DEPTH AND SERVICE ACCESSIBILITY.
- D. INSTALLATION SHALL BE COMPLETE AND SHALL INCLUDE ALL EQUIPMENT AND LABOR, PIPE OR CONDUIT, METERS, BOXES, VALVES, DISCONNECTS, CONCRETE PADS, BOLLARDS, CUTTING OF EXISTING PAVING, WALKS, AND CURBS, TRENCHING, BACKFILL, COMPACTION, AND PATCHING OF EXISTING CONDITIONS. ALL TESTING IN ASSOCIATION WITH UTILITY INSTALLATION SHALL BE INCLUDED IN THE CONTRACT.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS AND FEES REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW OR EXTEND AND UPGRADE EXISTING SERVICES. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY WITH EACH RESPECTIVE UTILITY COMPANY, EXISTING UTILITY SERVICES AND EQUIPMENT AND PROPOSED LOCATIONS OF ALL NEW UTILITY SERVICES AND EQUIPMENT.
- F. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE LOCAL CODE ENFORCEMENT OFFICERS AND THE LOCAL FIRE MARSHAL. ALL UTILITY INSTALLATIONS SHALL COMPLY WITH THE CODES AND INTERPRETATIONS SET FORTH BY THE GOVERNING LOCAL AUTHORITIES.
- G. ALL UNUSED AND ABANDONED UTILITIES SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED.
- H. WHERE POTABLE WATER LINES CROSS SEWER LINES THERE SHALL BE A MINIMUM 18-INCH VERTICAL SEPARATION OR 10-FT DISTANCE FROM THE POINT CROSSING TO ANY JOINTS IN THE SEWER LINES.

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JUN 1 - 2012
HYDROLOGY
SECTION



SITE PLAN

1" = 20'-0"

akt architects LLC

P.O. BOX 3366
ALBUQUERQUE, NM 87190
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C: (505) 259-7919
aktarch@earthlink.net

