

CITY OF ALBUQUERQUE



January 9, 2019

Joe Burwinkle Jr, Architect
Joe Burwinkle
7112 Pan American fwy, NE
Albuquerque, NM 87109

**Re: Lindo Mexico Plaza
7112 Central Ave NE
Traffic Circulation Layout
Architect's Stamp 12-10-18 (K19D151)**

Dear Mr. Burwinkle,

The TCL submittal received 1-7-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

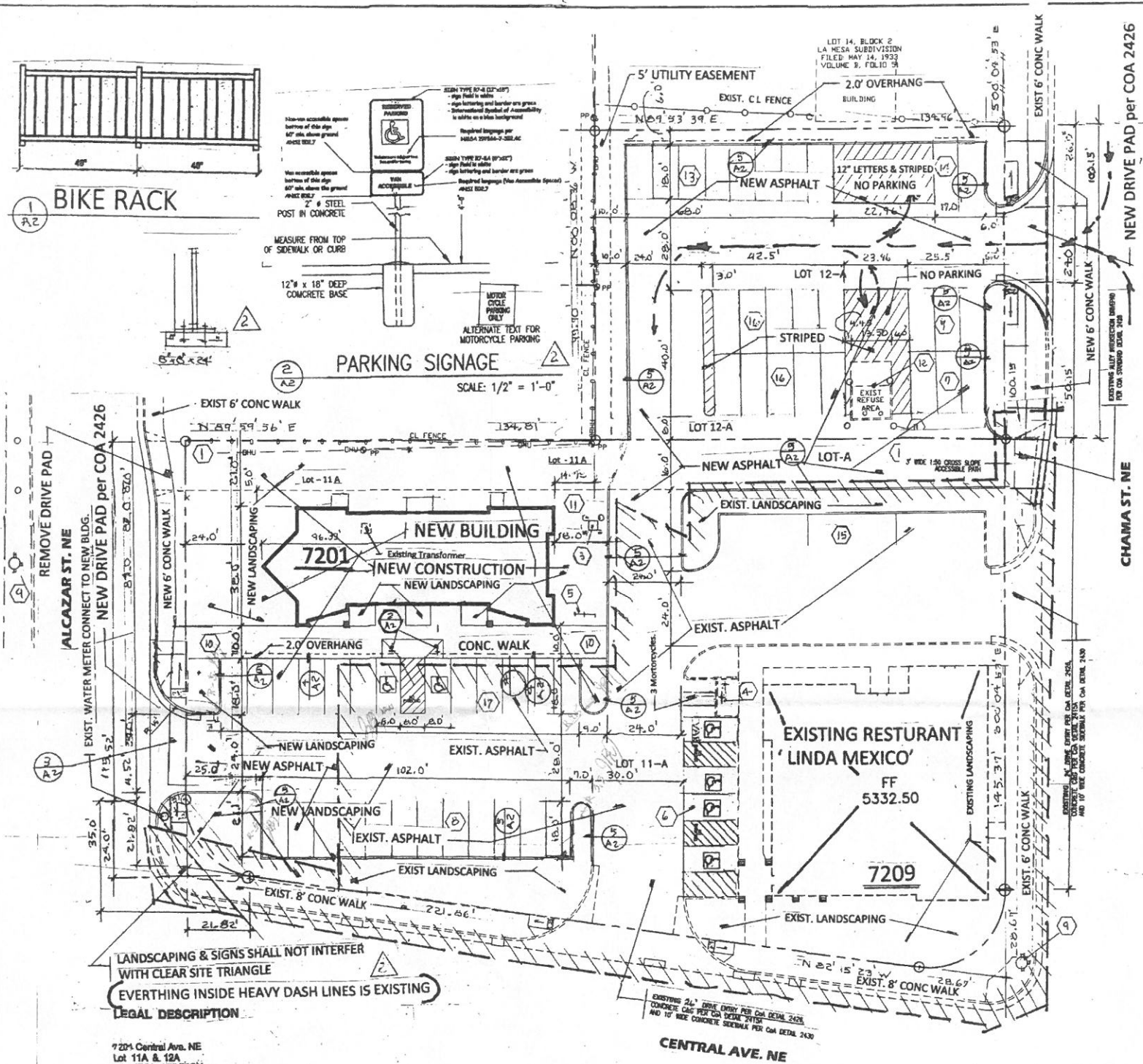
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Transportation Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: File



