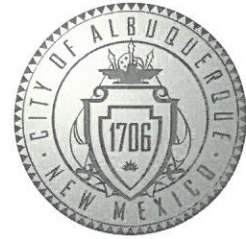


CITY OF ALBUQUERQUE



July 27, 2018

Joe Burwinkle Jr, Architect
Joe Burwinkle
7112 Pan American fwy, NE
Albuquerque, NM 87109

**Re: Lindo Mexico Plaza
7112 Central Ave NE
Traffic Circulation Layout
Architect's Stamp 04-10-18 (K19-D151)**

Dear Mr. Burwinkle,

Based upon the information provided in your submittal received 07-16-18, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The 16 foot driveway on Chama St between the two entrances is not large enough for two way traffic and should be closed.
2. The demo plan boundaries and the new construction on the TCL are not matching up. The ADA parking sign should remain on the TCL plan.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Traffic Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11 2016)

Project Title: LINE 1 MEXICO PLAZA Building Permit #: _____ Hydrology File #: K190151

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 11A & 12A LA MESA BLOCK 2

City Address: 7201 CENTRAL AVE NE

Applicant: JOE BURWINKLE JR, ARCHITECT Contact: 977-9458

Address: 7112 PAN AMERICAN FWY NE 807107

Phone#: 505 977-9458 Fax#: _____ E-mail: JOSEPHBURWINKLE@MENI.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

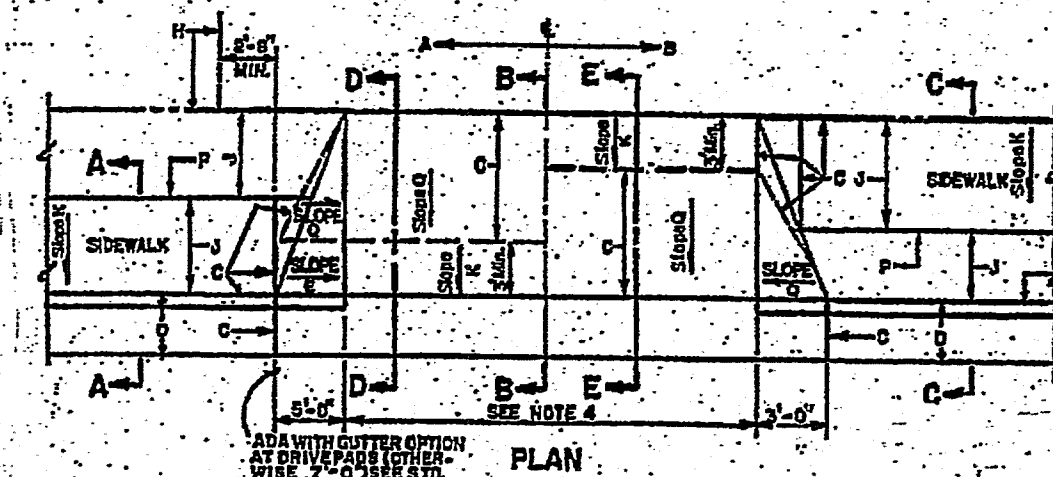
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 7-12-18 By: Joe Burwinkel Jr

