

CITY OF ALBUQUERQUE



April 10, 2019

Patricia Hancock, R.A.
SMPC Architects
2019 Central Ave NW, Suite 800
Albuquerque, NM 87110

**Re: Fiesta Kia Group,
7400 Lomas Blvd NE, 87110
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-13-18 (K19D152)
Certification dated 4-5-19**

Dear Ms. Hancock,

Based upon the information provided in your submittal received 4-8-19, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

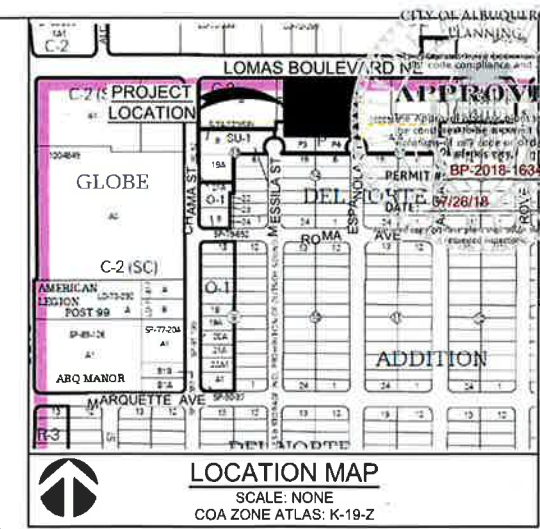
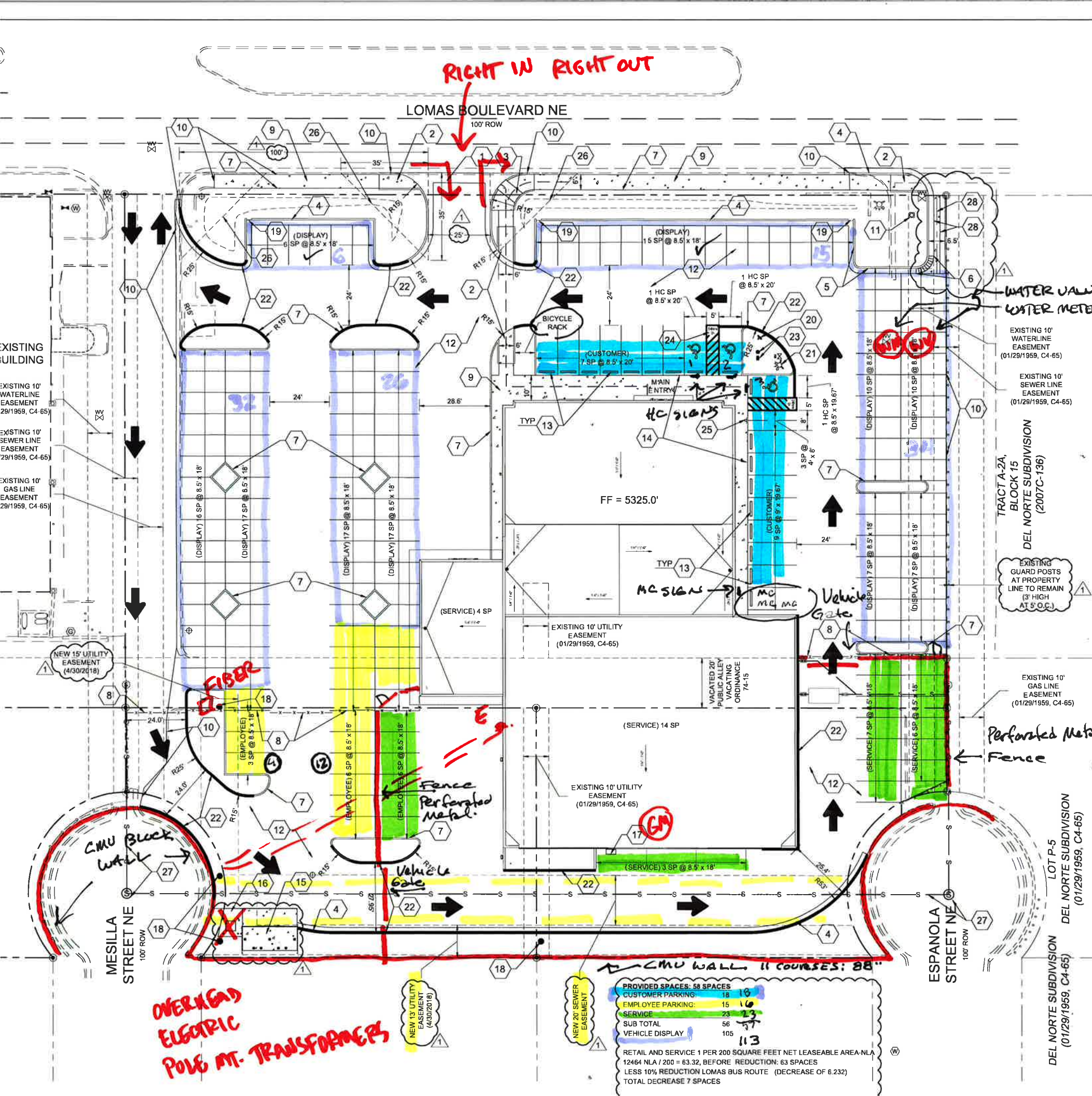
- Please correct Motorcycle Parking
(See attached Photo. Stalls must be accessible and not blocked.)
- Please remove construction materials, debris and porta-potty
(See attached photos)