CONSULTANT



PROJECT

AUTO SHOP
BUILDING FOR
NICE CARS, LLC

PROJECT ADDRESS
7800 LOMAS BLVD NE
ALBUQUERQUE 87110

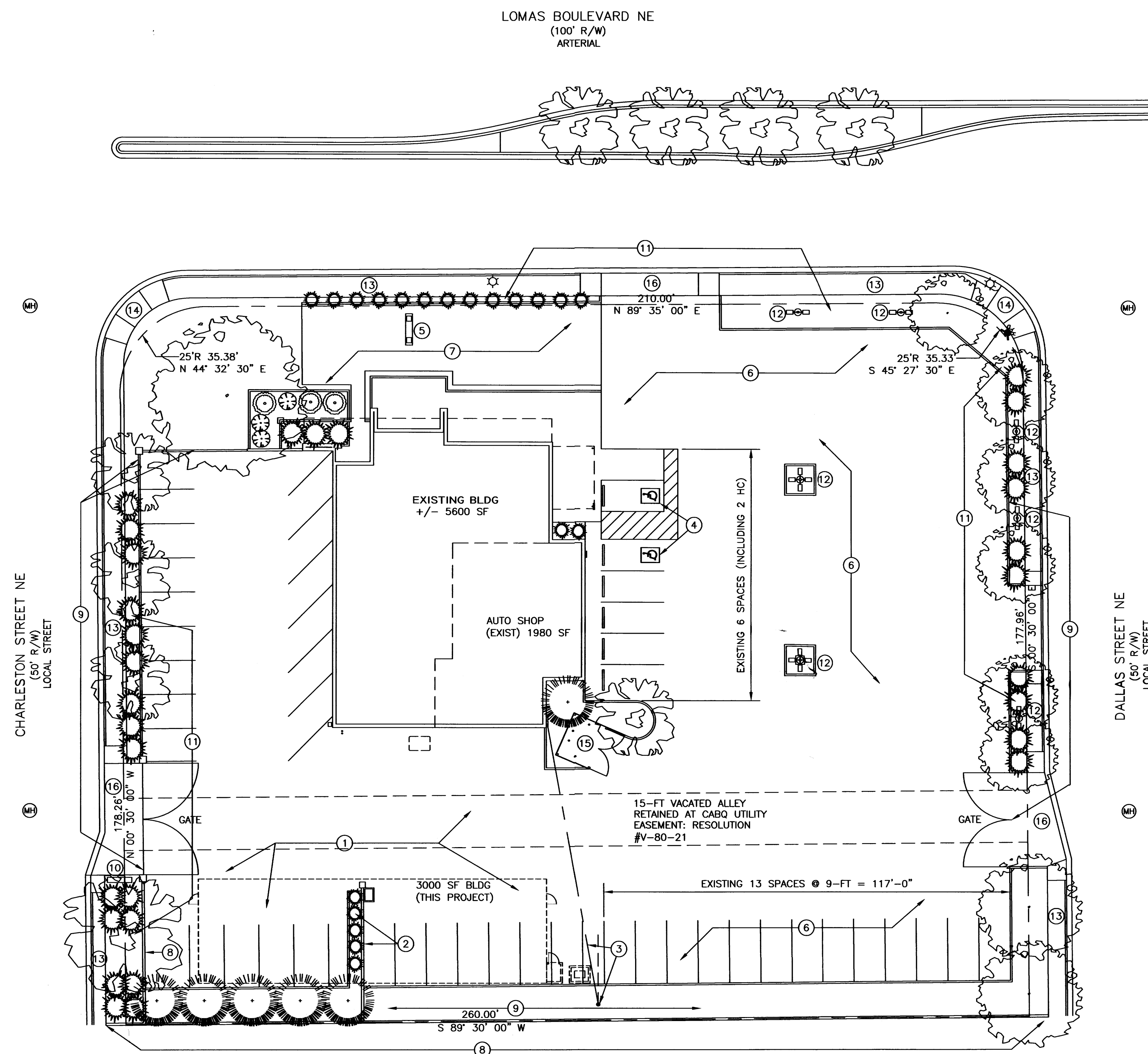
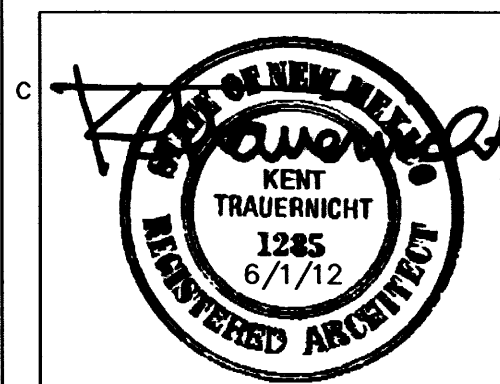
MARK	DATE	DESCRIPTION

ISSUE DATE:

PROJECT NO: 0635
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SHEET TITLE

SITE PLAN
AND
TRAFFIC
CIRCULATION

AS-101



KEYED NOTES (EXISTING CONDITIONS)

- CUT AND REMOVE EXISTING ASPHALT PAVING AS REQUIRED BY NEW CONSTRUCTION.
- REMOVE EXISTING CMU WALL, FOOTING, LANDSCAPE MATERIAL, AND ALL OTHER EXISTING IMPROVEMENTS AS REQUIRED BY NEW BUILDING.
- ELECTRICAL POWER POLE WITH GUY WIRE, TRANSFORMER AND OVERHEAD SERVICE DROP TO EXISTING BUILDING, TO REMAIN.
- CONCRETE ENTRANCE WALK, AT SAME GRADE AS EXISTING ASPHALT PAVING. EXISTING PAINTED ACCESSIBLE PARKING SYMBOL, ACCESSIBLE ISLE, AND SIGNS.
- FREE STANDING PYLON SIGN.
- ASPHALT PAVING, NO CHANGE.
- CONCRETE PAVING, NO CHANGE.
- 6-FT HIGH CMU SCREEN WALL, NO CHANGE.
- 6-FT HIGH ORNAMENTAL STEEL FENCING, WITH GATES AS SHOWN, AROUND SITE.
- MONUMENT SIGN, NO CHANGE.
- LANDSCAPE AREAS WITH CONCRETE CURBING, AS SHOWN, NO CHANGE.
- AREA LIGHTING, POLE MOUNTED FIXTURES, WITH CONCRETE BASE, TO REMAIN.
- PUBLIC CONCRETE WALK, NO CHANGE.
- ACCESSIBLE CURB RAMP, NONDIRECTIONAL.
- EXISTING DUMPSTER ENCLOSURE, NO CHANGE.
- EXISTING CURB CUT WITH SIDEWALK RAMPS, TO REMAIN, NO CHANGE.