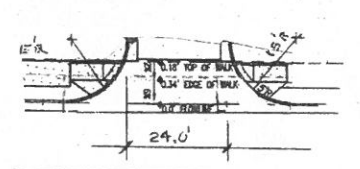
7201 Central Ave. NE
 Lot 11A & 12A
 LA MESA ADDITION
 Albuquerque, New Mexico 87108

Zone Atlas Map K-19
 UPC
 LOT 11-A 10190 05 70 52 123 30803
 LOT 12-A 10190 05 70 57 138 30806

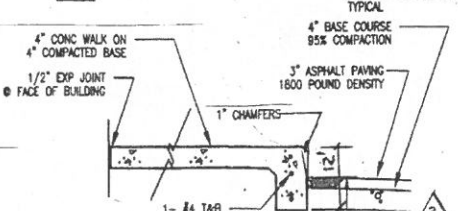
This property has been replatted into Lot 11-A (south) adding a 16' 10" utility easement. Lot - 12A (north) filed replat.

TRAFFIC CONTROL LAYOUT

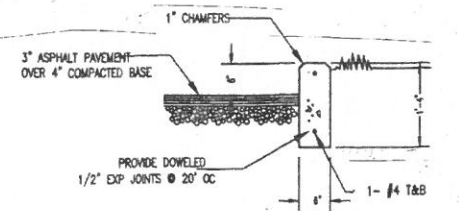
PLAN REVISED TO INCREASE PARKING for TENANTS



CONC. CURB & GUTTER per CoA 2415A
 & 6'-0" CONC. WALK per CoA 24



PAVING @ SIDEWALK



CONCRETE HEADER CURB

1" = 20'-0"

DESIGN CODES, DATA

2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL PLUMBING CODE
 2012 NATIONAL ELECTRIC CODE
 2012 INTERNATIONAL ENERGY CODE
 2009 ANSI A-117 CODE

OCCUPANCY - TYPE B

CONSTRUCTION - TYPE 5-B

OCCUPANTS / AREA

SUITE A	725 sf / 300 - 4
B	700 sf / 200 - 4
C	700 sf / 200 - 4
D	741 sf / 200 - 4
TOTAL	2866 SF 16

PARKING REQUIREMENTS

Existing Restaurant	178 Seats / 4	44 Spaces
New Business Building	2800 SF / 20	14 Spaces
Total Required		58 Spaces
Bus Route Reduction 10%		- 6 Spaces
TOTAL REQUIRED		52 Spaces
PARKING PROVIDED		
North Lot	26 Spaces	
South Lot	32 Spaces	
TOTAL PROVIDED		58 Spaces

ADA Van Accessible	1	2
ADA Standard Parking Spaces	4	4
Motorcycles	8	3
Bike Rack	4	8

- NOTES**
- 16'-0" UTILITY EASEMENT
 - EXIST. TRANSFORMER RELOCATE
 - NEW TRANSFORMER
 - MOTORCYCLE SIGN
 - BIKE RACK - 4
 - 4 CARS
 - 3 CARS @ 25'-0"
 - 12 CARS 12 CARS
 - EXIST. FIRE HYDRANT
 - 10'-0" CONC. WALK
 - STEEL PIPES 6" Ø x 8'-0" in 12" Ø x 4'-0" CONCRETE FTG.
 - EXIST. SOLID WASTE UNIT, joint use agreement on file
 - 8 CARS @ 8.5
 - 2 CARS @ 8.5
 - 3 CARS @ 28'
 - 4 CARS @ 8'
 - 13 CARS

