

CITY OF ALBUQUERQUE



January 28, 2016

Robert Rayner
R2 Architecture
730 San Mateo, SE
Albuquerque, NM

**Re: Hillside Auto
134 Tennessee NE
Request for Certificate of Occupancy- Transportation Development**
Engineer's/Architect's Stamp dated 1-22-16 (K19-D148)
Certification dated 1-21-16

Dear Mr. Rayner,

Based upon the information provided in your submittal received 1-25-16,
Transportation Development cannot issue Certificate of Occupancy for the above
referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must
be addressed:

- Completion of parking lot striping and installation of ADA signs.
- Project site must be available for on-site inspection.
- Please submit the TCL Approved drawing when project is completed.

Once corrections are complete resubmit acceptable package along with a completed
Drainage Transportation Information Sheet to front counter personnel for log in and
evaluation by Transportation. For digital submittal please submit to
PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: HILLSIDE Auto Building Permit #: 2014 92501 Hydrology File #: K19D148
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 20 & 23 mesa verde APPT. 10.
City Address: 134 tennessee NE

Applicant: ROBERT RAYNER / R2 ARCHITECTS Contact: Rob Rayner
Address: 730 SAN MATEO BLVD. SE
Phone#: 792-6224 Fax#: 792-6224 E-mail: Rob@R2ArchitectAAK.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

***** FILE HAS BEEN SENT ELECTRONICALLY *****

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 1/26/16 By: Robert Rayner

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____



R² architectural
design & consulting

730 San Mateo Blvd SE , Suite 1
Albuquerque, New Mexico 87108

T: 505.884.9694 F: 888.892.5814

R2architectural.com

January 22, 2016

Project: 123 Tennessee St NE

TRAFFIC CERTIFICATION

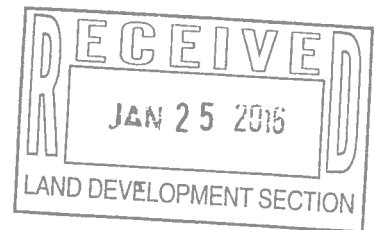
I, Robert Rayner, Architect, of the firm R² Architectural Design & Consulting, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 10/12/2014. I further certify that I have personally visited the project site on 1/21/2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

Exceptions:

- front fence has been placed +/- 10' east of the westerly property line as shown on plan submitted with this letter.

Deficiencies:

- None



The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

A handwritten signature in black ink, appearing to read 'Robert Rayner', written over a horizontal line.

Robert Rayner, AIA,

R² Architectural Design & Consulting, LLC

1/22/16