Once corrections are complete resubmit acceptable package along with a completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit to PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3981

Sincerely,

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



KEYED NOTES

1. CONSTRUCT NEW ENTRANCE PER COA STD DWG 2426.
2. CONSTRUCT NEW ACCESSIBLE RAMP. SEE DETAIL 8/C-501.
3. CONSTRUCT NEW ACCESSIBLE RAMP PER DETAIL 7/C-501.
4. CONSTRUCT NEW STD. C&G PER COA STD DWG 2415A.
5. CONSTRUCT MOUNTABLE ROLL CURB PER COA STD DWG 2415A.
6. TRANSITION FROM MOUNTABLE ROLL CURB TO STD.C&G.
7. CONSTRUCT HEADER CURB PER COA STD DWG 2415B.
8. INSTALL NEW ROLLING GATE AND FENCE. SEE ARCHITECTURAL PLANS FOR DETAILS.
9. CONSTRUCT NEW CONCRETE WALK. SEE DETAIL 4/C-501.
10. MATCH TO EXISTING PAVEMENT/CURB/ELEVATIONS.
11. NEW WATER METER SEE C103 AND PLUMBING PLANS FOR CONTINUATION.
12. INSTALL NEW ASPHALT PAVEMENT. SEE DETAIL 3/C-501.
13. INSTALL CONCRETE WHEEL STOP. SEE DETAIL 5/C-501.
14. CONSTRUCT SIDEWALK TO ASPHALT TRANSITION PER DETAIL 6/C-501.
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16. CONSTRUCT NEW CONCRETE TRANSFORMER PAD.
17. NEW GAS METER. SEE C-103 & PLUMBING PLANS P-102.
18. NEW POLE FOR NEW OVERHEAD PRIMARY POWER LINES PER PNM. SEE SHEET SE-101.
19. CONSTRUCT 2' CURB CUT FOR DRAINAGE.
20. NEW REMOTE FIRE DEPARTMENT CONNECTION COORDINATE SIZE AND TYPE WITH FIRE PROTECTION ENGINEER. SEE C-103.
21. NEW PRIVATE FIRE HYDRANT. SEE C-103.
22. NEW FIRE LANE STRIPING. SEE C-103 AND APPROVED FIRE 1 PLAN.
23. 4" PIV AND 4" RPBA ON FIRE SUPPLY LINE. SEE C-103.
24. CAPITAL LETTERS "NO PARKING", 1' HIGH AND 2" WIDE MIN.
25. MOTORCYCLE PARKING SIGN.
26. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR 35'X35' SIGHT TRIANGLE.
27. NEW SANITARY SEWER LINE AND MANHOLES. SEE PROJECT WORK ORDER FOR PROPOSED SEWER LINE CONSTRUCTION.
28. CONSTRUCT NEW DEPRESSED C&G PER COA STD DWG 2415A, AND CONCRETE ALLEY GUTTER BETWEEN CURBS. PER COA STD DWG 2415A.