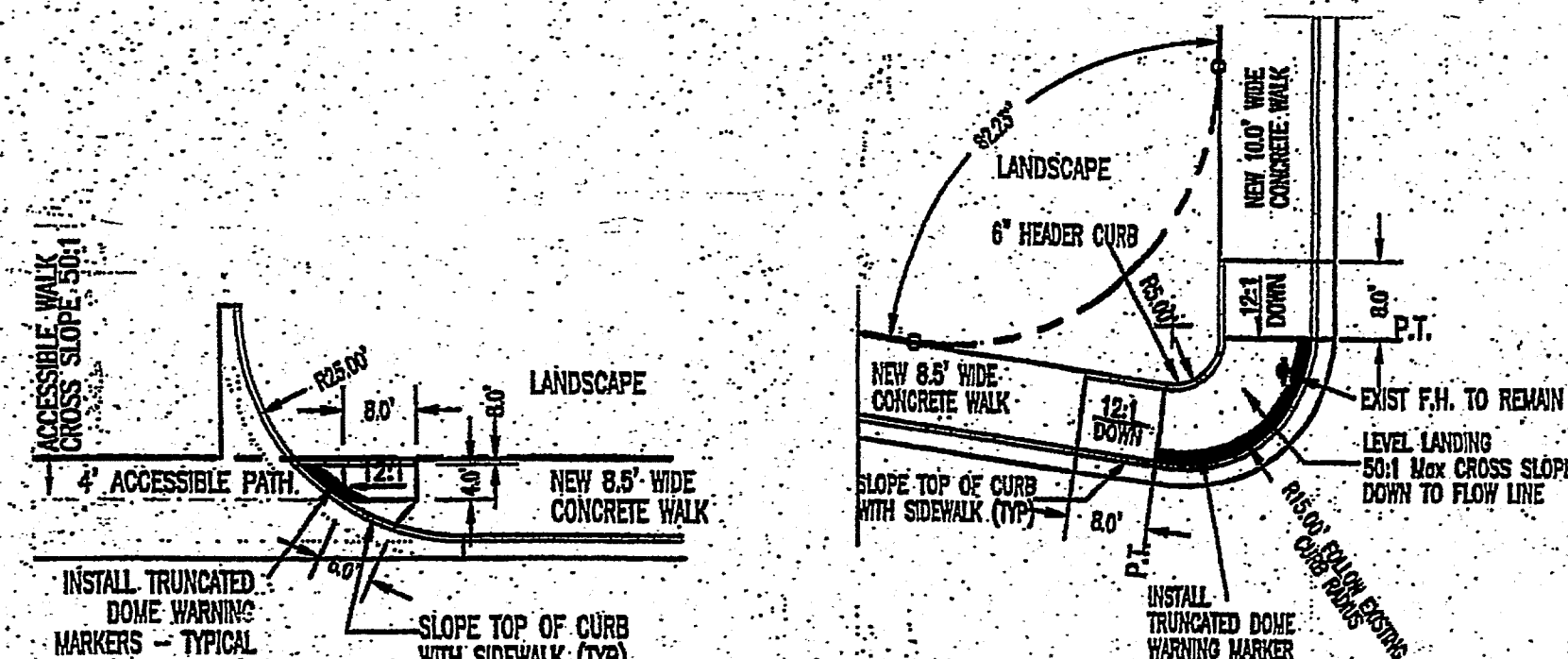
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