**EXISTING CONDITIONS
FOR INFORMATION ONLY
(REFERENCE)**

EXISTING/DEMOLITION SITE PLAN

1" = 20'-0"



- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =06/21/2012
USER NO.= AHYMO-I-9702c01000R31-AH

[illegible]

GENERAL NOTES:

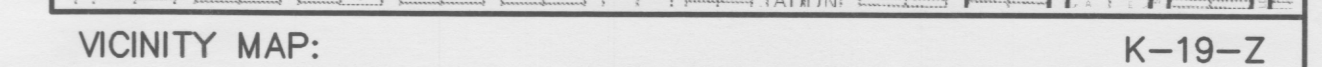
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4. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.

○ KEYED NOTES

1. CUT AND REMOVE EXISTING ASPHALT PAVING AS REQUIRED BY NEW CONSTRUCTION.
2. EXISTING ASPHALT PAVING.
3. EXISTING CONCRETE PAVING.
4. EXISTING SIDEWALK.
5. EXISTING CURB CUT WITH SIDEWALK RAMPS.
6. EXISTING WC RAMP.

EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



LEGAL DESCRIPTION:

LOT A, BLOCK 2, B & R ADDITION
CONTAINING 1.2060 ACRE

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*****
*      ZONE 3 100-YEAR,      6-HR STORM (UNDER EXISTING CONDITIONS)      *
*****
START
RAINFALL
      TYPE=1 RAIN QUARTER=0.0 IN
      RAIN ONE=2.14 IN RAIN SIX=2.60 IN
      RAIN DELAY=3.10 IN DT=0.03333 HR
COMPUTE NM HYD
      ID=1 HYD NO=100.0 AREA=0.00191 SQ MI
      PER A=0.00 PER B=7.00 PER C=0.00 PER D=93.00
      TP=0.1333 HR MASS RAINFALL=1
*****
FINISH
```

Location

The site is located at 7800 Lomas Boulevard NE between Dallas St., ne
and Charleston St., NE.

Purpose

The purpose of this Grading and Drainage Plan is to show the proposed grades for the new building and the exiting drainage pattern for this site. We are requesting building permit approval.

Existing Drainage Conditions

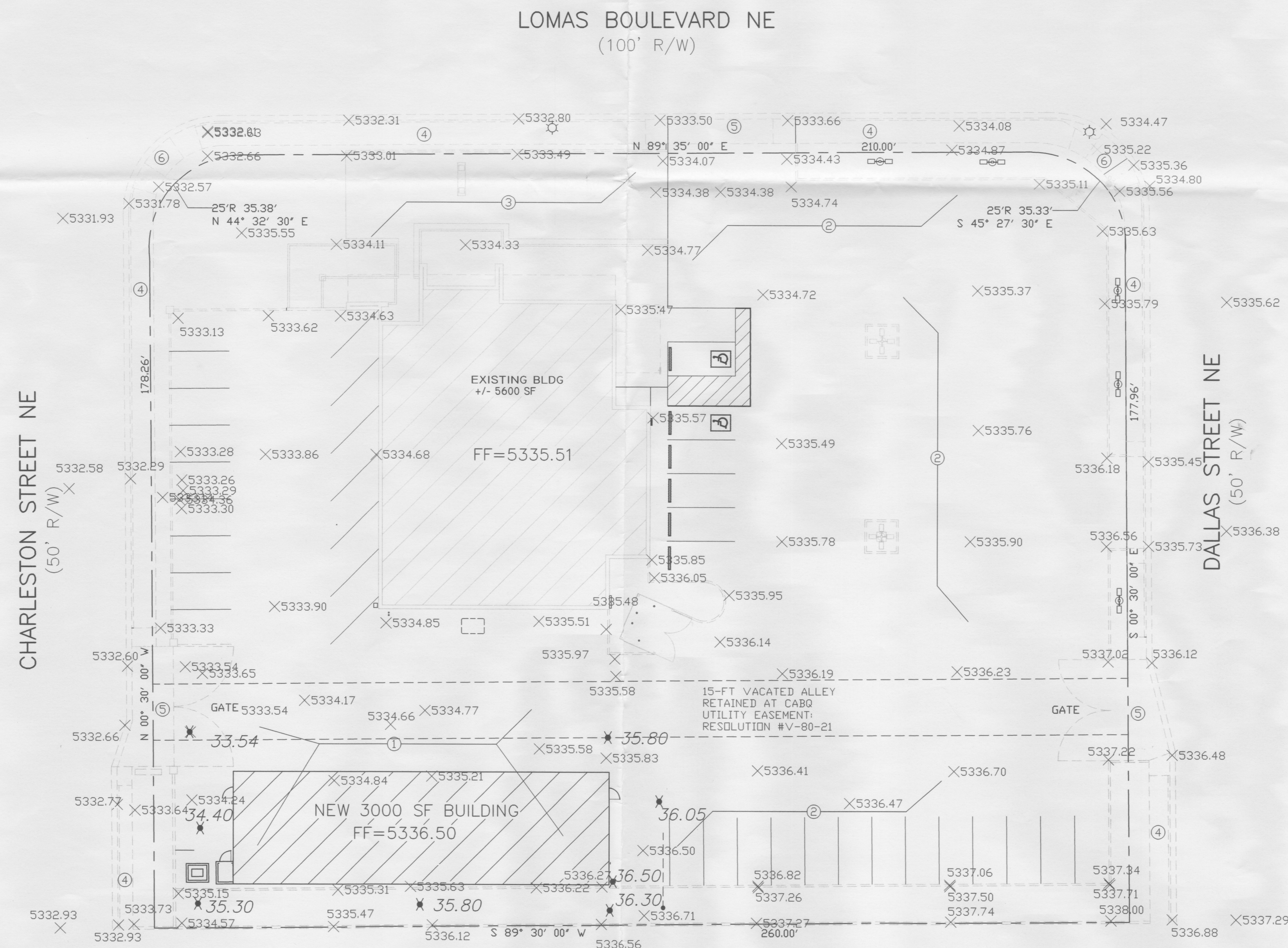
