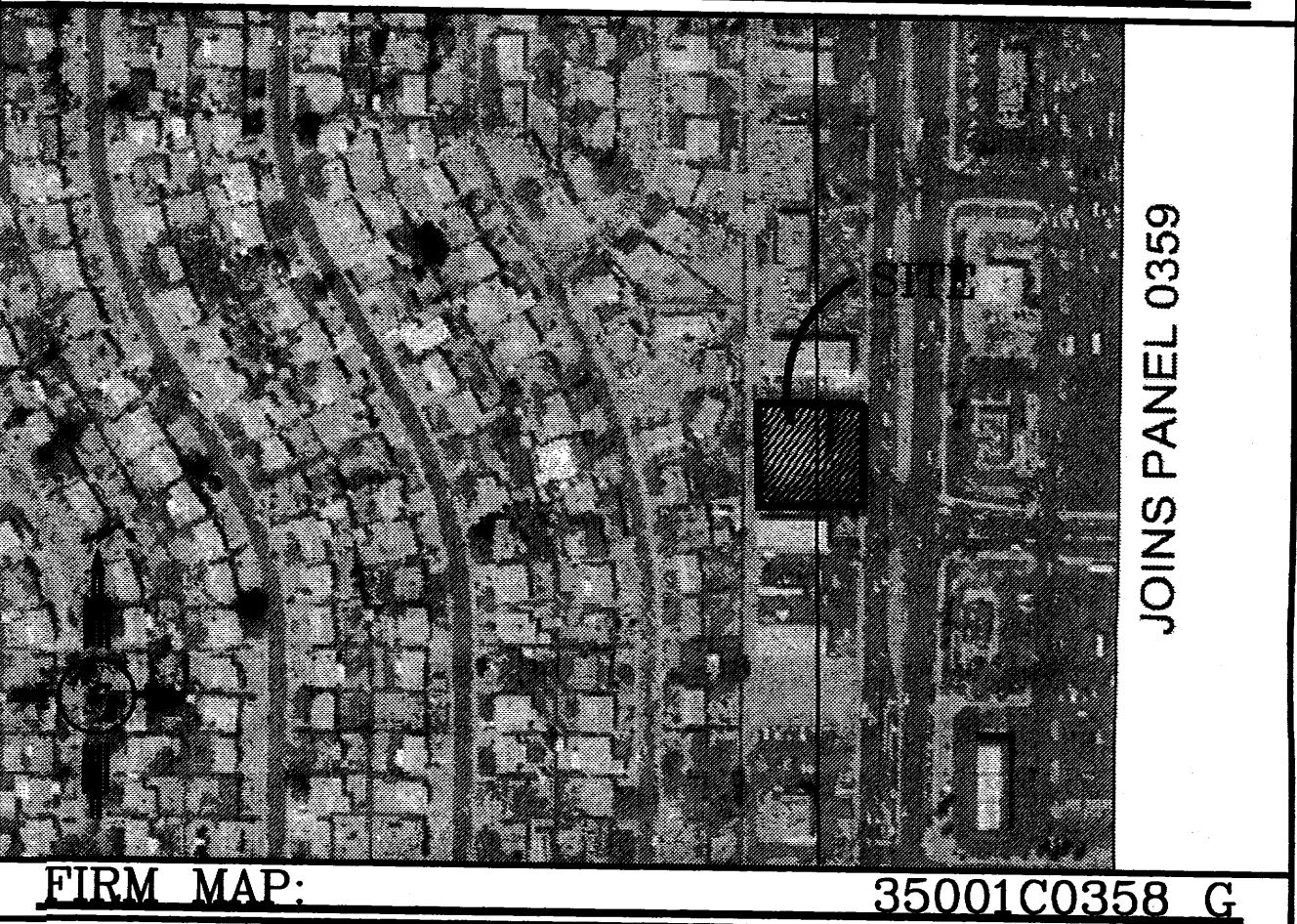
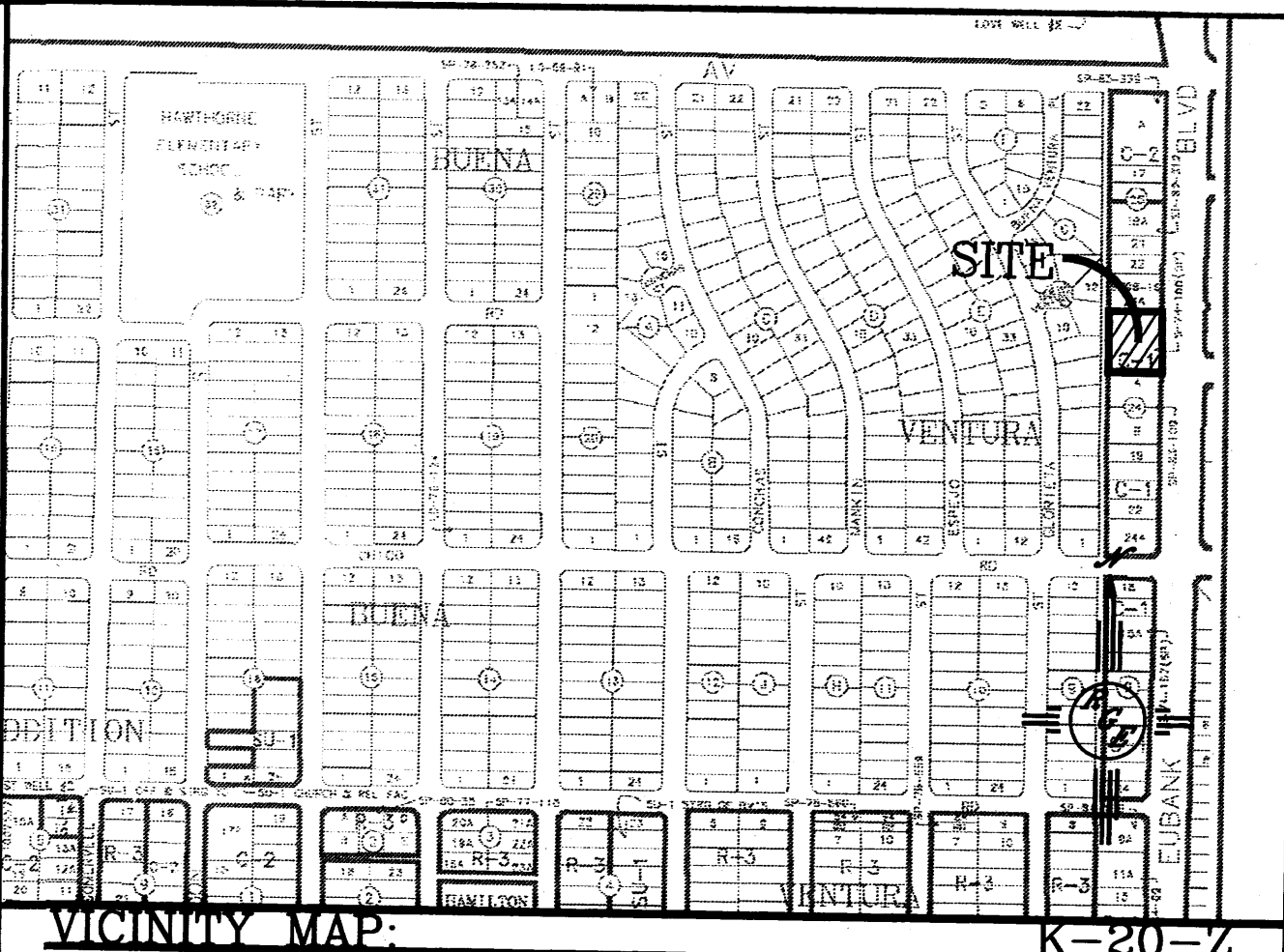