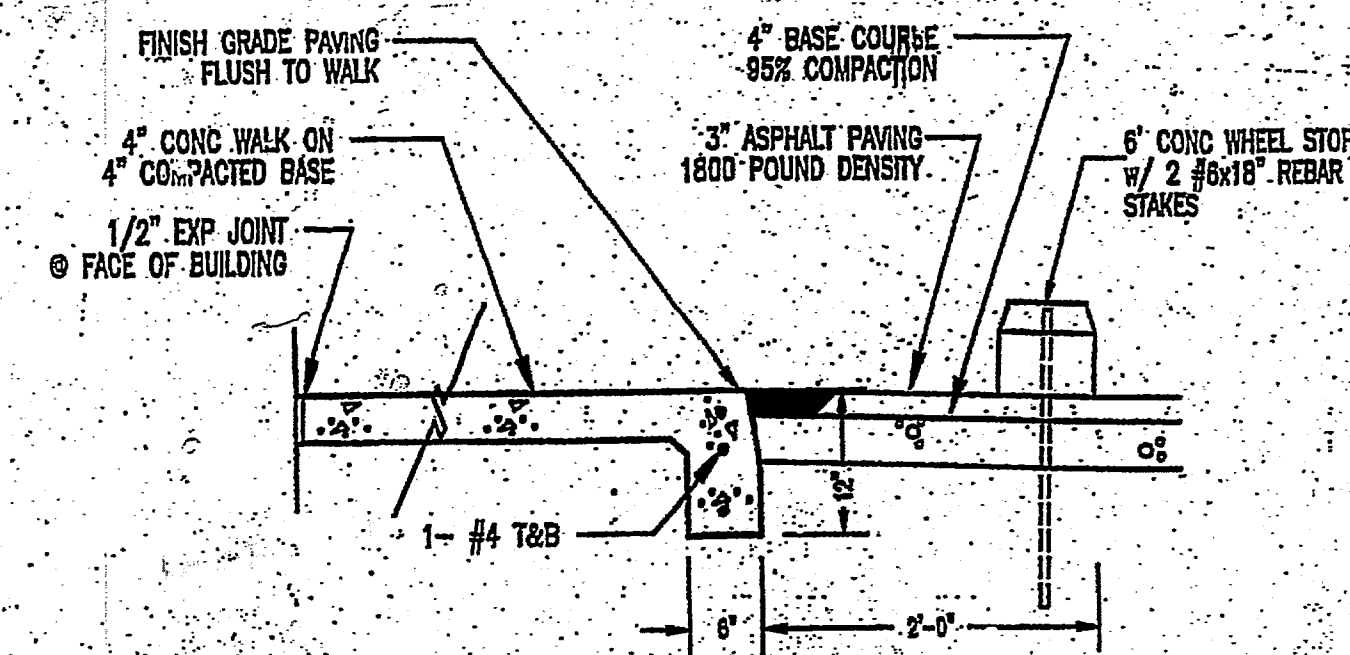


CITY OF ALBUQUERQUE
PAVING
DRIVEPADS
DWG. 2425
AUG. 1988

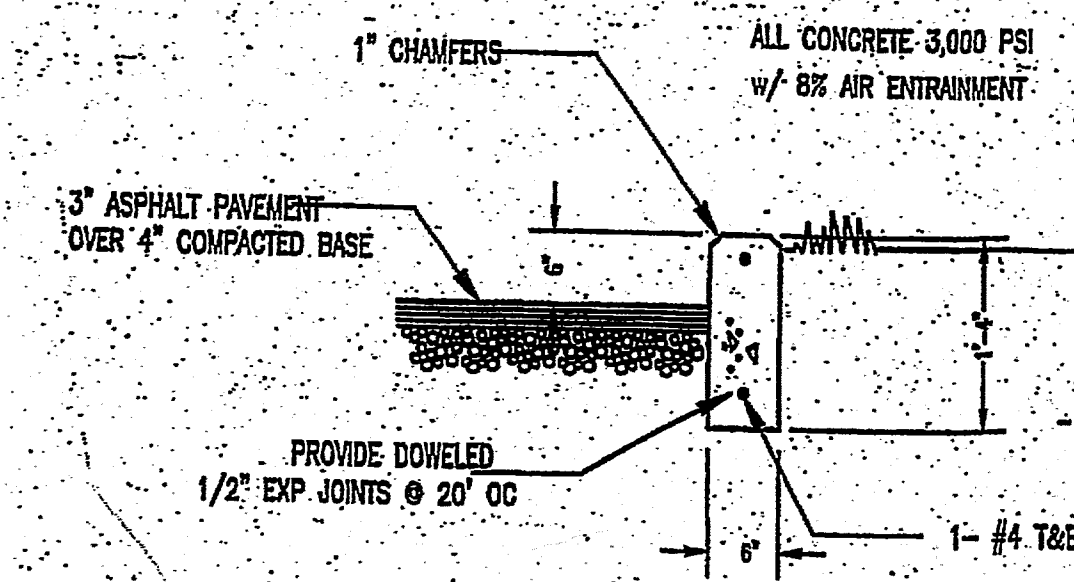


REF: COA STANDARD DETAIL 2426
ACCESSIBLE RAMP
SCALE: 1" = 20'-0"

