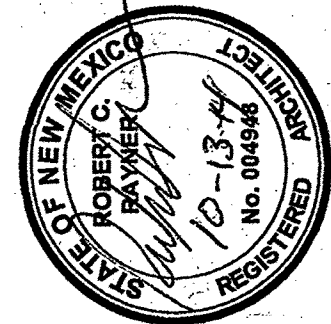
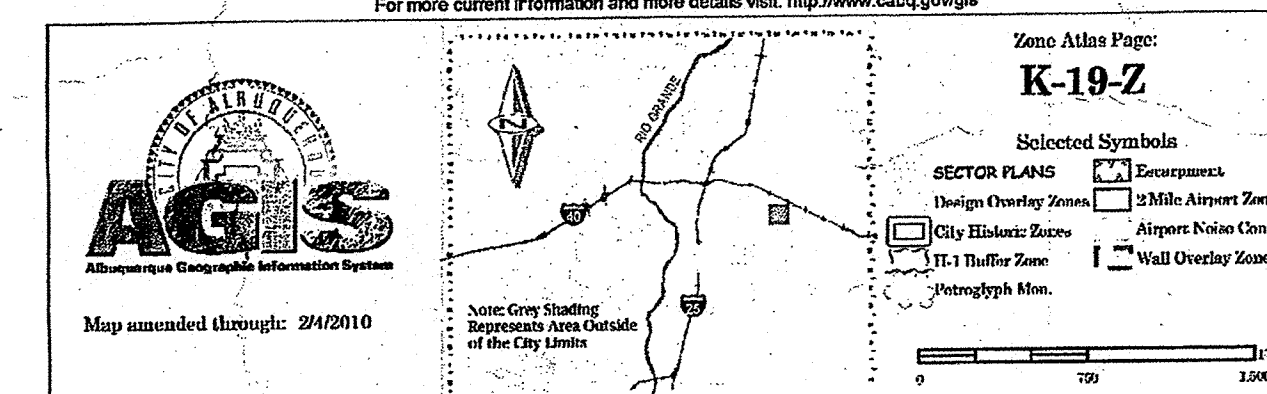
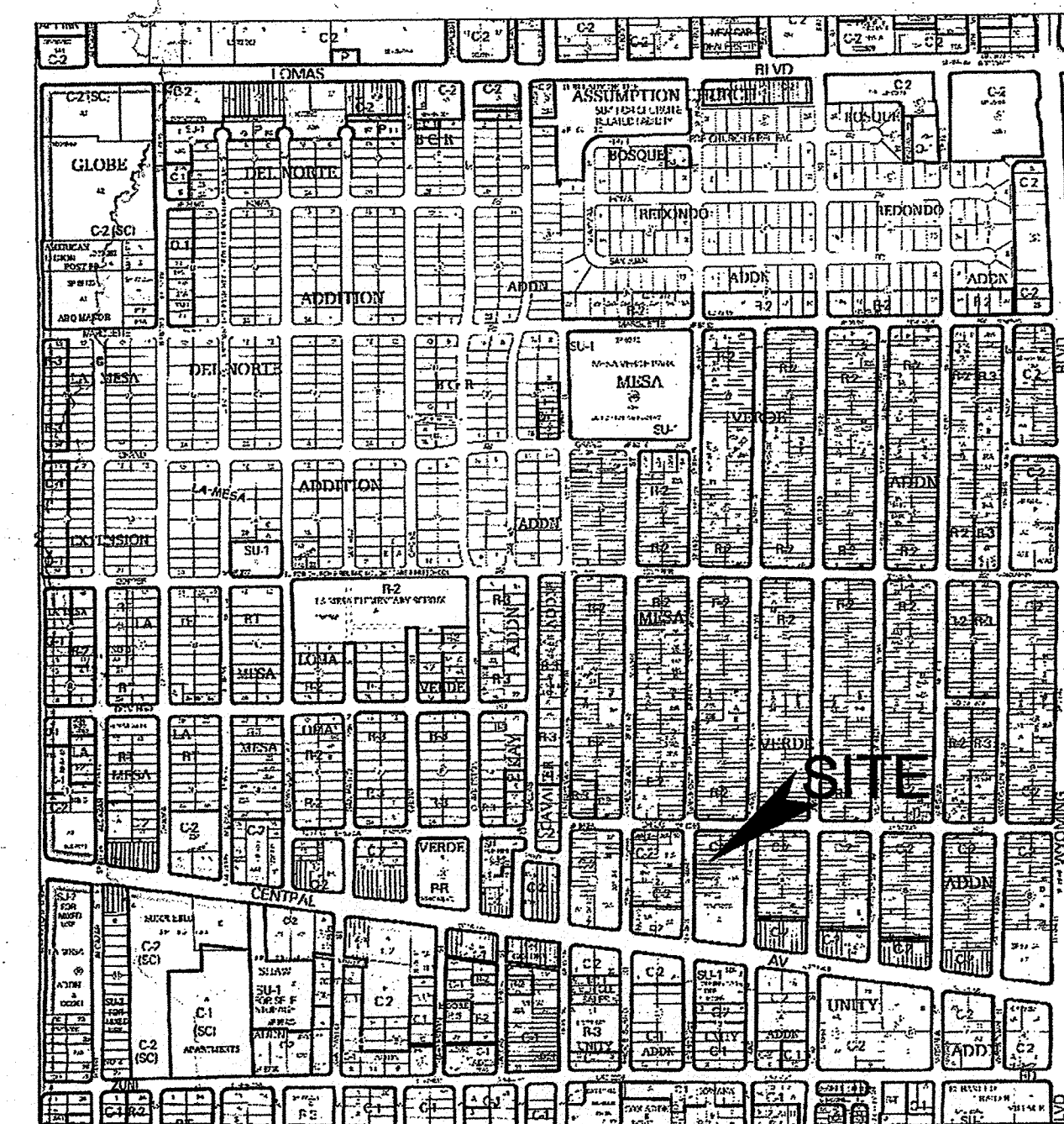