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LEGAL DESCRIPTION:
LOT 5A ATRISCO GRANT NORTHEAST

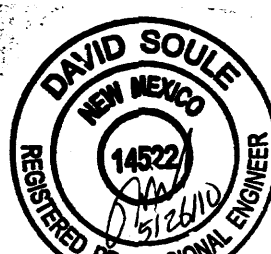
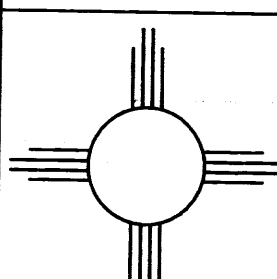
- NOTES:
- 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

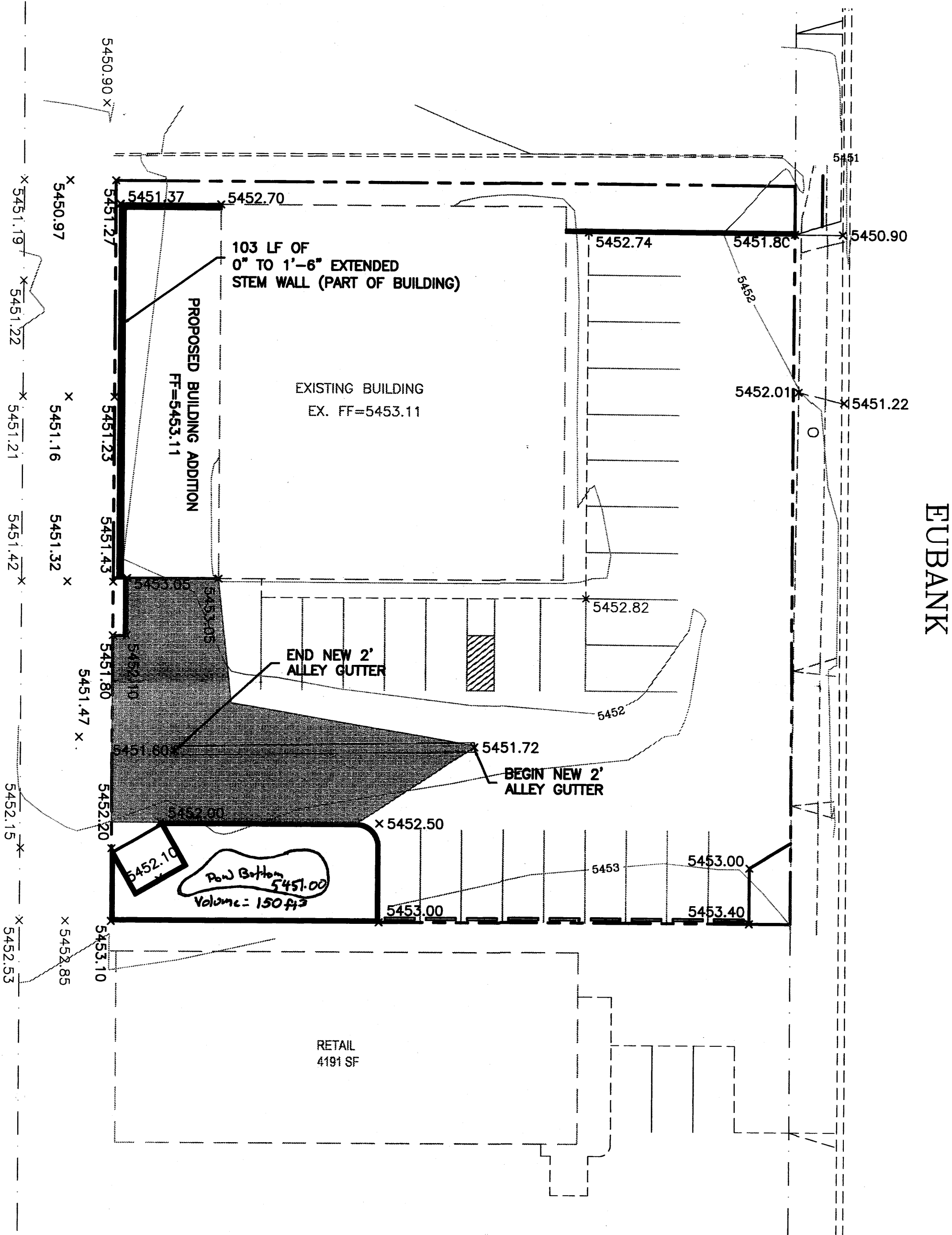
LEGEND

- 5414— EXISTING CONTOUR
- 5415— EXISTING INDEX CONTOUR
- 5414— PROPOSED CONTOUR
- 5415— PROPOSED INDEX CONTOUR
- SLOPE TIE
- x 4048.25 EXISTING SPOT ELEVATION
- x 4048.25 PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED CURB
- EXISTING CURB
- EXISTING SIDEWALK
- NEW PAVING--TO MATCH EX. PAVING SECTION

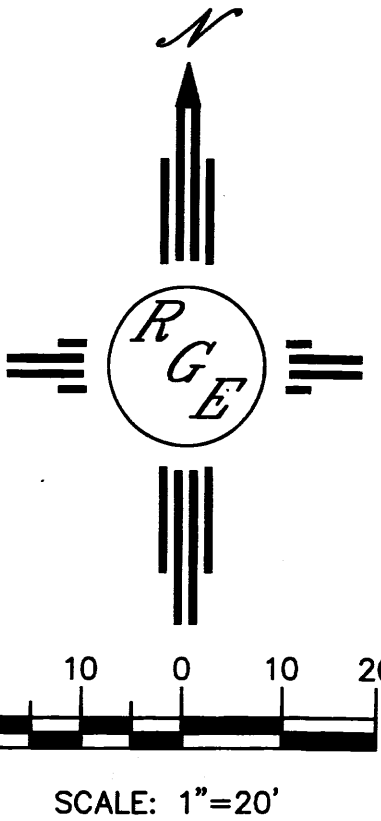
RECEIVED

MAY 28 2010
HYDROLOGY
SECTION

ENGINEER'S SEAL  DAVID SOULE P.E. #14522	YEARWOOD 341 EUBANK GRADING AND DRAINAGE PLAN  Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0989	DRAWN BY WCWJ
		DATE 5-24-10
		2115-LAYOUT-5-18-10
		SHEET # =
		JOB # 2115

