



November 30, 2017

Martin Garcia P.E.  
Anchor Engineering LLC.  
1035 South Bosque Loop  
Bosque Farms, NM 87068

**Re: Ameristone Assisted Living**  
**7503 Central Ave. NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 11-13-17 (K19D150)

Dear Mr. Garcia,

Based upon the information provided in your submittal received 11-27-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces including bicycle and motorcycle parking.
2. Identify the right of way width, sidewalk, curb cuts, and street widths on Espanola St. NE and Chico Rd. NE.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
4. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
6. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
8. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
9. All ADA accessible ramps in COA ROW shall have detectible warning surface that meet COA standards.

PO Box 1293

Albuquerque

NM 87103

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# CITY OF ALBUQUERQUE



10. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Curbs are not called out on the plan.
11. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
12. Show the clear sight triangle and add the following note to the plan:  
"Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
13. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
14. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact me at 924-3630.

PO Box 1293

Sincerely,

Albuquerque

Logan Patz  
Senior Engineer, Planning Department  
Development Review Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

MA/LP            via: email  
C:            CO Clerk, File





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: AMERSTONE ASSISTED LIVING Building Permit #: \_\_\_\_\_ City Drainage #: K190150  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: LOTS 12, 13, 14 & 15 OF BLOCK 1 LOMAVERDE ADDITION  
 City Address: 7503 CENTRAL AVE NE, ALBUQUERQUE, NM 87108

Engineering Firm: ANCHOR ENGINEERING LLC Contact: MARTIN J. GARCIA  
 Address: 1035 SOUTH BOSQUE LOOP, BOSQUE FARMS, NM 87068  
 Phone#: 505-362-1530 Fax#: \_\_\_\_\_ E-mail: martin@anchoreng.net

Owner: AA & S INC Contact: ARIF AMERSHI  
 Address: 7503 CENTRAL AVE NE, ALBUQUERQUE, NM 87108-2142  
 Phone#: 505-379-3305 Fax#: \_\_\_\_\_ E-mail: amerstone@gmail.com

Architect: FINALE & COMPANY ARCHITECTS Contact: ALEXANDER FINALE  
 Address: 26F CONGRESS STREET #237, SARATOGA SPRINGS, NY 12866  
 Phone#: 518-944-9811 Fax#: \_\_\_\_\_ E-mail: alexfinale@msn.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

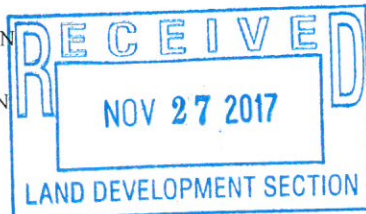
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_



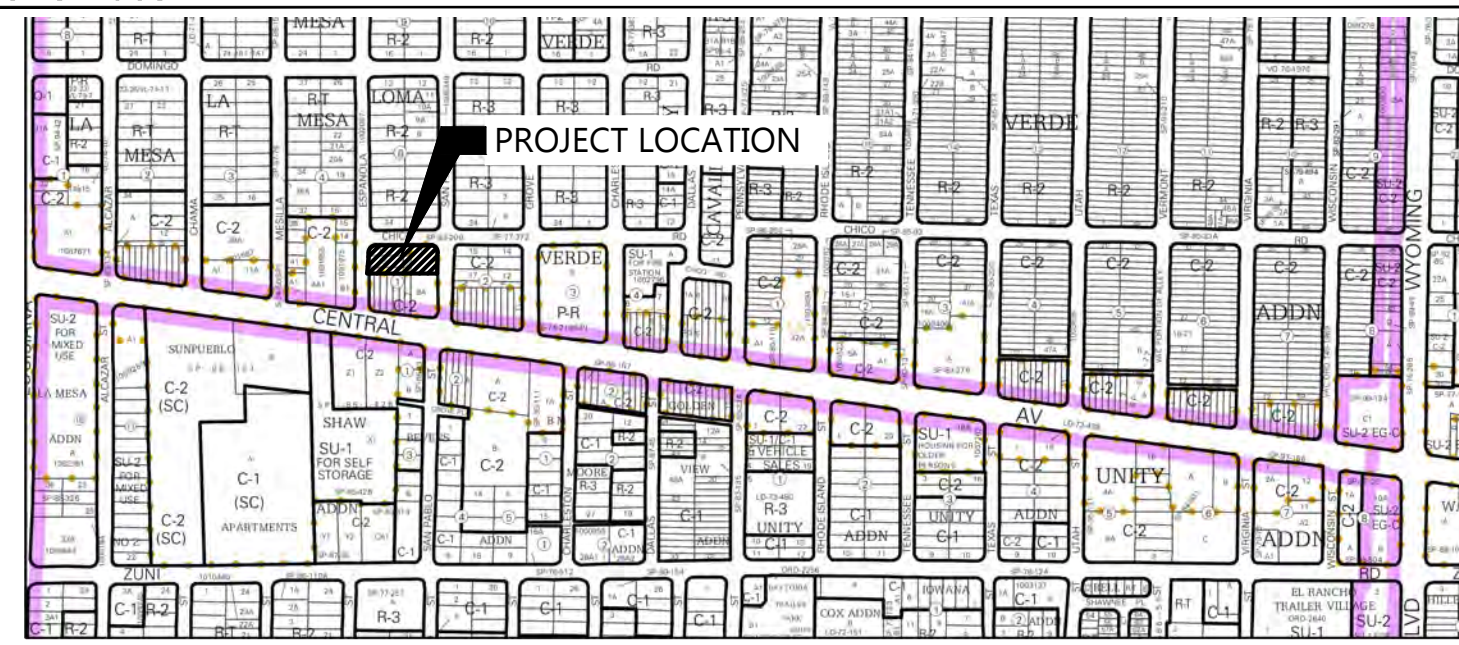
IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 27 Nov 2017 By: Francis Phillips