The site drains from east to west to Charleston St. According to FIRM map number 35001C0358G, map revised September 08, 2008, the site does not fall within a 100-year floodplain.

Proposed Conditions and On-Site Drainage Management Plan

The new building will be built over exiting impervious surface, and no additional runoff is being generated from this site. The drainage pattern will remain the same. The runoff will drain west through the existing entrance to Charleston St.

Calculations

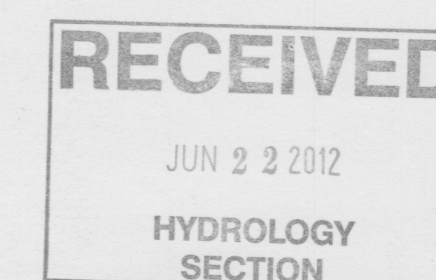
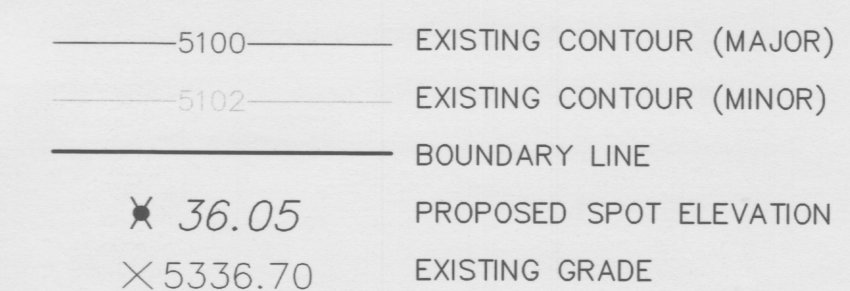
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.



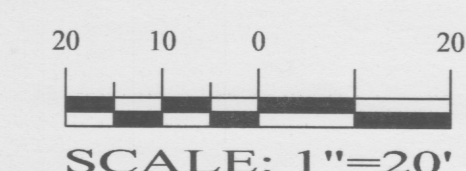
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND



GRAPHIC SCALE



**SBS CONSTRUCTION
AND ENGINEERING, LLC**

P. O. BOX 10264
ALBUQUERQUE, NEW MEXICO 87184
(505)899-5570

7800 LOMAS, NE
NEW BUILDING ADDITION