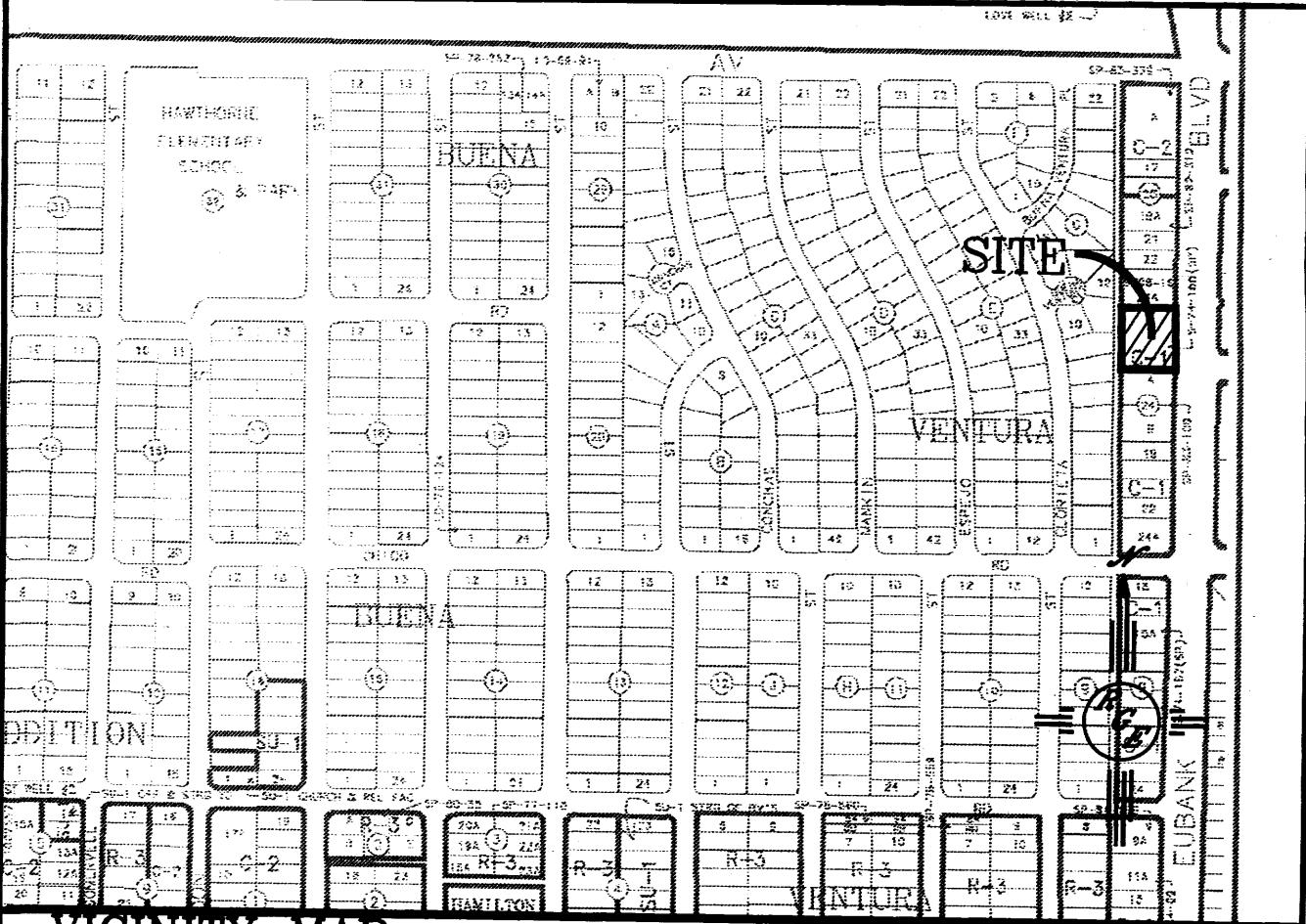


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VICINITY MAP: K-20-2



FIRM MAP: 35001C0358 G

LEGAL DESCRIPTION:
LOT 15A ATRISCO GRANT NORTHEAST

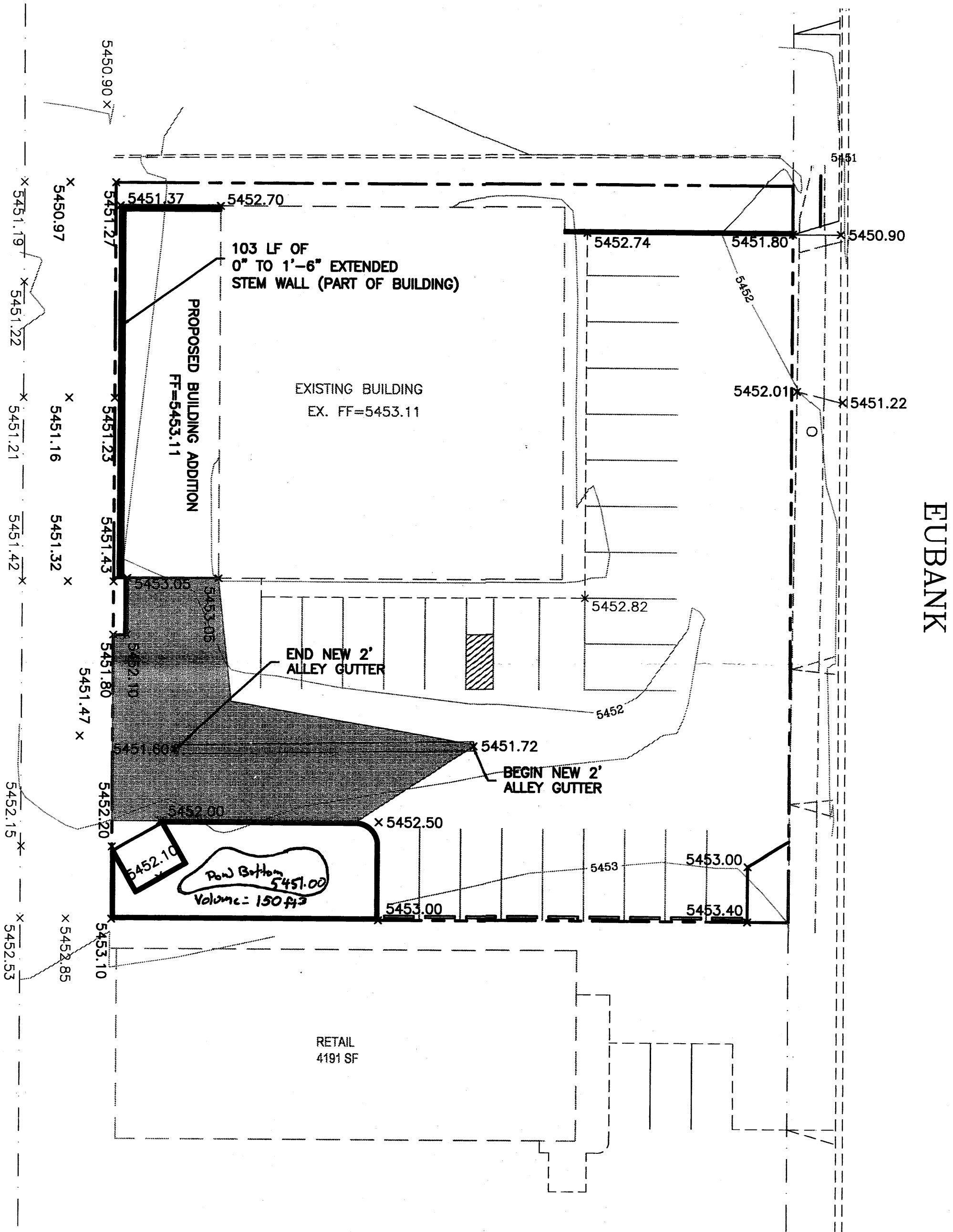
- NOTES:
- 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