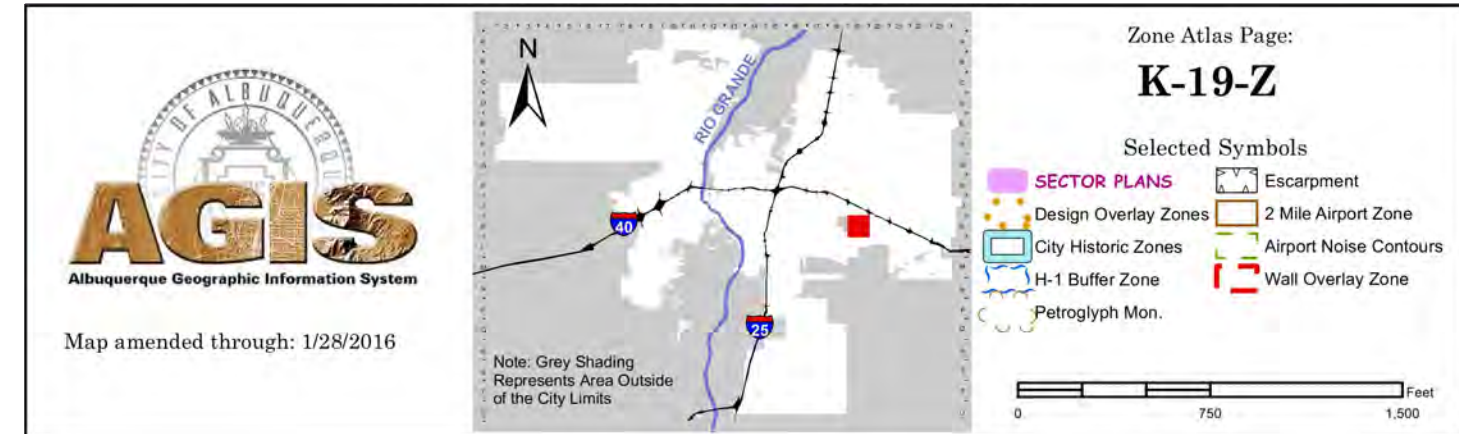
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