GRADING AND DRAINAGE PLAN

201212-GR.DWG	DRAWN BY: SBB	DATE: 06-22-12	SHEET # 1
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1 OF 1



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CONSULTANT



PROJECT

**AUTO SHOP
BUILDING FOR
NICE CARS, LLC**

PROJECT ADDRESS
7800 LOMAS BLVD NE
ALBUQUERQUE 87110

MARK	DATE	DESCRIPTION
ISSUE DATE:		

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COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

**SITE PLAN
AND
TRAFFIC
CIRCULATION**

AS-101

**TRAFFIC CIRCULATION LAYOUT
APPROVED**
[Signature]
Signed: 6-21-12
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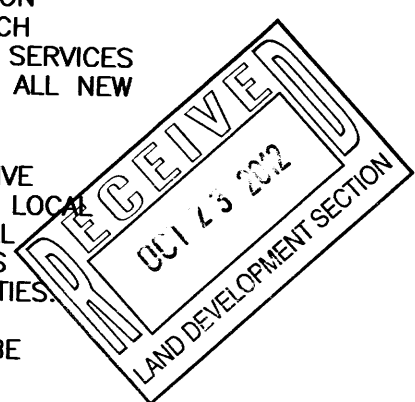
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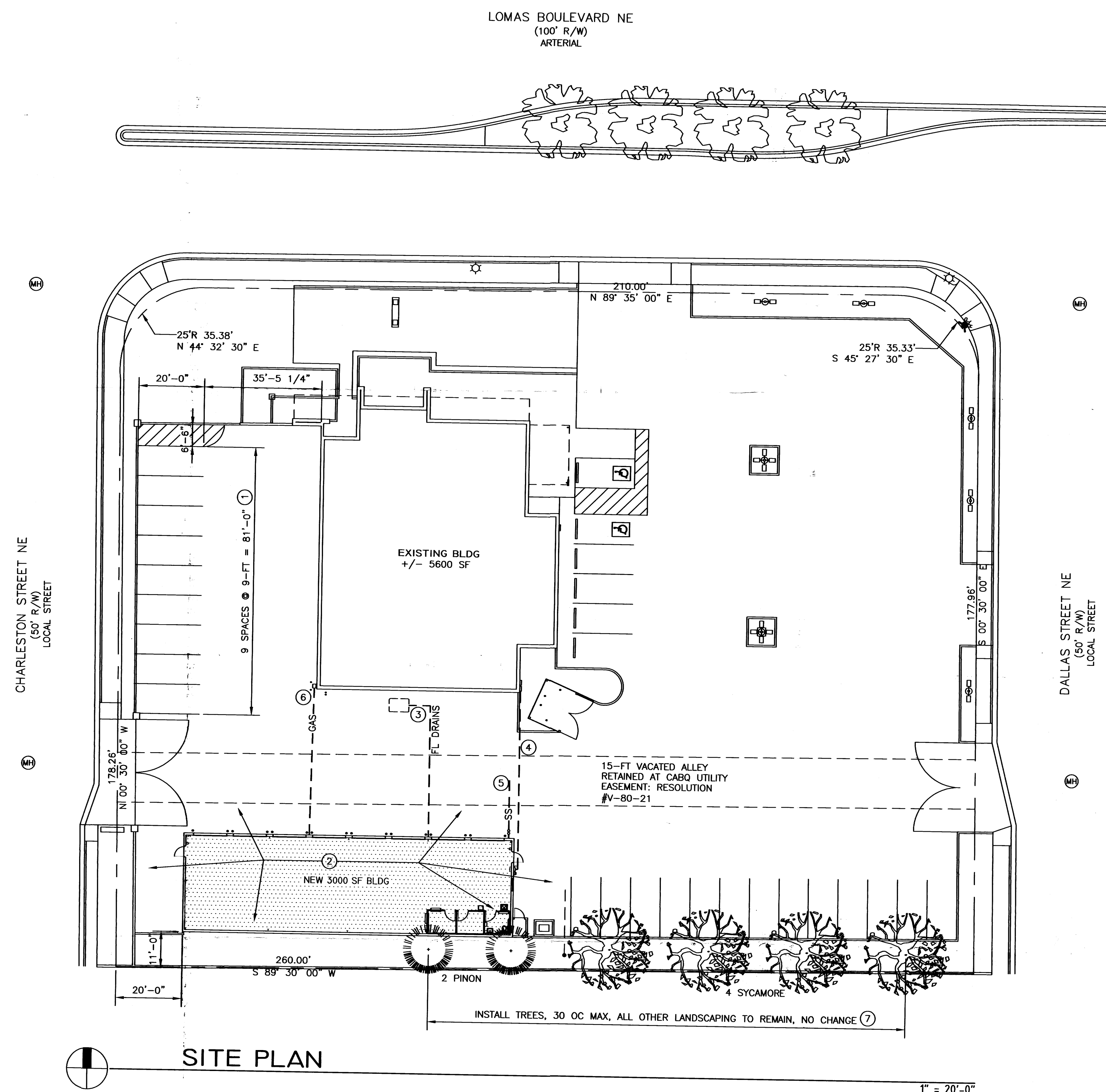
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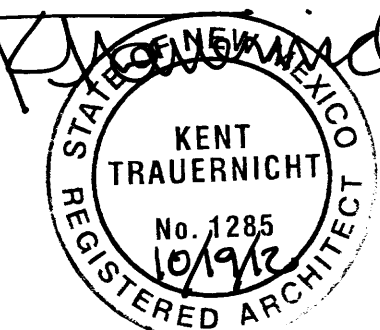