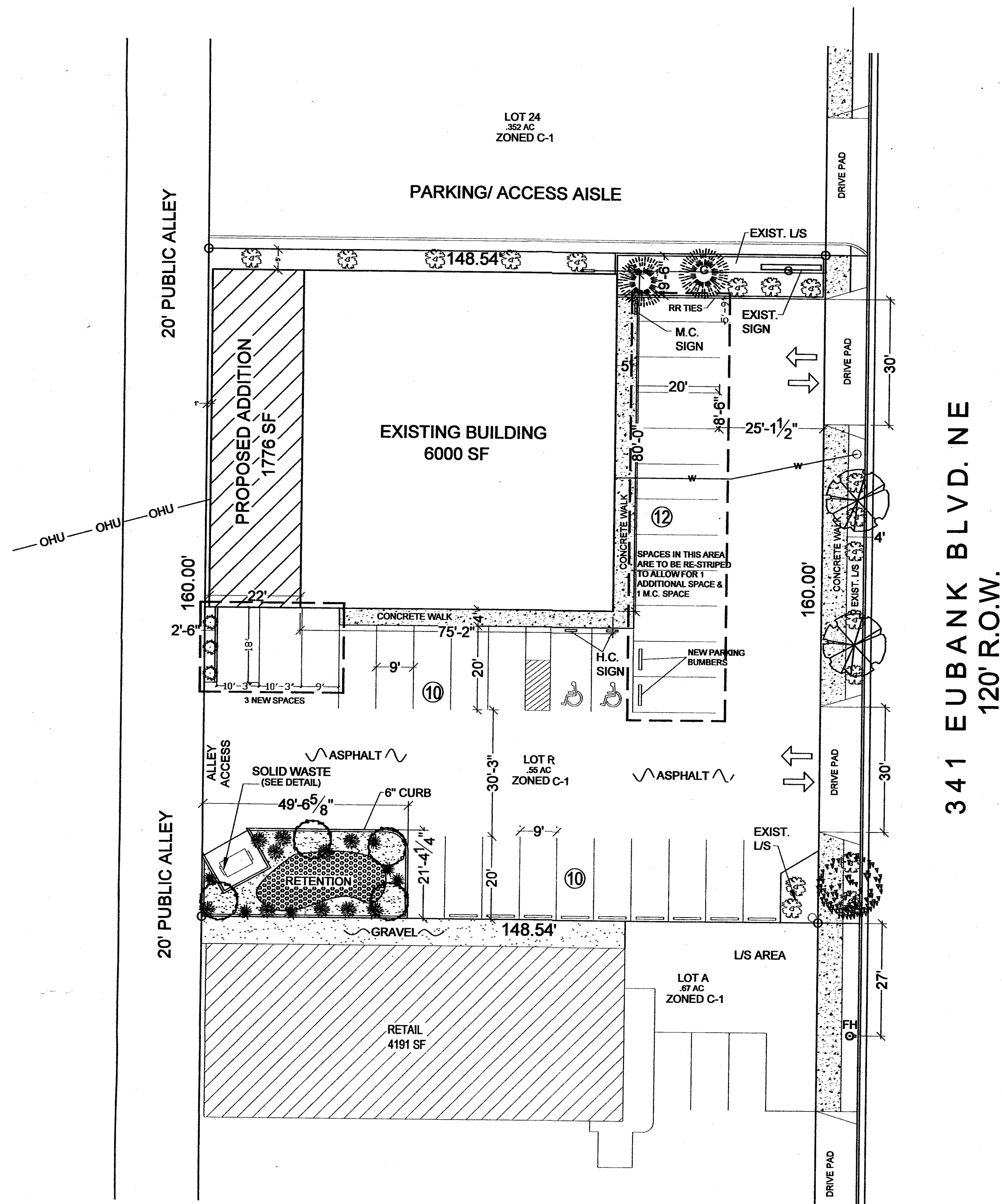
- 5414 EXISTING CONTOUR
- 5415 EXISTING INDEX CONTOUR
- 5414 PROPOSED CONTOUR
- 5415 PROPOSED INDEX CONTOUR
- SLOPE TIE
- x 4048.25 EXISTING SPOT ELEVATION
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- BOUNDARY
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- PROPOSED CURB
- EXISTING CURB
- EXISTING SIDEWALK
- NEW PAVING--TO MATCH EX. PAVING SECTION