PROJECT DATA

PROJECT:	HILLSIDE AUTO SALES LLC 134 TENNESSEE ST NE ALBUQUERQUE, NM 87110
OWNER:	WILLIAM CAPELS & MARCUS HILL 2639 SAN MATEO BLVD. NE ALBUQUERQUE, NM 87110 505-319-3459
ARCHITECT:	ROBERT RAYNER NM REG# 004948 730 SAN MATEO BLVD. SE ALBUQUERQUE, NM 87108 505-792-6224
CONTRACTOR:	TO BID
ZONING:	C-2
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2009 NEW MEXICO BUILDING CODE (COMMERCIAL)
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-2003
SEISMIC DESIGN CATEGORY:	D
SEISMIC FACTOR:	CAT III, (IE) 1.25
CONST. TYPE:	V-B
BUILDING AREA:	2400 SF
ALLOWABLE AREA & HEIGHT:	9,000 SQUARE FEET / ONE STORY 18'-0"
OCCUPANCY:	S-1 & B
OCCUPANT LOAD:	OFFICE AREA: 163 SF / 100 = 1.63 SALES AREA: 515 SF/100= 5.15 SHOP/BAYS: 1518 SF / 300 = 5.06 W.C./CIRCULATION: 204 SF / 0 = -- 0.00 TOTAL = 12 OCCUPANTS
FIXTURE COUNT:	REQUIRED- UNISEX 1 LAV, 1 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK PROVIDED- (2) UNISEX TOILET ROOMS 2 LAV, 2 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK
PARKING REQD:	SERVICE: 1 SPACE FOR EVERY 200 SF 2400/200=12 SPACES ONE OF WHICH MUST BE H.C. ACCESSIBLE + 1 MOTORCYCLE SPACE
PARKING PROVIDED:	19 SPACES, 1 OF WHICH IS H.C. ACCESSIBLE + 1 MOTORCYCLE SPACE.
SEISMIC DESIGN CRITERIA:	SITE CLASSIFICATION "D" OCCUPANCY CATEGORY II SEISMIC DESIGN CATEGORY B SEISMIC IMPORTANCE FACTOR 1.25

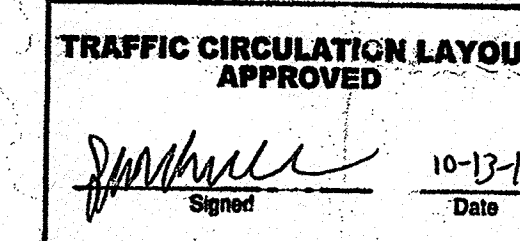


VICINITY MAP

N.T.S.

