

CITY OF ALBUQUERQUE



November 20, 2017

Eric Munn, R.A.
T. I. Design Service
717 Cagua Dr. NE
Albuquerque, NM 87108

Re: Storage Building, 420 Pennsylvania SE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-23-14 (K19D149)
Certification dated 11-16-17

Dear Mr. Munn,

Based upon the information provided in your submittal received 11-17-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: _____ **Building Permit #:** T 2015 91098 **Hydrology File #:** _____
DRB#: 1000501 **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 16A, Block 8, Casas Serenas Addn.
City Address: 420 Pennsylvania SE ABA NM 87108

Applicant: T.I. Design Services **Contact:** Eric Moore
Address: 717 Cagua Dr. NE ABA NM 87108
Phone#: 688-2914 **Fax#:** _____ **E-mail:** holybarbarian@yahoo.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

- DEPARTMENT:**
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION
 MS4/ EROSION & SEDIMENT CONTROL

- TYPE OF SUBMITTAL:**
 AS-BUILT CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 CLOMR/LOMR

 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 NEIGHBORHOOD IMPACT ASSESMENT (NIA)

 EROSION & SEDIMENT CONTROL PLAN (ESC)
 OTHER (SPECIFY) _____

- TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY
 GRADING/ESC PERMIT APPROVAL

 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR

 PRE-DESIGN MEETING?

 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: [Signature]

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____ FEE RECEIVED: _____


T.I. Design Services - Eric Munn
717 Cagua Drive NE Albuquerque NM

TRAFFIC CERTIFICATION

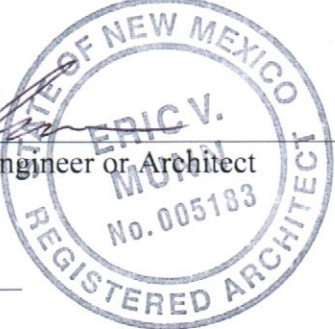
I, Eric Munn, NMPE OR NMRA Owner, OF THE FIRM TI Design Services,
HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH
AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN
DATED 12-9-2014. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL
DESIGN DOCUMENT HAS BEEN OBTAINED BY Eric Munn OF THE FIRM TI
Design Services. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE
PROJECT SITE ON November 16, 2017_ AND HAVE DETERMINED BY VISUAL
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF
ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A
REQUEST FOR Final Approval.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF
THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD
DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS
ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