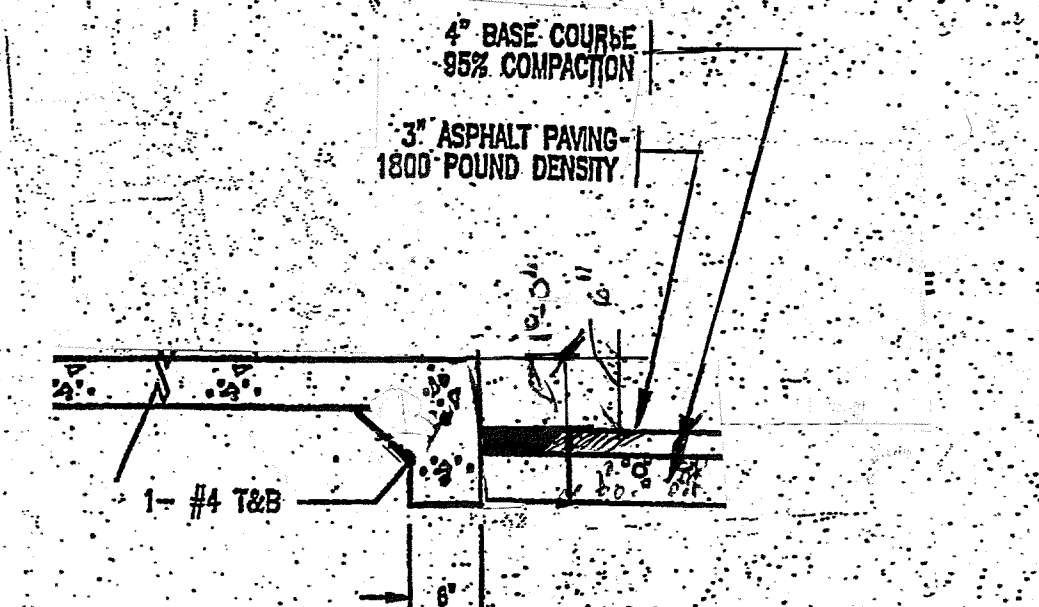
REF: COA STANDARD DETAILS 2440 & 2441
ACCESSIBLE CORNER RAMP
SCALE: 1" = 20'-0"



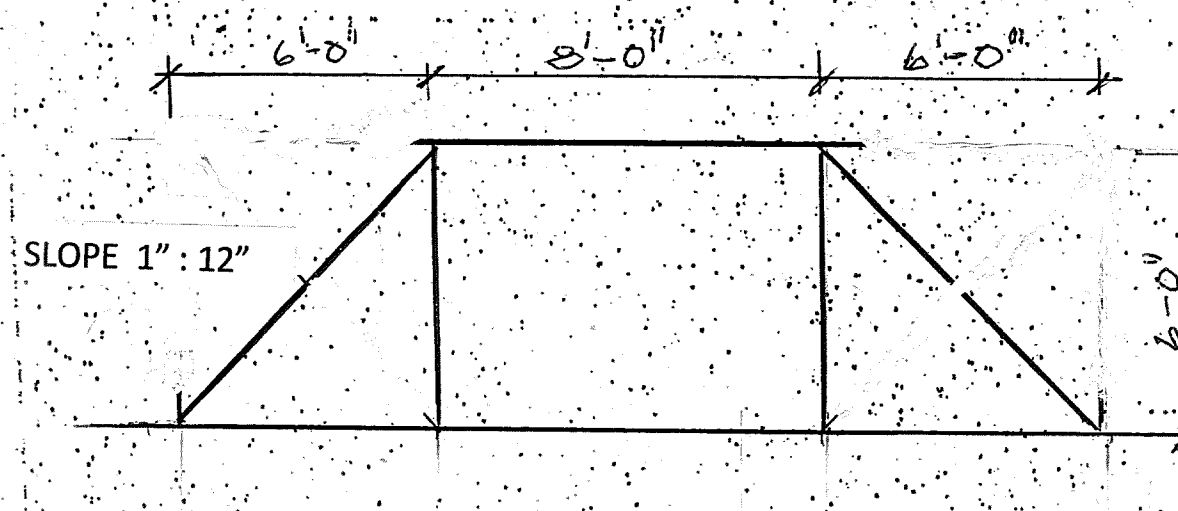
PAVING @ SIDEWALK
SCALE: 3/4" = 1'-0"



CONCRETE HEADER CURB DETAIL
SCALE: 3/4" = 1'-0"



PAVING @ SIDEWALK
SCALE: 3/4" = 1'-0"



ADA CURB RAMP 1/4" = 1'-0"

EXECUTIVE SUMMARY

LOCATION

La Mesa Addition Zone Atlas Map K-19 on Central Avenue NE between Alcazar and Chama Street.