Zone Atlas



For more current information and details visit: <http://www.cabq.gov/gis>

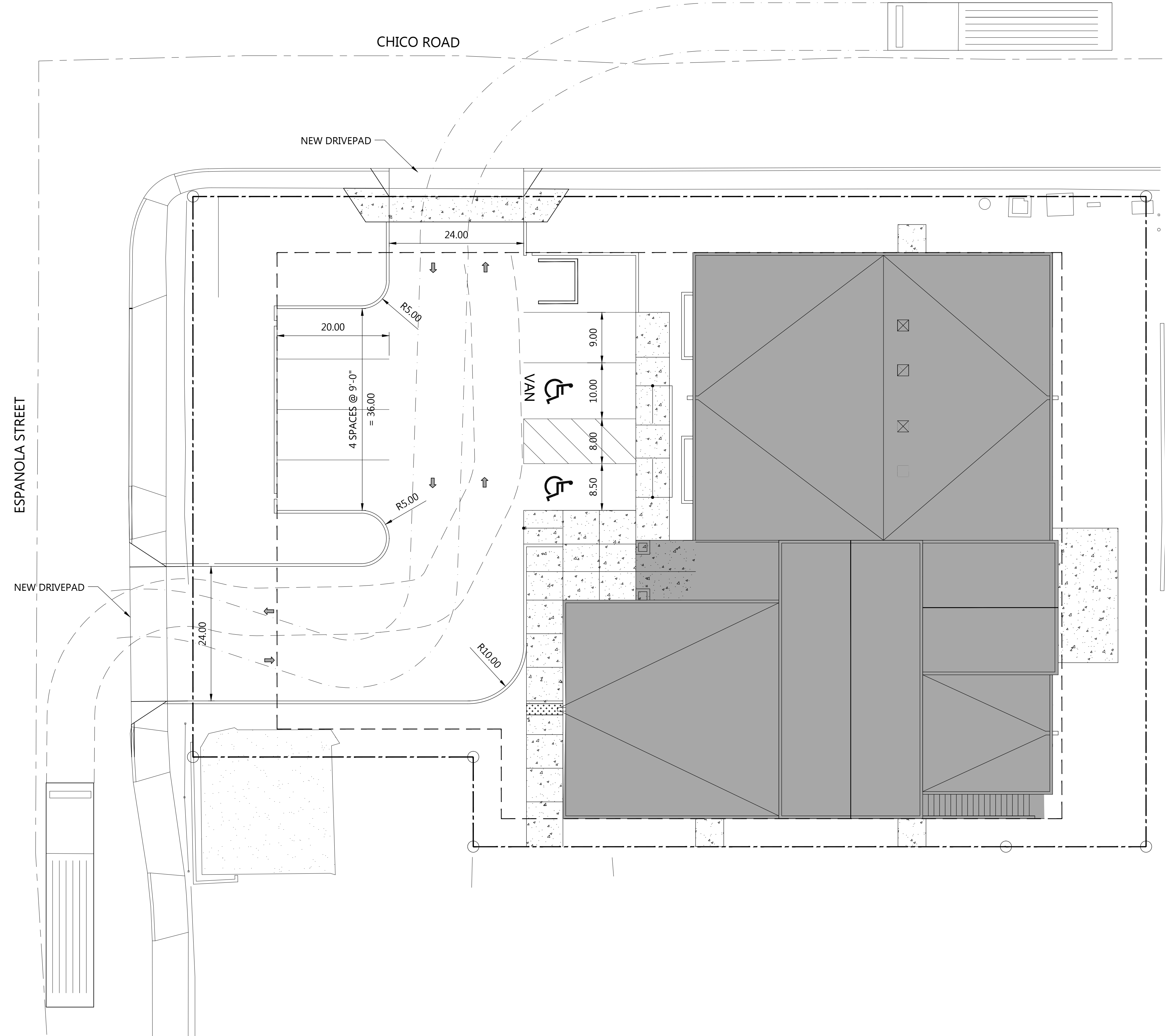


General Notes

- A. SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 2% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C1.

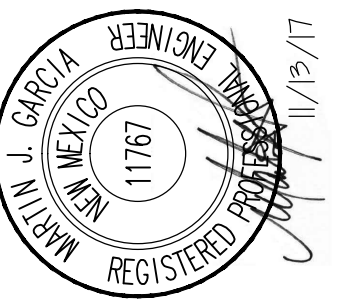
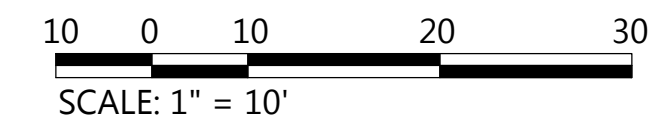
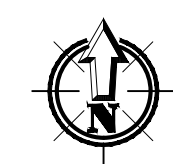
Legend

- PROPERTY LINE
- FIRE TRUCK WHEEL PATH (ESPANOLA ST DRIVEPAD)
- FIRE TRUCK WHEEL PATH (CHICO ROAD DRIVEPAD)
- DIRECTION OF TRAFFIC FLOW
- PAINTED STRIPING
- CONCRETE



TRAFFIC CIRCULATION PLAN

SCALE: 1" = 10'



**Anchor**  
Engineering, LLC  
1035 S. Bosque Ln., Suite 100  
Albuquerque, NM 87108  
505.362.1530  
martin@anchoreng.net

NO.	DATE	COMMENTS

PROJECT NO.	17-035
DATE	11.13.17
DRAWN BY:	F PHILLIPS
CHECKED BY:	M GARCIA
SCALE:	1" = 10'-0"

PROJECT TITLE  
AMERISTONE ASSISTED LIVING  
ALBUQUERQUE, NEW MEXICO

SHEET TITLE  
TRAFFIC CIRCULATION PLAN

SHEET

C2