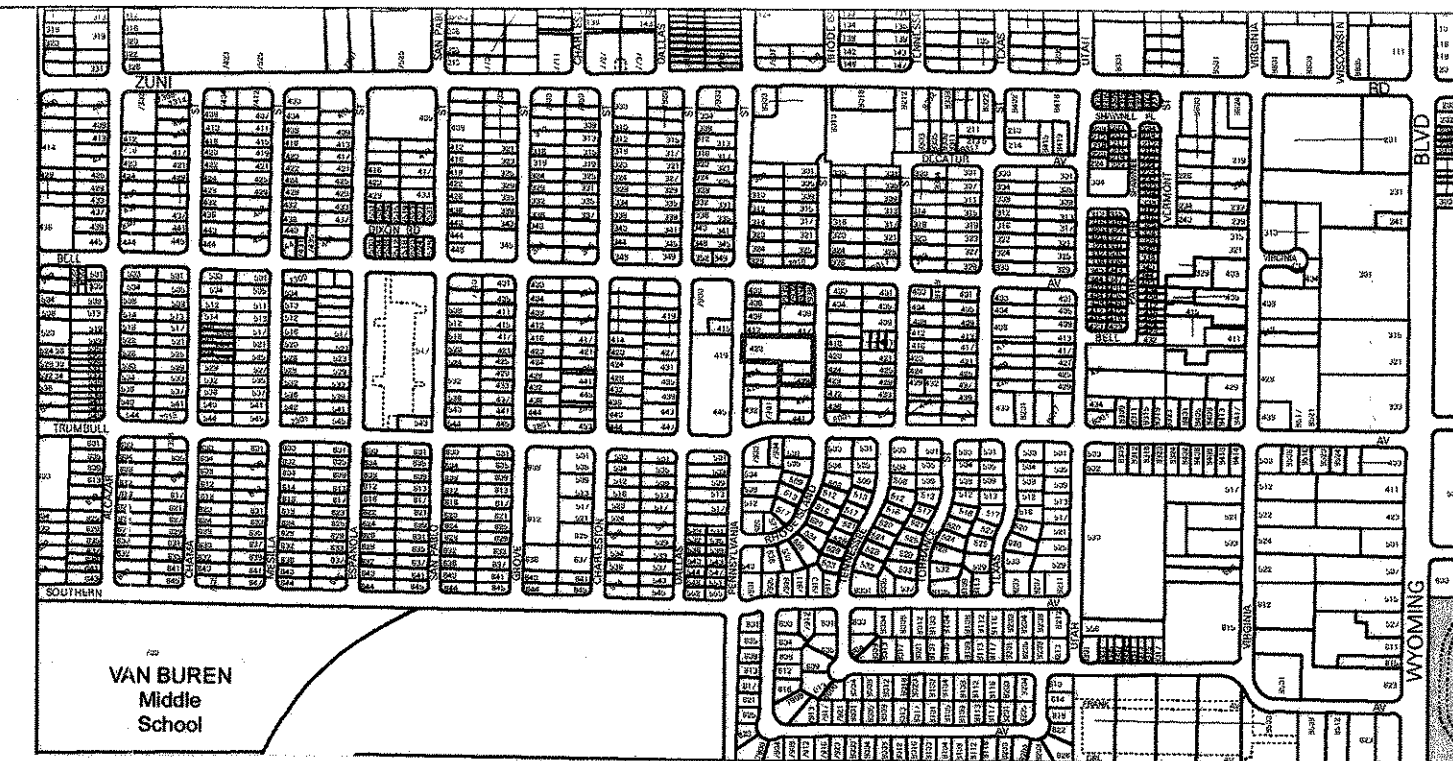

Signature of Engineer or Architect

11-16-17
Date



ENGINEER'S OR ARCHITECT'S STAMP

**THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY
LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE**



LOCATION MAP L-19-Z

LEGAL DESCRIPTION

LOTS 16-A, BLOCK 8, CASAS SERENAS SUBDIVISION
420 PENNSYLVANIA AVE SE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
.9298 ACRE

PARKING CRITERIA

DURING TEMPLE HOURS: SUNDAY MORNINGS ONLY:
 1 SPACE REQUIRED PER (4) CONGREGATION MEMBERS
 TOTAL CONGREGATION.....(30)
 TOTAL SPACES REQUIRED.....8 SPACES
 TOTAL SPACES PROVIDED.....19 SPACES
 INCLUDES (1) VAN ACCESSIBLE HC SPACE

OFF-TEMPLE HOURS: MONDAY - SUNDAY
NEW PROPOSED STORAGE- EXERCISE BLDG.:
 WAREHOUSE USE : 4000 SF / 2000 SF = ② SPACES
 EXERCISE USE : 1000 SF / 50 SF PER OCCUPANT = 20 x 1/3 = ⑦ SPACES
 TOTAL SPACES REQUIRED.....9 SPACES
 TOTAL SPACES PROVIDED.....19 SPACES
 INCLUDES (1) VAN ACCESSIBLE HC SPACE

EXISTING PARKING LOT WILL PROVIDE ADEQUATE PARKING SPACES (19)
 ONE OF WHICH IS A MOTORCYCLE SPACE, AND ONE OF WHICH IS A
 VAN ACCESSIBLE HC SPACE
 A BIKE RACK WILL BE PROVIDED TO ACCOMMODATE 2+ BIKES MIN.