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JUN 1 - 2012
HYDROLOGY
SECTION



[Handwritten signature]
BUILT IN SUBSTANTIAL COMPLIANCE





FIRM MAP: 35001C0358G

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -									
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- VERSION: 1997.02d									
RUN DATE (MON/DAY/YR) = 06/21/2012									
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FINISH									NOTATION
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									RAIN= 2.600
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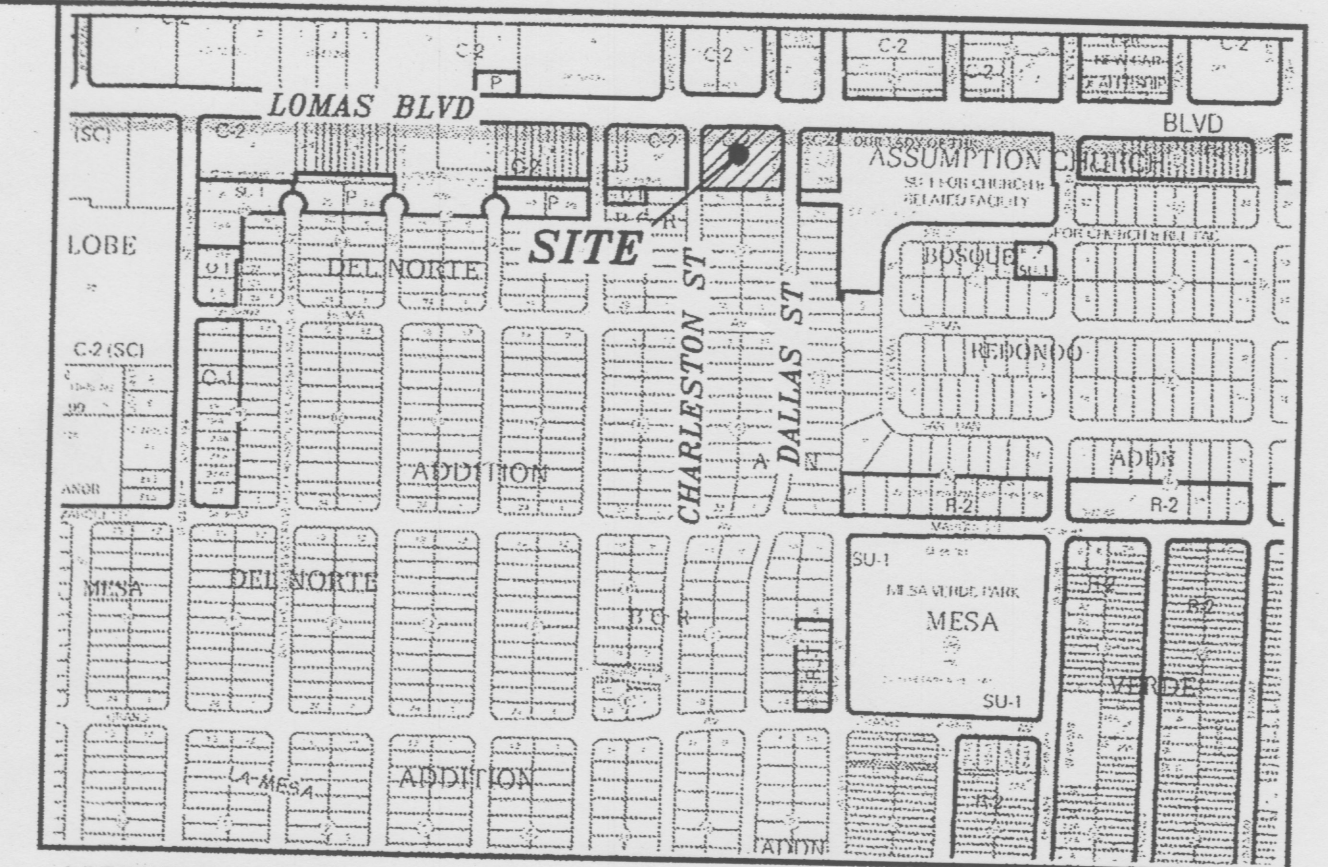
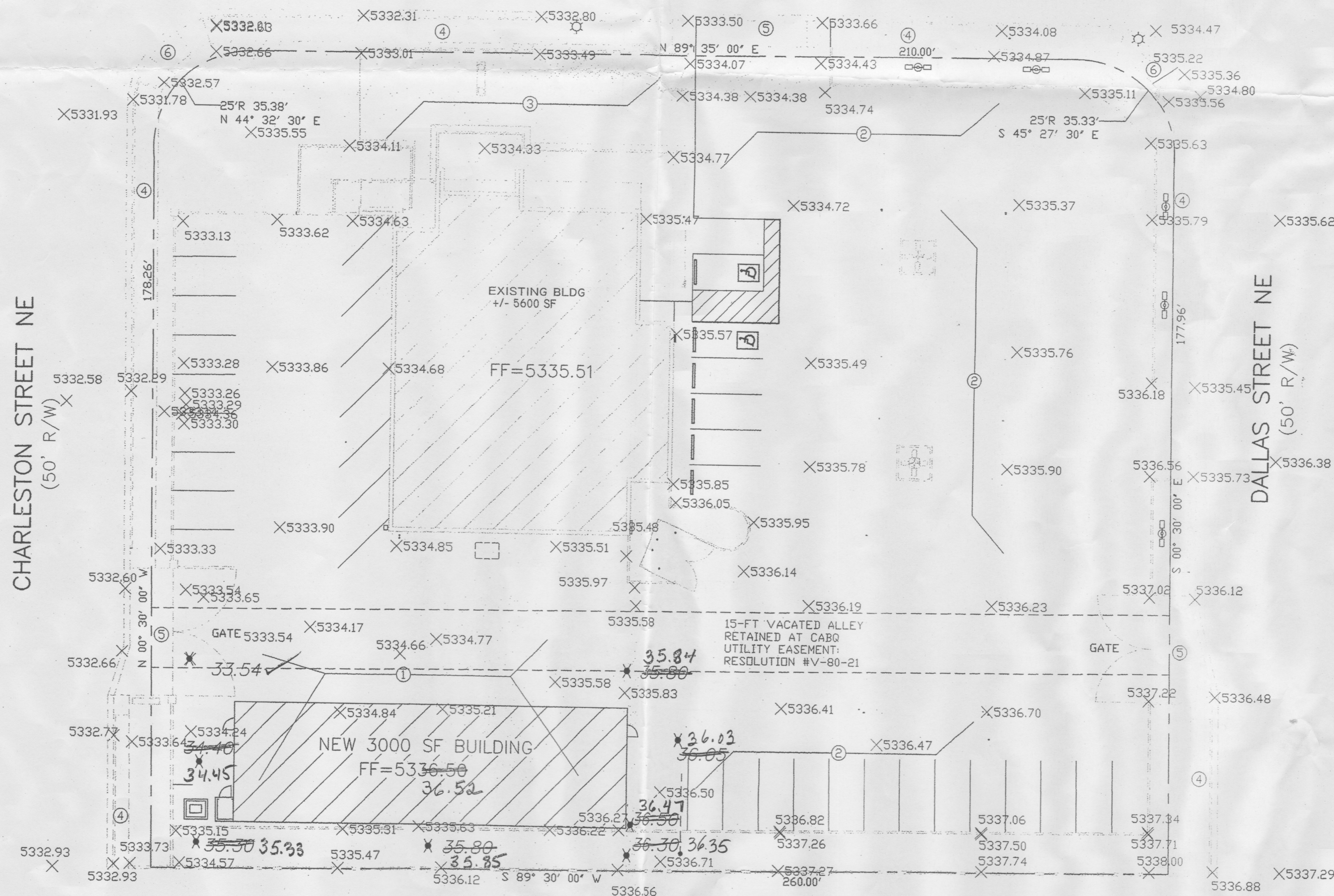
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6. EXISTING WC RAMP.

LOMAS BOULEVARD NE
(100' R/W)



VICINITY MAP: K-19-Z

LEGAL DESCRIPTION:

LOT A, BLOCK 2, S & R ADDITION
CONTAINING 1.2060 ACRE

EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

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LEGEND

- 5100 EXISTING CONTOUR (MAJOR)
- 5102 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- 36.05 PROPOSED SPOT ELEVATION
- 5336.70 EXISTING GRADE

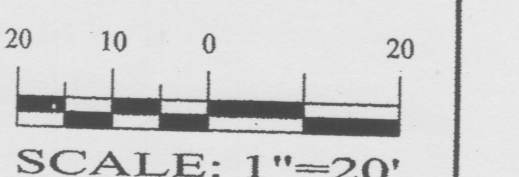
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HYDROLOGY
SECTION

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LAND DEVELOPMENT SECTION

GRAPHIC SCALE



SBS CONSTRUCTION
AND ENGINEERING, LLC

P.O. BOX 10264
ALBUQUERQUE, NEW MEXICO 87184
(505)899-3570

7800 LOMAS, NE
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201212-GR.DWG	DRAWN BY: SBB	DATE: 06-22-12	SHEET # 1 OF 1
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