

# CITY OF ALBUQUERQUE



March 16, 2017

Matt Satches  
Bohannon Huston, Inc.  
7500 Jefferson St. NE  
Albuquerque, NM, 87109

Richard J. Berry, Mayor

**RE:** The New Altos Pool  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date 2-21-2017 (File: K20D037)

Dear Mr. Satches:

Based upon the information provided in your submittal received 2-21-2017, the above referenced Grading and Drainage Plan cannot be approved for Site Plan for building permit until the following comment are addressed:

1. Provide professional engineer's stamp with signature and date.
2. Provide vicinity map.
3. Provide benchmark.
4. Provide volume of runoff and peak discharge calculations.
5. Provide proposed first flush volume calculation.
6. Provide offsite flow narrative.
7. NMDOT approval will be required if peak discharge is increasing from existing condition.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

When you are submitting for building permit address the following:

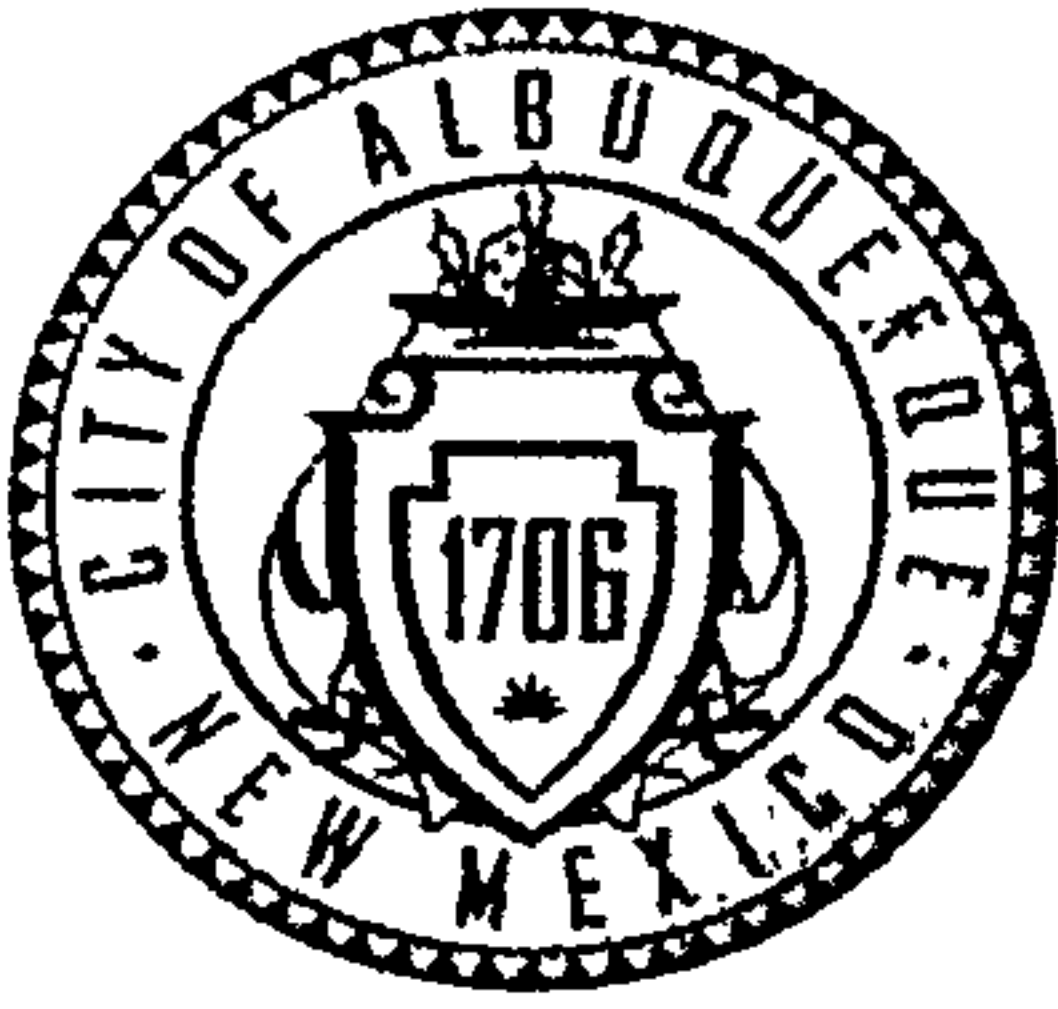
1. Curb opening details.
2. Build note for demolished curb and landscape area on the parking lot east side of the site.
3. Runoff entering the landscaping area appear to drain over the sidewalk. Provide sidewalk culvert at this location.
4. It appears another sidewalk culvert is being proposed east of the metal shed north of the building expansion. Please provide labels for this culvert.
5. Provide inverts for all culverts.

If you have any questions, you can contact me at 924-3999.

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2014)

Project Title: The New Los Altos Pool Building Permit #: \_\_\_\_\_ City Drainage #: K 260037

DRB#: \_\_\_\_\_ EPC#: 1011048 Work Order#: \_\_\_\_\_

Legal Description: Tract 4 Municipal Addn No 2

City Address: 10100 Lomas Boulevard NE 87123

Engineering Firm: Bohannon Huston, Inc Contact: Matt Satches

Address: 7500 Jefferson St. NE 87109

Phone#: 505-823-1000 Fax#: 505-798-7988 E-mail: msatches@bhinc.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Greer Stafford Architecture, Inc. Contact: Xavier Obando

Address: 1717 Louisiana NE, Suite 205 87110

Phone#: 505-821-0235 Fax#: 505-821-0848 E-mail: xobando@greer-stafford.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 2-21-2017 By: Matt Satches

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_