RECEIVED
MAY 28 2010
HYDROLOGY
SECTION

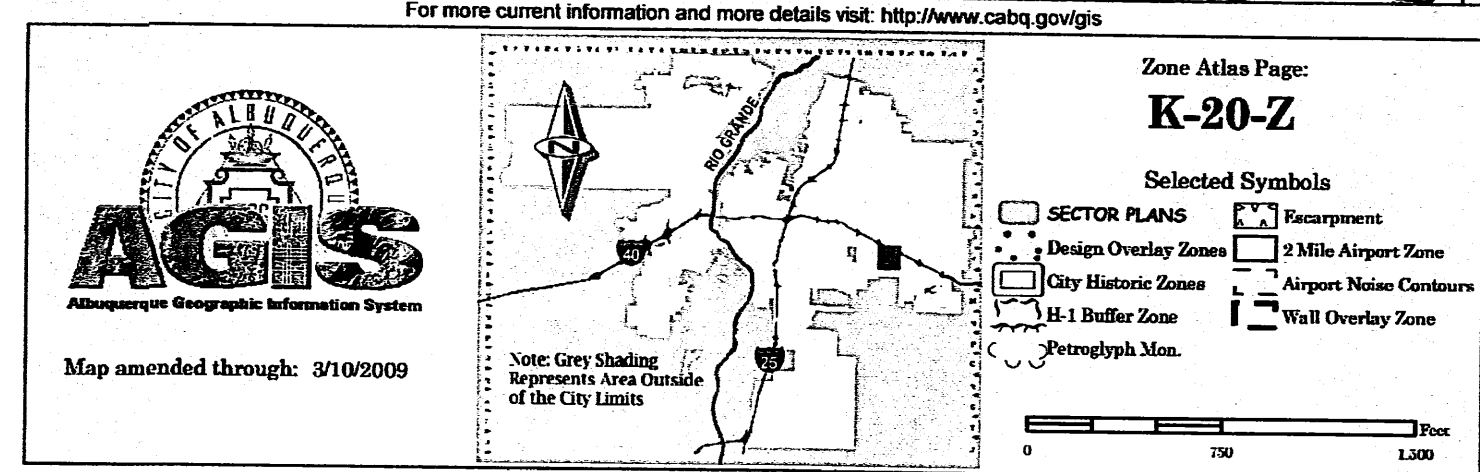
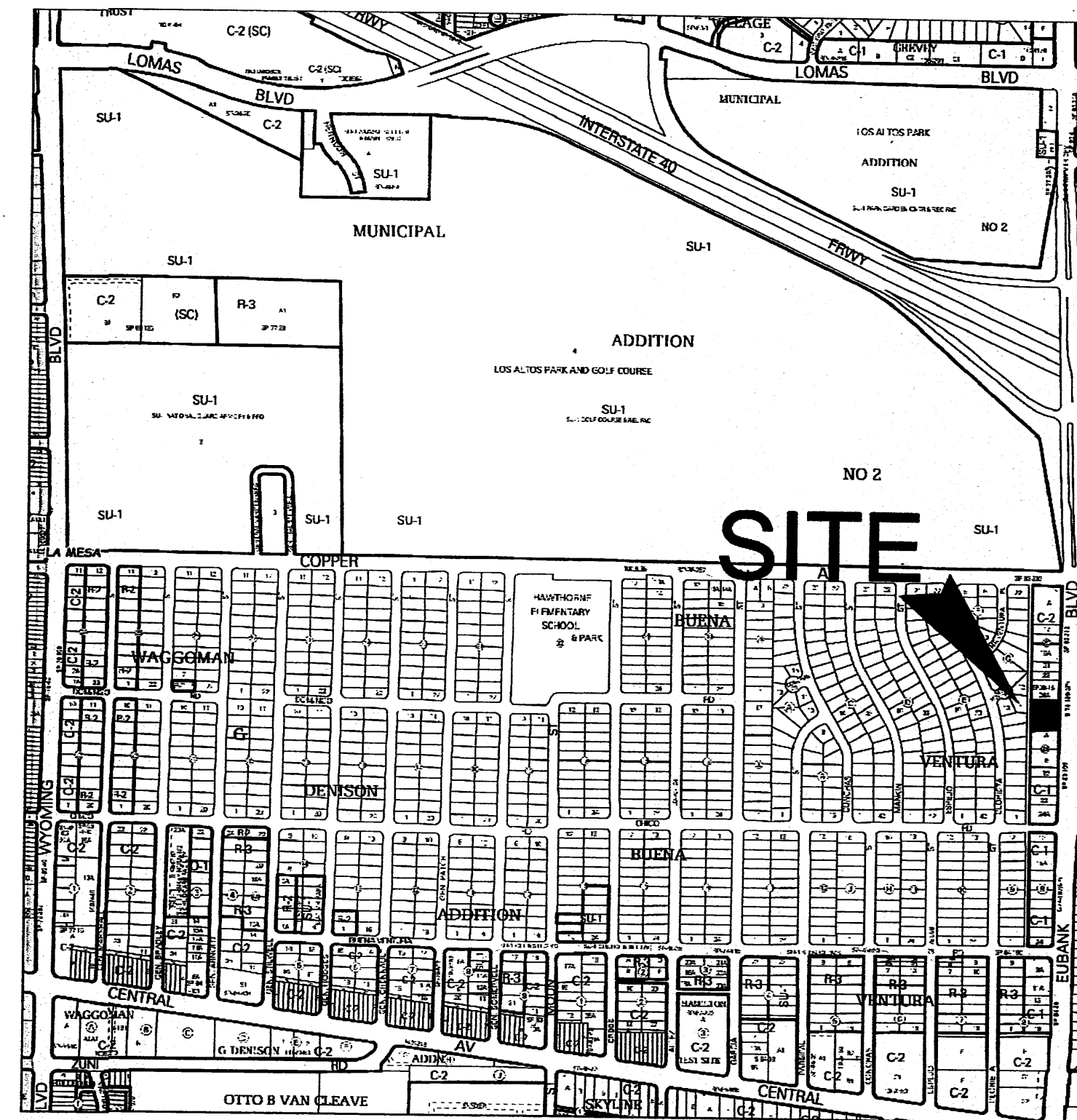
ENGINEER'S SEAL	YEARWOOD 341 EUBANK GRADING AND DRAINAGE PLAN	DRAWN BY WCVJ
		DATE 5-24-10
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2115-LAYOUT-5-18-10
		SHEET #
		JOB # 2115



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341 EUBANK BLVD. NE
120' R.O.W.



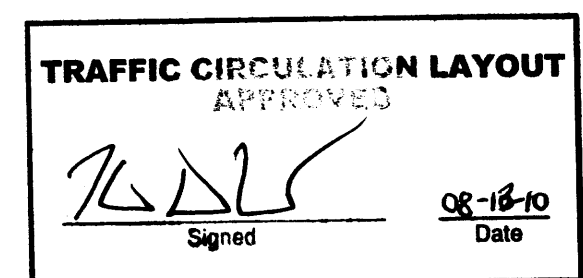
VICINITY MAP
N.T.S.

LEGAL DESCRIPTION:

*R 24 REPLAT OF PORTION OF LOTS 13 & 14
IN BLOCK 24, BUENA VENTURA SUBDIVISION
UPC# 102005752818942512

DRAWING INDEX:

- C-1 SITE PLAN AND PROJECT DATA
- L-1 LANDSCAPE AND IRRIGATION
- S-1 FOUNDATION PLAN & DETAILS
- S-2 WALL SECTIONS
- A-1 FLOOR PLAN (EXISTING & PROPOSED)
- A-2 ELEVATIONS
- E-1 ELECTRICAL PLAN
- M-1 MECHANICAL
- METAL BUILDING SHOP DRAWINGS



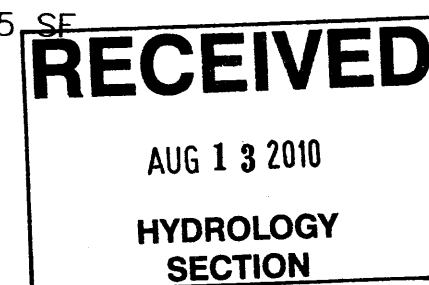
Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

PROJECT:	YEARWOOD PERFORMANCE 341 EUBANK BLVD. NE, ALBUQUERQUE, NM 87123 (505) 293-9190
OWNER:	E B S ENTERPRISES INC. PO BOX 30988 ALBUQUERQUE, NM 87190
ARCHITECT:	JOHN KIRKPATRICK NM REG. #4728 PO BOX 1473 LOS LUNAS, NM 87031 505-865-0111
CONTRACTOR:	COLLITZ INC. PO BOX 2010 CORRALES, NM 87048 505-898-6338 LIC# 052623
ZONING:	C-1
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2006 NEW MEXICO BUILDING CODE (COMMERCIAL)
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-2003
SEISMIC DESIGN CATEGORY:	D
SEISMIC FACTOR:	CAT III, (IE) 1.25
CONST. TYPE:	V-B
BUILDING AREA:	6000 SF. EXISTING 1776 SF. PROPOSED 7776 SF. TOTAL
ALLOWABLE AREA & HEIGHT:	9,000 SQUARE FEET / ONE STORY
BUILDING HEIGHT:	EXISTING STRUCTURE=17'-6"
OCCUPANCY:	M IAW SECTION 309- EXISTING S-1 IAW SECTION 311.3-NEW
OCCUPANT LOAD:	OFFICE AREAS: 420 SF / 100 = 4.2 RETAIL AREAS: 2847 SF / 100 = 28.5 WAREHOUSE/STO: 4001 SF / 300 = 13.3 W.C./CIRCULATION: 508 SF / 0 = 0 TOTAL = 46 OCCUPANTS
FIXTURE COUNT:	REQUIRED- MALE 1 LAV, 1 W.C. FEMALE 1 LAV, 1 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK EXISTING - MALE 1 LAV, 1 W.C. FEMALE 1 LAV, 1 W.C. 1 DRINKING FOUNTAIN 1 EXISTING SERVICE SINK
PARKING REQ'D:	RETAIL NET LEASABLE: 7117/200=35.6 SPACES BUS ROUTE PROXIMITY - 10% =3.6 SPACES TOTAL SPACES REQUIRED=32 SPACES, 2 OF WHICH MUST BE H.C. ACCESSIBLE AND 1 M.C. SPACE (BASED ON 1776 SF ADDITION)
PARKING PROVIDED:	32 SPACES, 2 OF WHICH ARE H.C. ACCESSIBLE + 1 M.C. SPACE
SEISMIC DESIGN CRITERIA:	SITE CLASSIFICATION "D" OCCUPANCY CATEGORY II SEISMIC DESIGN CATEGORY B SEISMIC IMPORTANCE FACTOR 1.25