- NOTES**
- Existing ADA ramp at Alcazar Street and Central Avenue add 2' x 4' yellow truncated cones per CABQ DWG. 2441.
 - Existing ADA ramp at Chama Street and Central Avenue complies with CABQ DWG. 2441.
 - Existing ADA ramps at Central Avenue and Chama Street entries and utility easement all comply with CABQ DWG. 2441.
 - New ADA ramp on Alcazar Street will comply with CABQ DWG. 2441.
 - Existing bike rack for four (4) at restaurant.
 - New bike rack for four (4) locate at east end of new building.
 - Both the restaurant and new business will share the existing refuse container. Refuse site conforms to CABQ Solid Waste DWG.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 4/1/19

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

EXECUTIVE SUMMARY

THE OWNER HAS ACQUIRED THE SOUTH 11-11 LOTS & ARE REPLATED INTO LOT 11-A, AND NORTH LOTS 12 & 13 THAT ARE REPLATED TO LOT 12-A. HE WISHES TO BUILD A SMALL BUILDING WITH 4 SUITES. THIS NEW BUILDING WILL BE LOCATED ALONG THE NORTH EDGE OF 11-A JUST SOUTH OF THE UTILITY EASEMENT.

THE CVS BUILDING ON CENTRAL AVE. @ LOUISIANA IS SET BACK WITH MOST OF IT PARKING ALONG CENTRAL AVE. THIS ALLOWS EAST BOUND TRAFFIC ON CENTRAL AVE. TO VIEW THE OWNER LINDA MEXICO RESTAURANT FROM LOUISIANA BLVD. AND CENTRAL AVE.

ALL PARKING ON BOTH LOTS 11-A & LOT 12-A HAVE A SIGNED & FILED PARKING AGREEMENT.

ALL PARKING IS SHIELDED FROM THE STREET BY A 10' LANDSCAPING BUFFER.



ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. FOR ACCURACY, USE DIMENSIONS.