DESIGN STANDARDS

- ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430.
- ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431.
- ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450.
- ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING.
- ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES.
- ALL EXISTING SIDEWALKS WITHIN THE COA ROW FRONTING THE PROPOSED DEVELOPMENT WILL BE REPLACED WITH NEW 6" SIDEWALKS.

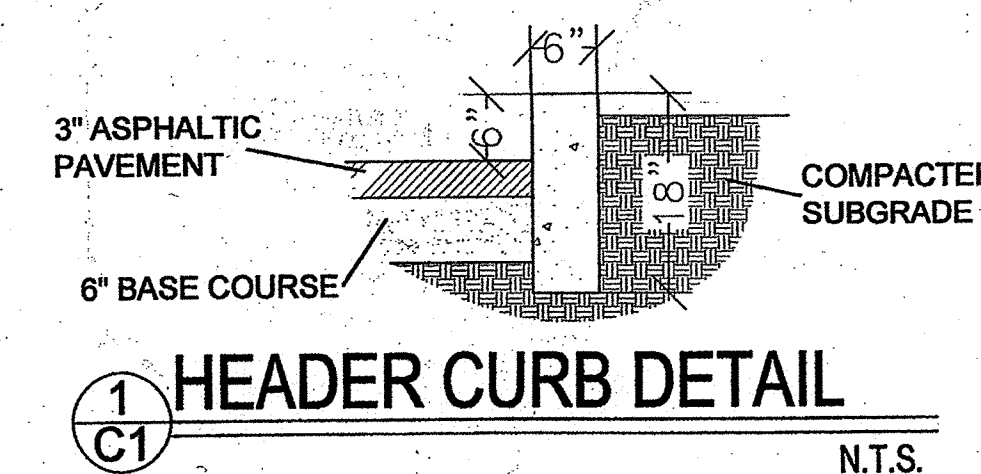


LEGAL DESCRIPTION:

LOTS 20-23, MESA VERDE ADDITION
UPC 10190505735511741019 & 1019057354111141020

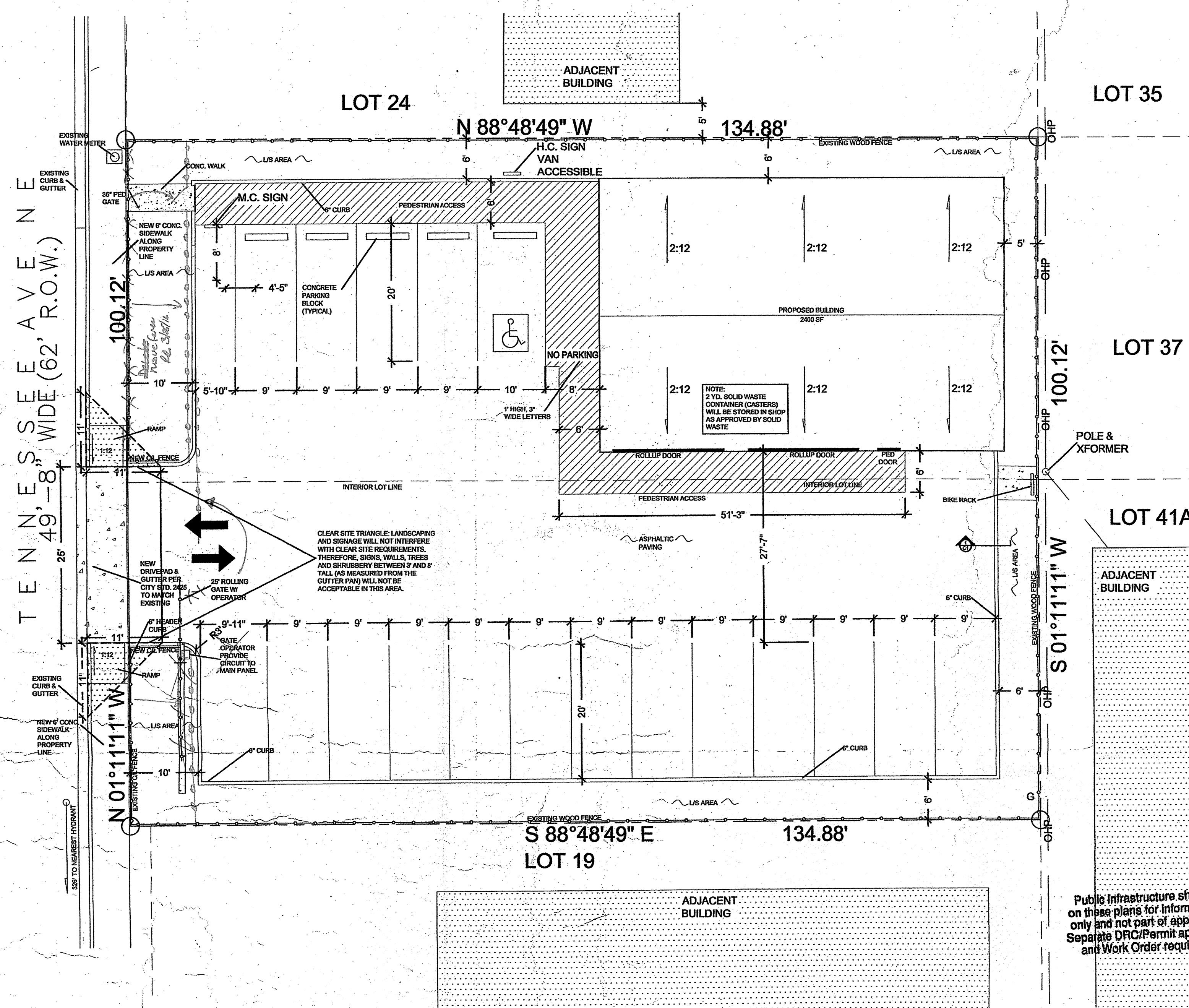
EXECUTIVE SUMMARY:

PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 2400 SF OFFICE/REPAIR GARAGE AND SITE IMPROVEMENTS ON A VACANT PARCEL. STRUCTURAL ELEMENTS SHALL BE OF STEEL CONSTRUCTION (PREFABRICATED METAL BUILDING). THE BUILDING WILL NOT BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM. SOLID WASTE DISPOSAL WILL BE BY MEANS OF A CURBSIDE ROLLOFF CONTAINER AS THE BUSINESS IS NOT EXPECTED TO PRODUCE LARGE AMOUNTS OF WASTE. THE PROJECT WILL NOT BE PHASED, AND WILL BE COMPLETELY CONSTRUCTED UNDER ONE BUILDING PERMIT.



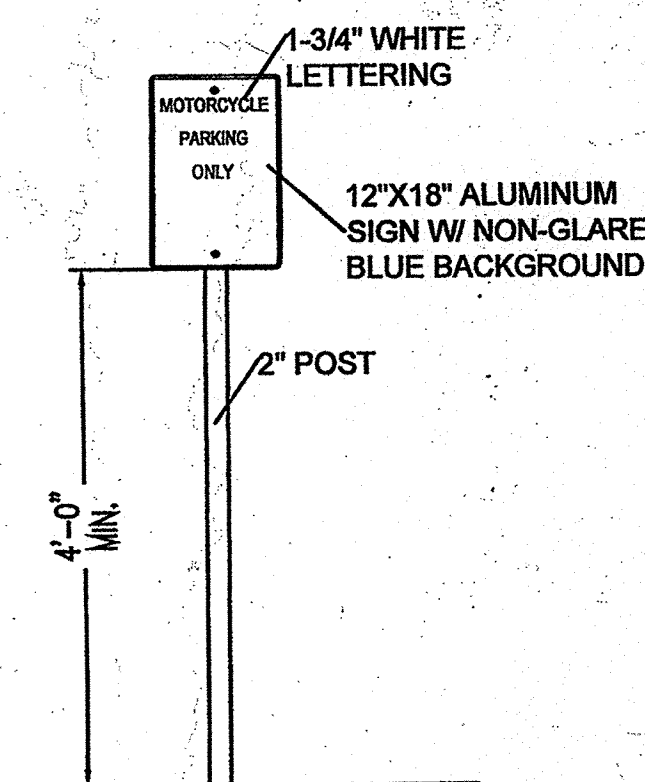
HEADER CURB DETAIL

N.T.S.