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	23,959 SF
TOTAL BUILDING AREA	7,776 SF
AREA NOT REQ'D PARKING	2,575 SF
NET LOT AREA	13,608 SF
REQ'D L/S AREA (15%)	2041.20 SF
L/S PROVIDED	2875 SF

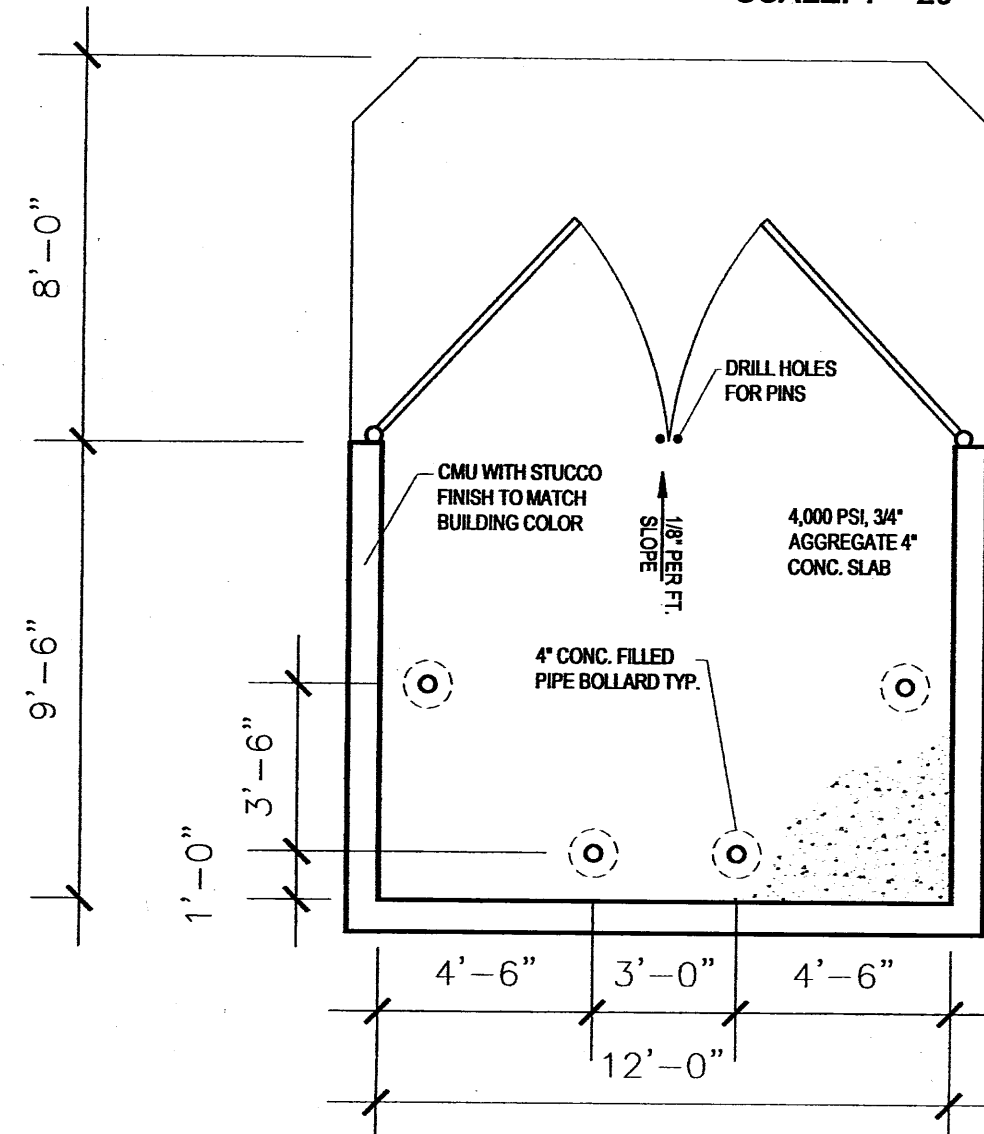


EXECUTIVE SUMMARY:

THE ADDITION OF A 1,776 SF WAREHOUSE AREA LOCATED ON THE WESTSIDE OF THE EXISTING BUILDING. NEW LANDSCAPING & RELOCATION OF RETENTION POND. PARKING IS EXISTING AND UNCHANGED WITH THE EXCEPTION OF THE NEW PONDING AREA AND ASPHALT ADJACENT TO NEW BLDG. PROPOSED DEVELOPMENT WILL NOT IMPACT ADJACENT PROPERTIES.

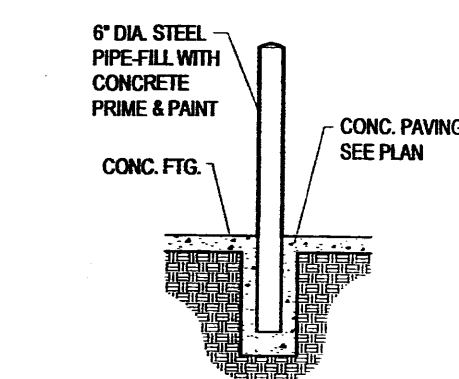
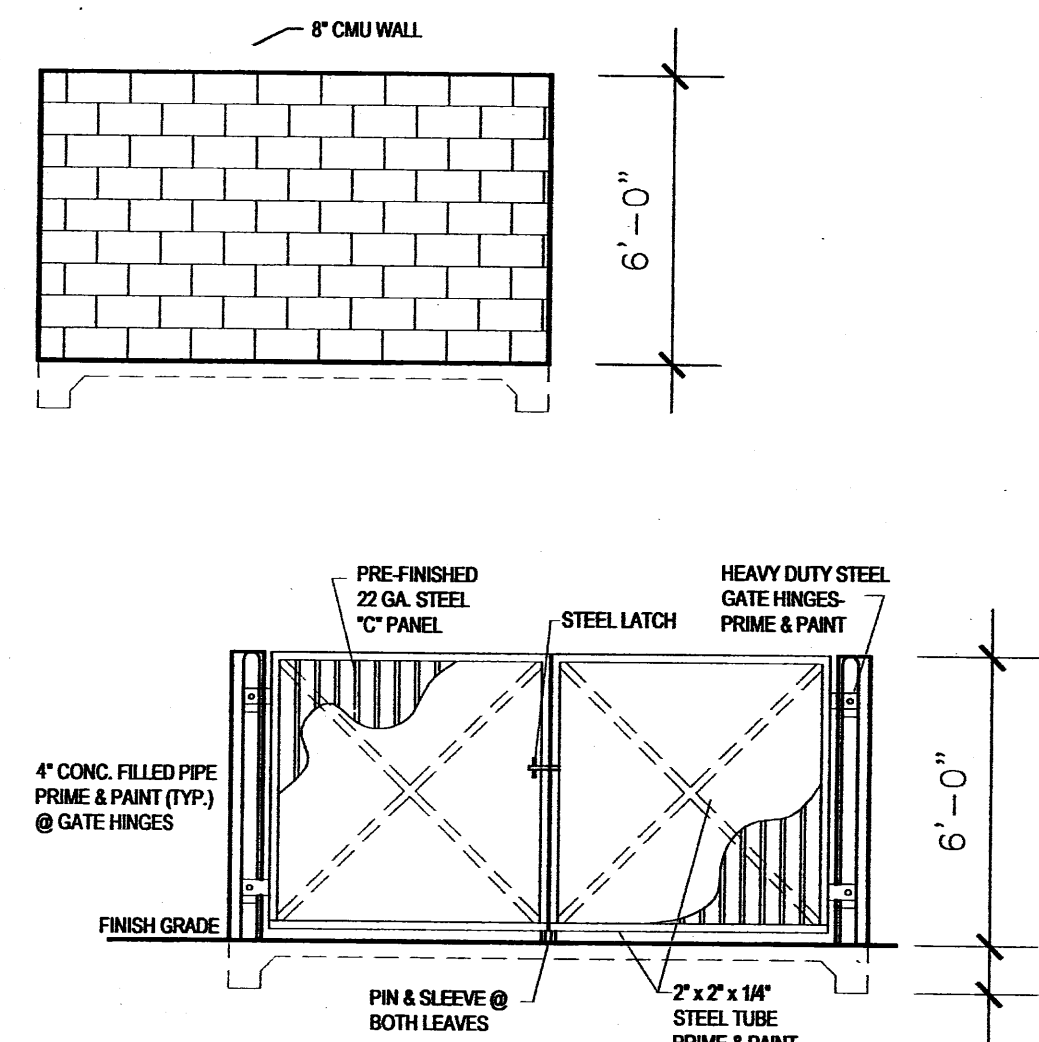
SITE PLAN