Joe Burwinkle, Architect

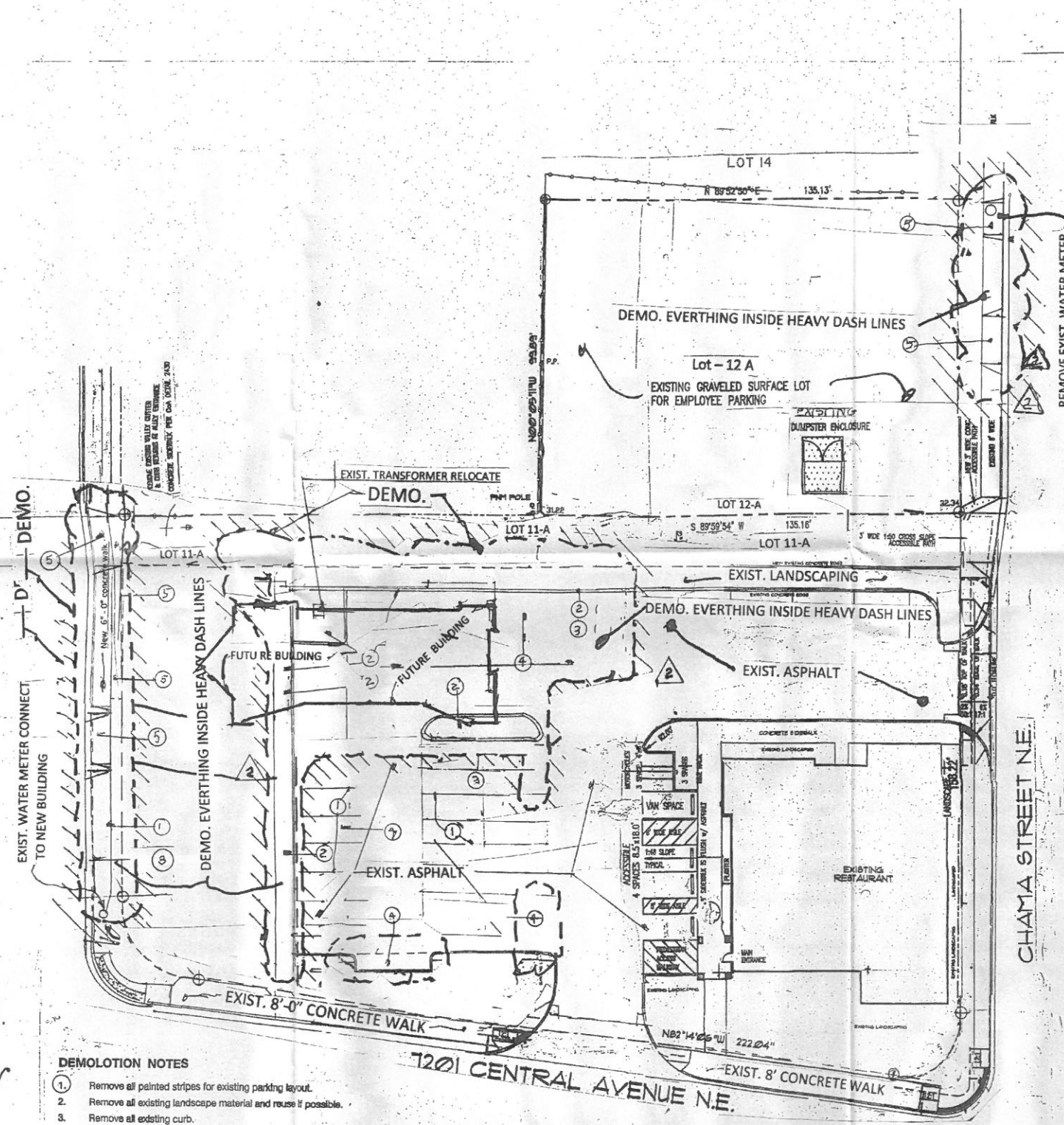
LINDA MEXICO PLAZA
 LA MESA ADDITION
 LOTS 11A, 12A & 13A
 1201 CENTRAL AVE. NE
 ALBUQUERQUE, NEW MEXICO

DATE: 5-15-19
 DRAWN BY: TONY BUCKLEY
 CHECKED BY: JOE BURWINKLE, JR.
 VERIFIED BY: [Signature]

SHEET No.

A-2

TCL



- DEMOLITION NOTES**
- 1. Remove all painted stripes for existing parking layout.
 - 2. Remove all existing landscape material and reuse if possible.
 - 3. Remove all existing curb.
 - 4. Patch all asphalt paving as required.
 - 5. Remove existing curb cuts per site plan.

TCL SITE DEMO. PLAN

DEMOLITION NOTES

1" = 20'-0"



City of Albuquerque
Building Safety
MAY 23 2019
I.B.C.
Plan Check Section



REVISIONS	
1	10 30 18
2	10 30 18
3	10 30 18
4	10 30 18
5	10 30 18
6	10 30 18
7	10 30 18
8	10 30 18
9	10 30 18
10	10 30 18

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Joe Burwinkle, Architect
7113-119 1st Avenue NW, NE
Albuquerque, NM 87109
505-977-9454 cell, 505-821-8866

LINDO MEXICO PLAZA
LA MESA SUBDIVISION
LOT - 11-A & 12-A
1201 CENTRAL AVE NE
ALBUQUERQUE, NEW MEXICO

DATE: 5-2-18
DRAWN BY: J. BURWINKLE
CHECKED BY: J. BURWINKLE
VERIFIED BY:

SHEET No.
A-2.1

TCL