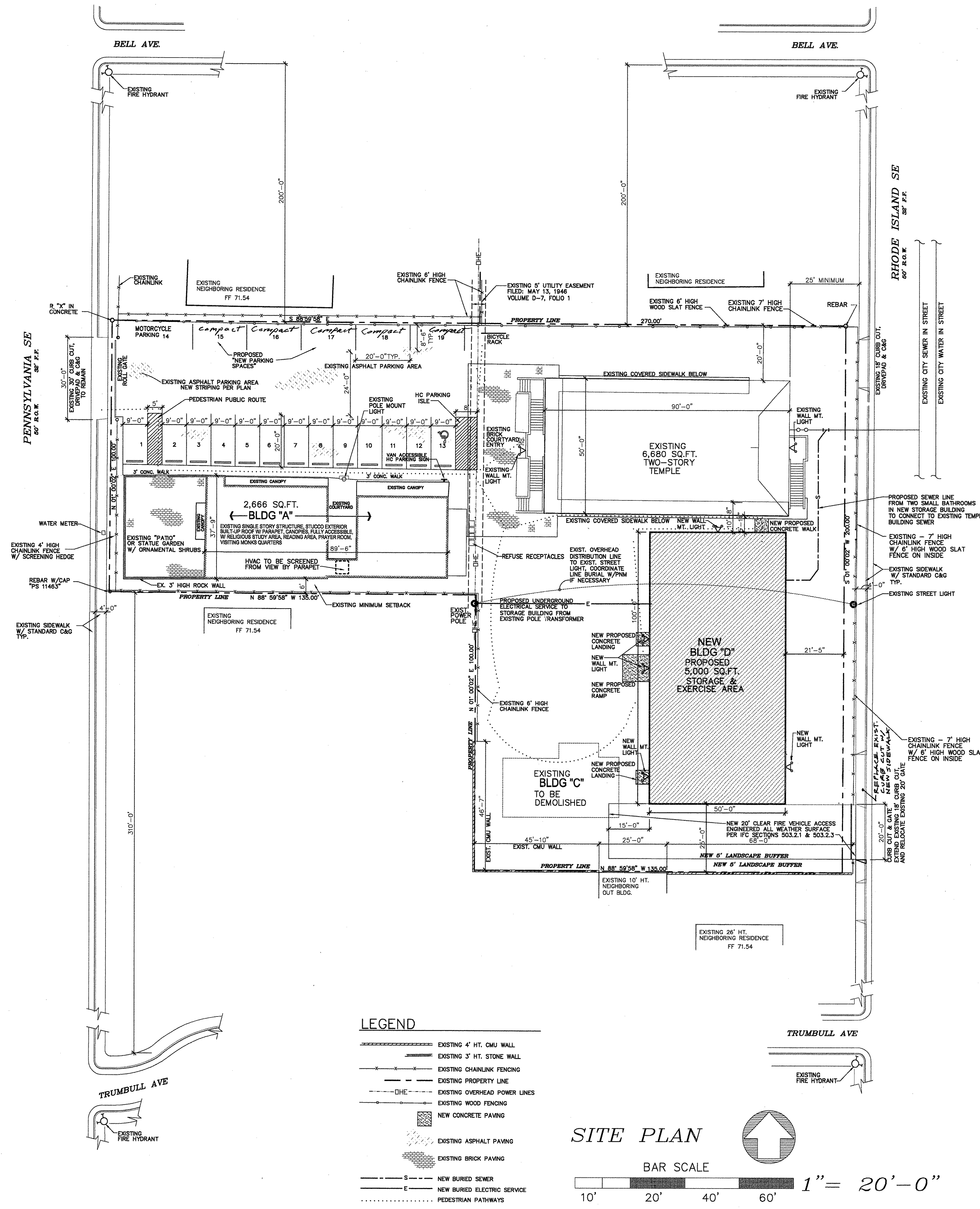
SITE LIGHTING

EXISTING OR NEW PROPOSED MOTION DETECTED / NEW LIGHTING
WILL BE PHOTO SENSOR-MOTION DETECTED WALL MOUNT ABOVE DOORS
WITH LIGHT DIRECTED DOWN
LIGHT FIXTURES WILL NOT SHINE DIRECTLY ON ANY PUBLIC RIGHT-OF-WAY
OR OTHER RESIDENTIAL PREMISES AND SHALL CONFORM TO AREA LIGHTING
REQUIREMENTS AS REGULATING BY SECTION 14-16-3-9 (AREA LIGHTING
REGULATIONS) THE ZONING CODE.

REFUSE

REFUSE IS DISPOSED OF THROUGH RESIDENTIAL TRASH BINS, SERVING OFFICE
FOR PICK UP ON PENNSYLVANIA STREET

REC'D JUNE 12 2014

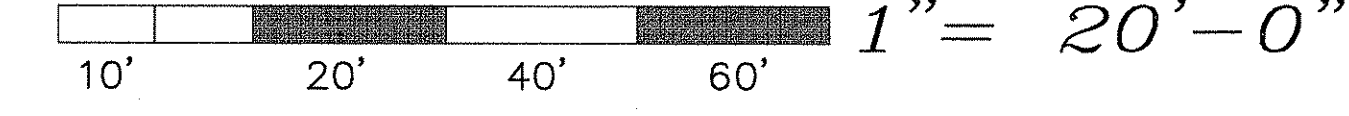


LEGEND

- 4" HT. CMU WALL
- 3" HT. STONE WALL
- - - - - EXISTING CHAINLINK FENCING
- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING OVERHEAD POWER LINES
- - - - - EXISTING WOOD FENCING
- NEW CONCRETE PAVING
- EXISTING ASPHALT PAVING
- EXISTING BRICK PAVING
- - - - - NEW BURIED SEWER
- - - - - NEW BURIED ELECTRIC SERVICE
- PEDESTRIAN PATHWAYS

SITE PLAN

BAR SCALE



PROJECT NUMBER: 1000501
 APPLICATION NUMBER: _____

DRB SITE DEVELOPMENT PLAN APPROVAL:

	12/23/14
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	12/17/14
UTILITIES DEVELOPMENT	DATE
	12-17-14
PARKS AND RECREATION DEPARTMENT	DATE
	12-17-14
CITY ENGINEER	DATE
	12-23-14
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
	12-09-14
SOLID WASTE MANAGEMENT	DATE
	12-23-14
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)

SITE DEVELOPMENT PLAN SUBMITTAL

CHUA QUANG MINH
THE NEW MEXICO VIETNAMESE BUDDHIST ASSOCIATION
ALBUQUERQUE, NEW MEXICO 87108

SHEET

1

12-9-14
DATE

PROJECT NO.