SCALE: 1"= 20'

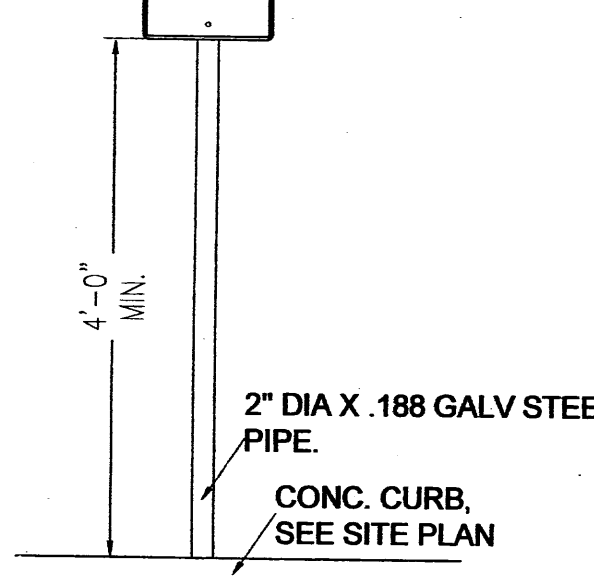


ENCLOSURE DETAILS

N.T.S.

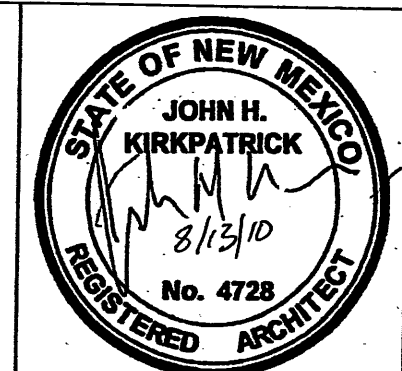


12"x18" 18 GA. REFLECTIVE
PORCELAIN ENAMEL STANDARD
"HANDICAP PARKING" SIGN WITH
IDENTIFICATION SYMBOL. BOLT TO
STEEL TUBE WITH 3/8" CADMIUM
PLATED BOLTS, NUTS & WASHER.

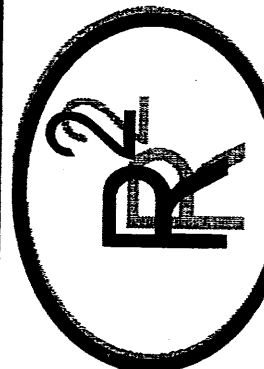


EXISTING H.C. SIGN

N.T.S.