LEGEND

- NEW ASPHALT PAVEMENT
- EXISTING CONCRETE SIDEWALK
- NEW CONCRETE SIDEWALK
- EXISTING BUILDING
- NEW BUILDING
- FINISH FLOOR ELEVATION
- EXISTING SANITARY SEWER MANHOLE
- NEW SANITARY SEWER MANHOLE
- NEW SANITARY SEWER CLEANOUTS
- DIRECTION OF FLOW
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE
- NEW FIRE HYDRANT
- NEW GATE VALVE
- NEW WATERLINE
- NEW WATER METER
- EXISTING OVERHEAD ELECTRIC LINE
- FIRE/DELIVERY LANE TRAFFIC CIRCULATION PATH (NO PAVEMENT STRIPING)
- FIRE LANE CURB STRIPING
- ADA ACCESSIBLE PATHWAY TO MAIN ENTRY



FIESTA KIA
PERMIT SET
7400 LOMAS, ALBUQUERQUE NEW MEXICO

DATE:	5/14/18
PROJECT #:	17017
DRAWN BY:	CAB
CHKD BY:	JCH
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SHEET TITLE	

SITE & TRAFFIC CIRCULATION

April 5, 2019

Ms. Racquel Michel, PE
Transportation Development Manager
City of Albuquerque

RE: TCL Plan – Fiesta Kia – 7400 Lomas Blvd NE
RePlat Property – Fiesta Kia – 7400 Lomas Blvd NE

TRAFFIC CERTIFICATION

I, **PATRICIA HANCOCK**, NMRA #2095, OF THE FIRM **SMPC Architects**, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANCIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **6/13/18**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE **April 1, 2019** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY FOR THE PARKING STRUCTURE. THERE ARE NO EXCEPTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANCIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF IT'S ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECTS STAMP



April 5, 2019
Date

If you have any additional questions or require additional information, please contact me at (505) 255-8668.

Sincerely,



Patricia Hancock, AIA
Principal



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Fiesta Kia Auto Group **Building Permit #:** BP-2018-16348 **City Drainage #:** K19-D152
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT A thru K, P-3, P-4 PARCEL 2, DEL NORTE SUBDIVISION
City Address: 7400 LOMAS BOULEVARD NE, ALBUQUERQUE, NM

Engineering Firm: ABQ Engineering Inc. **Contact:** Craig Hagelgantz PE
Address: 8102 Menaul Blvd. NE, Suite D, Albuquerque NM 87110
Phone#: 505-255-7802 **Fax#:** 505-255-7902 **E-mail:** chagelgantz@abqeng.com

Owner: Fiesta Kia - Derek Kulach **Contact:** JUNO RABY
Address: 7300 LOMAS BLVD NE ALBUQUERQUE, NM 87110
Phone#: 505-999-2700 **Fax#:** _____ **E-mail:** derek_kulach@fiestaautogroup.com

Architect: SMPC Architects **Contact:** Glenn Fellows- Project Manager
Address: 219 Central Ave NW, Suite 800, Albuquerque , NM 87102
Phone#: 505-255-8668 **Fax#:** 505 268 6665 **E-mail:** g.fellows@smpcarchitects.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

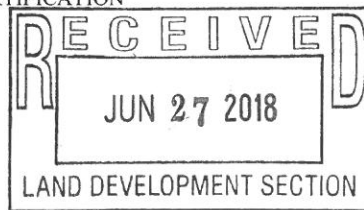
DATE SUBMITTED: 6/26/18 By: chagelgantz@abqeng.com