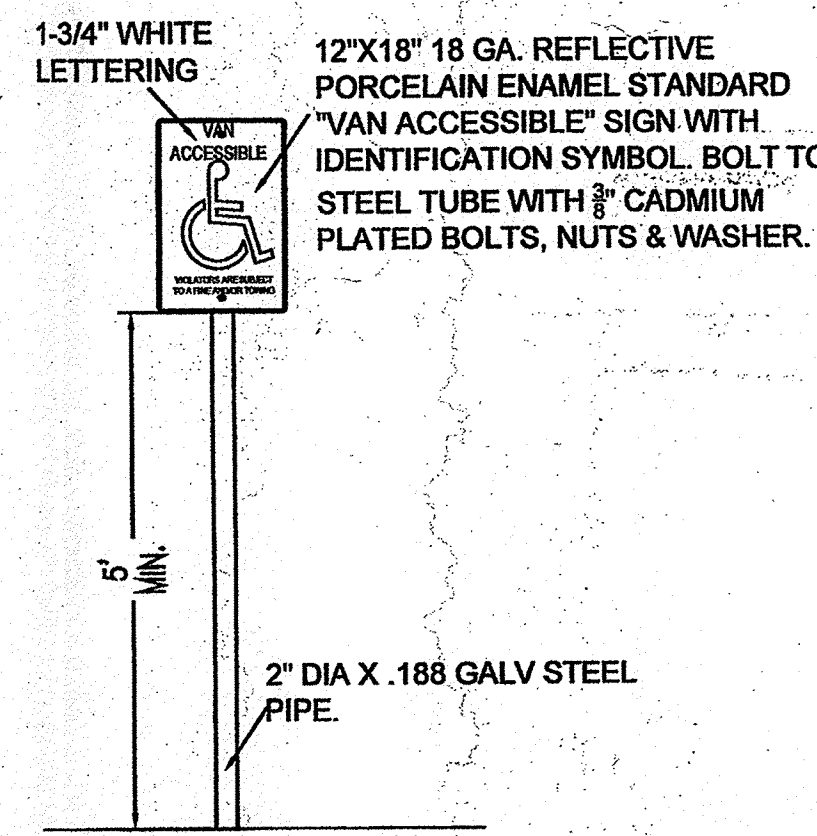
TRAFFIC CIRCULATION LAYOUT

SCALE: 1"= 10'



M.C. SIGN

N.T.S.



H.C. SIGN

N.T.S.

GENERAL NOTES:

- ALL EXISTING STRUCTURES AND MISCELLANEOUS IMPROVEMENTS SHALL BE DEMOLISHED AND REMOVED IN THEIR ENTIRETY PRIOR TO THE CONSTRUCTION OF THIS BUILDING.
- DWELLING UNIT EXTERIOR DOOR AND WINDOW ASSEMBLIES SHALL BE OF VINYL CONSTRUCTION, WHITE IN COLOR.
- EXTERIOR LIGHTING SHALL BE SURFACE MOUNTED ON THE BUILDING EXTERIOR S. ALL LIGHTING SHALL BE FULLY SHIELDED PROVIDING NO UPLIGHTING AND SHALL BE IN ACCORDANCE WITH THE "DARK SKY" REQUIREMENTS.
- CONTRACTOR SHALL LOCATE ALL UTILITIES THAT ARE SHOWN OR THAT MAY NOT BE SHOWN ON THIS PLAN.
- THE ARCHITECT ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS FOR THESE DRAWINGS. ISSUANCE OF A BUILDING PERMIT IS EVIDENCE OF COMPLIANCE WITH ALL ENFORCED REQUIREMENTS BY THE CITY OF ALBUQUERQUE.
- CHANGES TO THE PLANS BY THE OWNER & CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR WILL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. IF A CONFLICT WITHIN THE PLANS IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEMS OR DEFECTS CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS WITHIN THE PLANS. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS WILL GOVERN.
- DELIVERY VEHICLES WILL REMAIN ON TENNESSEE AND WILL NOT ACCESS THE SITE.
- PEDESTRIAN ACCESS SHALL BE DELINEATED WITH A 4" WHITE STRIPE ALONG THE BORDER BETWEEN ACCESS AND VEHICULAR TRAFFIC. CROSS SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION. PEDESTRIAN ACCESS SHALL BE PAVED WITH ASPHALT.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.