R² CONSULTING SERVICES
12024 PAISANO CT. NE
ALBUQUERQUE, NEW MEXICO 87112
TEL: 505.321.3932 FAX: 505.293.5103



NO.	DATE	COMMENTS
1	06-22-10	VARIES

YEARWOOD PERFORMANCE
ADDITION
341 EUBANK BLVD NE, ALBUQUERQUE, NM

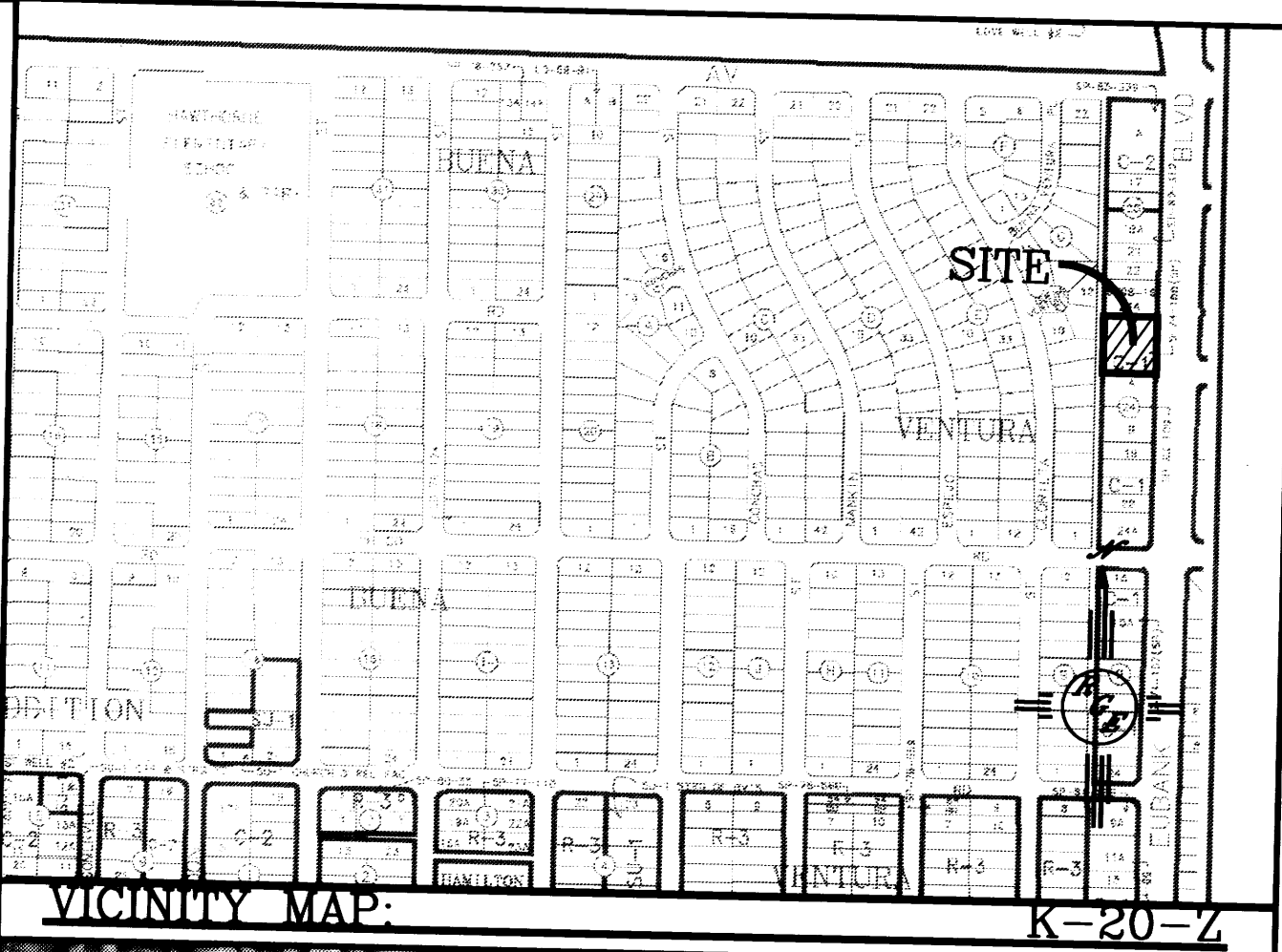
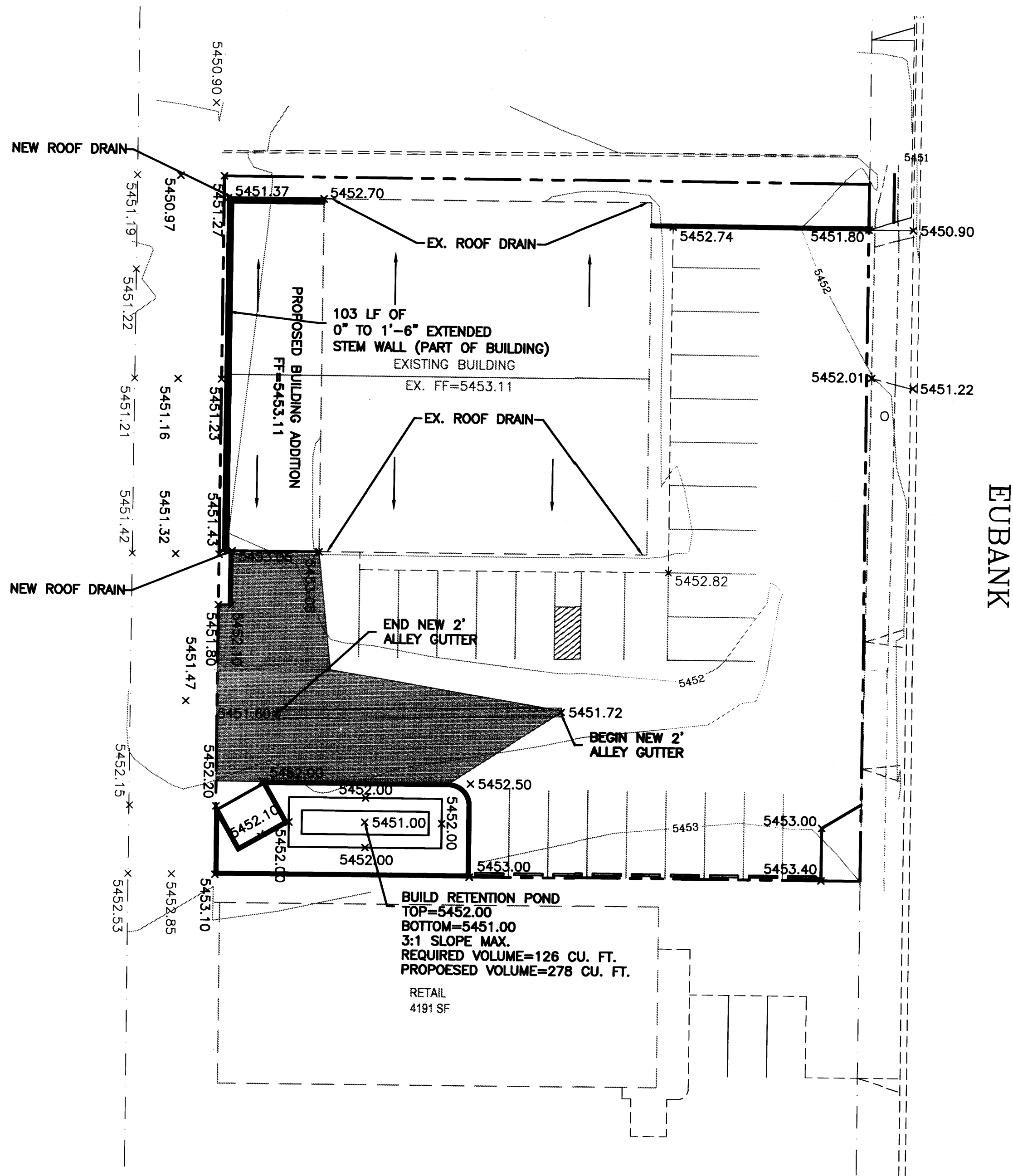
SITE PLAN & PROJECT DATA

-SHEET-

C-1

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LOT 45A ATRISCO GRANT NORTHEAST

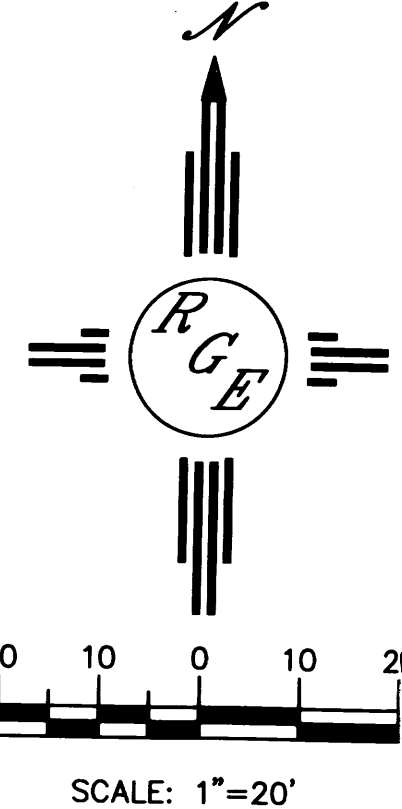
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL PERFORM MINOR GRADING SHALL TAKE PLACE IN THE ALLEY TO ASSURE THAT DRAINAGE CONTINUES TO COPPER.
3. CONTRACTOR SHALL COORDINATE WITH ADJOINING PROPERTY OWNERS PRIOR TO ANY GRADING PERFORMED ON ADJACENT PROPERTIES.

LEGEND

5414	EXISTING CONTOUR
5415	EXISTING INDEX CONTOUR
5414	PROPOSED CONTOUR
5415	PROPOSED INDEX CONTOUR
5415	SLOPE TIE
x 4048.25	EXISTING SPOT ELEVATION
x 4048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
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ENGINEER'S SEAL	YEARWOOD 341 EUBANK GRADING AND DRAINAGE PLAN	DRAWN BY WCHJ
DAVID SOULE P.E. #14522	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 972-0899	DATE 8-13-10 2115-LAYOUT-5-18-10
		SHEET # —
		JOB # 2115