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

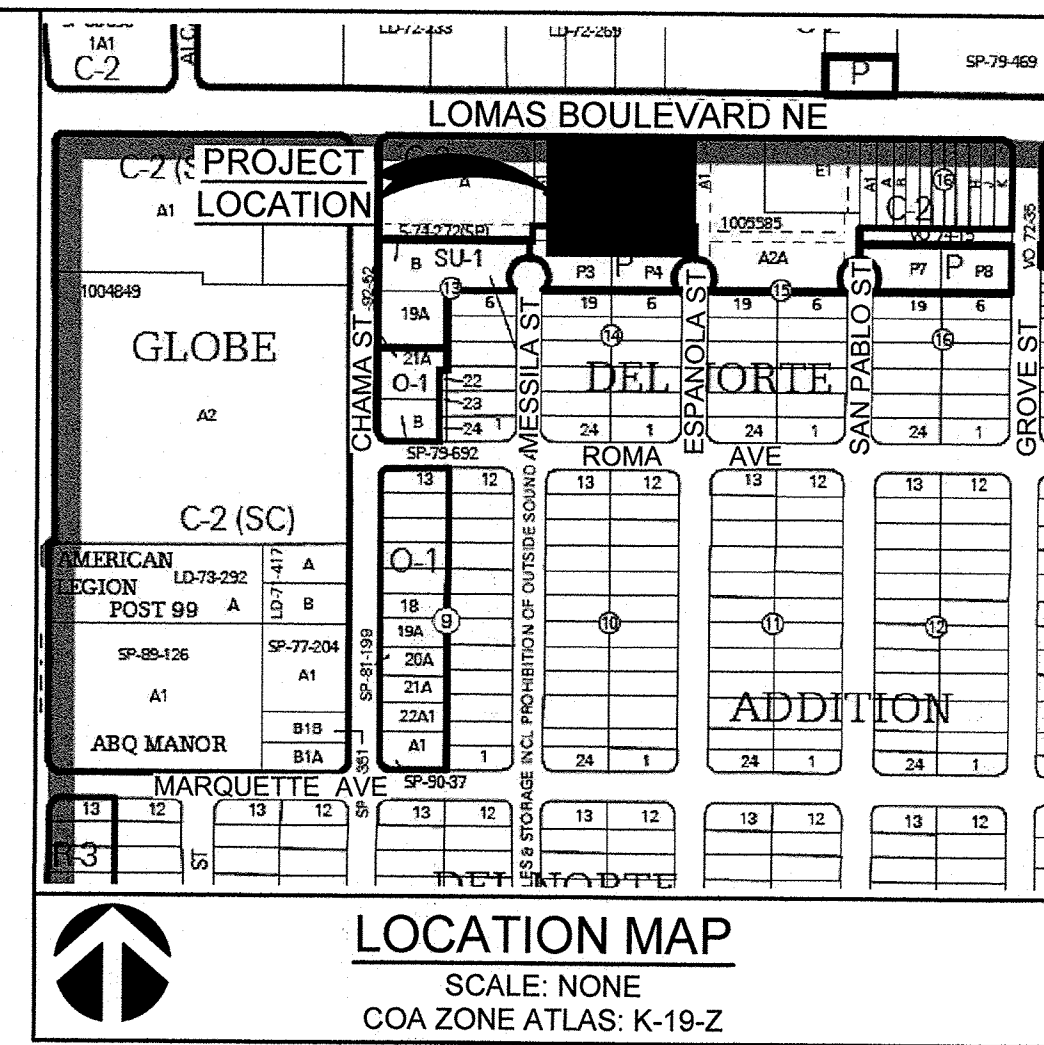
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



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FIRE LANE CURB STRIPING
ADA ACCESSIBLE PATHWAY TO MAIN ENTRY

TRAFFIC CIRCULATION LAYOUT
APPROVED
07/08
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

andul 07/08
Signed Date

DATE:	5/14/18
PROJECT #:	17017
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CHD BY:	JCH
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SHEET TITLE	

SITE & TRAFFIC CIRCULATION LAYOUT PLAN

C-102r1



MOTORCYCLE
PARKING
ONLY

MC

MC

MC

MC