DEVELOPMENT

The owner has acquired the Lots 1-11 south lots replated into LOT 11A and 12-18 north lots replated into LOT 12A and wishes to build a small shopping building. The new shopping building will be located to the north edge of the utility easement. This location allows east bound traffic on Central Avenue to see the owner's restaurant from Louisiana Blvd.

The CVS store building on the corner of Central Avenue and Louisiana Blvd. with Alcazar Street to the east is set back from Central Avenue to the north to allow for this view also.

All parking is on site with a signed parking agreement on file.
All parking is shielded from the street by a 10' landscaping buffer.

No formal circulation of traffic is warranted for this development. The project will have minimal impact on adjacent sites.

LEGAL DESCRIPTION

7201 Central Ave. NE
Lot 11A & 12A
LA MESA ADDITION
Albuquerque, New Mexico 87108

Zone Atlas Map K-19
UPC LOT 11-A 1019 05 70 52 123 30803
LOT 12-A 1019 05 70 57 138 30808

This property has been replated into Lot 11-A (south) adding a 16' utility easement. Lot - 12A (north). This filed replat drawing is attached.

PARKING REQUIREMENTS

Existing Restaurant	173 Seats / 4	44 Spaces
New Business Building	2800 SF / 20	14 Spaces
Total Required		58 Spaces
Bus Route Reduction 10%		5 Spaces
TOTAL REQUIRED		53 Spaces
PARKING PROVIDED		
North Lot		22 Spaces
South Lot		33 Spaces
TOTAL PROVIDED		55 Spaces

	REQUIRED	PROVIDED
ADA Van Accessible	1	1
ADA Standard Parking Spaces	5	5
Motorcycles	3	3
Bike Rack	4	2

NOTES

- Existing ADA ramp at Alcazar Street and Central Avenue add 2' x 4' yellow truncated cones per CABQ DWG. 2441.
- Existing ADA ramp at Chama Street and Central Avenue complies with CABQ DWG. 2441.
- Existing ADA ramps at Central Avenue and Chama Street entries and utility easement all comply with CABQ DWG. 2441.
- New ADA ramp on Alcazar Street will comply with CABQ DWG. 2441.
- Existing bike rack for four (4) at restaurant.
- New bike rack for four (4) locate at east end of new building.
- Both the restaurant and new business will share the existing refuse container. Refuse site conforms to CABQ Solid Waste DWG.
- New sidewalks on Central Avenue and Alcazar Street shall conform to CABQ DWG. 2430.

LEGAL DESCRIPTION

7201 Central Ave. NE
Lot 11A & 12A
LA MESA ADDITION
Albuquerque, New Mexico 87108

Zone Atlas Map K-19
UPC LOT 11-A 1019 05 70 52 123 30803
LOT 12-A 1019 05 70 57 138 30808

This property has been replated into Lot 11-A (south) adding a 16' utility easement. Lot - 12A (north). This filed replat drawing is attached.
FILED 2/9/18

TRAFFIC CONTROL LAYOUT

ALL CONSTRUCTION OUTSIDE THE
HEAVY DASH LINES IS PART OF THIS TCL

- EXIST. WATER METER CONNECT TO NEW BLDG.
- LANDSCAPING AND SIGN SHALL NOT INTERFERE WITH CLEAR SITE TRIANGLE

1"=20'-0"

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.



Joe Burwinkle, Architect
7112-119 Pan American Pkwy, NE
Albuquerque, NM 87109
505-977-9558 cell 505-977-5866

LINDO MEXICO PLAZA
LA MESA ADDITION
LOT 11-A & 12-A
1201 CENTRAL AVE NE
ALBUQUERQUE, NEW MEXICO

DATE 5-15-18
DRAWN BY TOMENSTOCK LLC
CHECKED BY JOE BURWINKLE, JR.
VERIFIED BY

SHEET No.

A-2

