

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

October 13, 2017

Jean J. Bordenave, PE
PO Box 91194
Albuquerque, NM, 87199

**RE: Garcia Apartments
Grading Plan
Stamp Date: 10/10/17
Hydrology File: K20D063**

Dear Mr. Bordenave:

PO Box 1293

Based upon the information provided in your submittal received 10/11/2017, the Grading Plan is approved for Building Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Reneé C. Brissette

Reneé C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

October 10, 2017

City of Albuquerque
Hydrology, Planning Dept.
PO Box 1293
Albuquerque, NM 87103

Attn: Renee C. Brissette, PE
Re: K20/D063

The following is written in response to your comments (dated 07/14/17) on the subject project. The responses are in the same order as your comments. This process took a lot longer than anticipated. Architect revised the parking lot 3 times. After the second change I put the project aside.

1. FIRM Map viewport turned on.
2. Keyed notes 16 and 17 are now 15 and 16 and rewritten.
3. Sorry. Plot Table was damaged in downloading newer version of AutoCad.
4. Design pond volumes have been added to the table on sheet C1.2.
5. Drainage arrows have been added to the drainage diagram and offsite drainage areas have been added on sheet C1.2.
6. Existing and proposed 100 year storm runoff values are shown.
7. Broad crested weir calculations have been added.

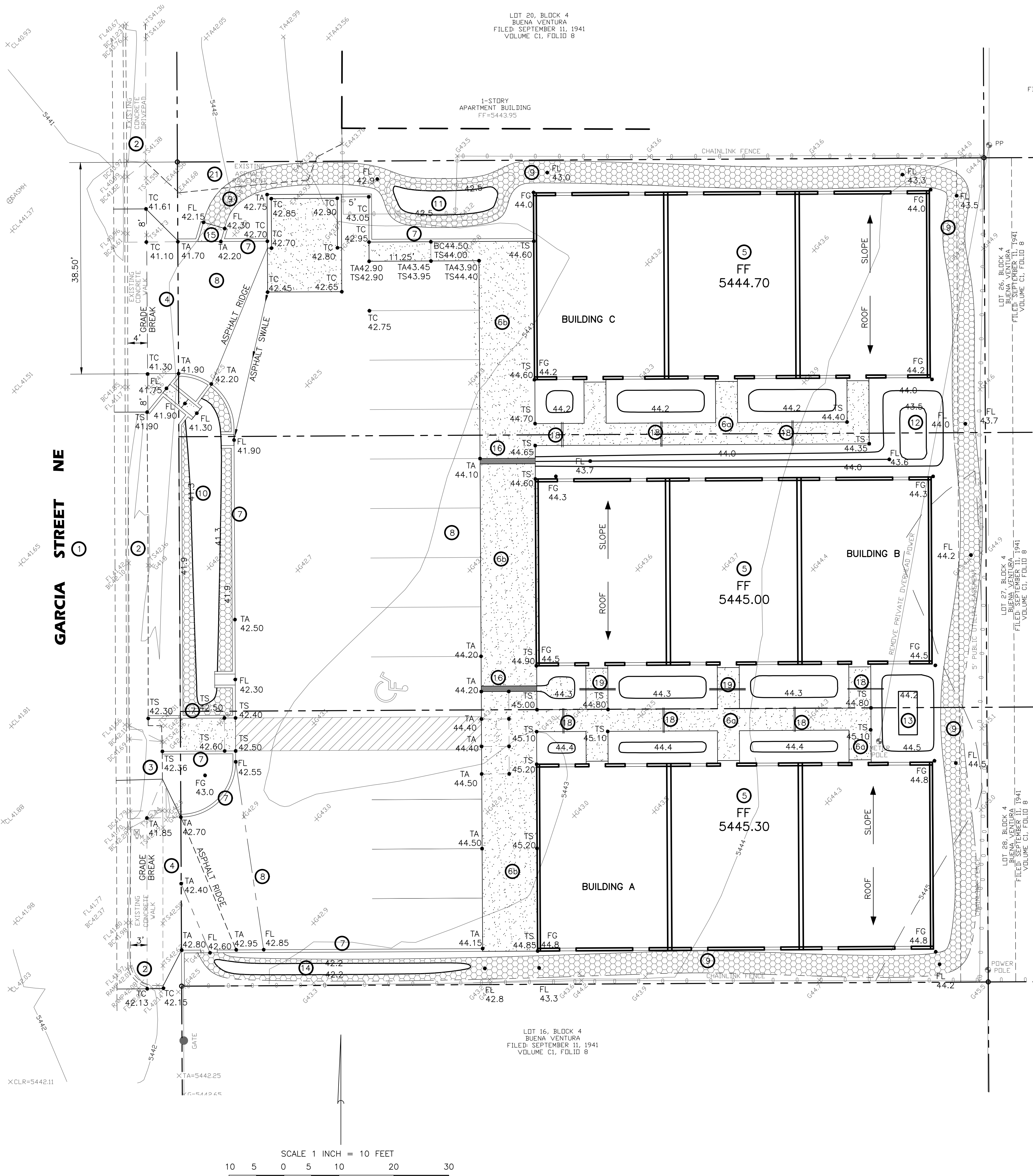
Thanks for your review and comments.

Sincerely,



Jean J.(Jake) Bordenave

GRADING PLAN



○ KEYED NOTES

1. EXISTING PAVED PUBLIC STREET.
2. EXISTING CONCRETE PUBLIC SIDEWALK.
3. EXISTING CONCRETE DRIVE PAD. REMOVE DRIVE PAD AND CONSTRUCT STD C&G AND 4" WIDE CONC SIDEWALK PER COA STD. DET.S 2415B & 2430 RESPECTIVELY.
4. REMOVE CONCRETE CURB & GUTTER AND CONCRETE SIDEWALK. CONSTRUCT 24' CONCRETE DRIVE PAD PER COA STD. DET. 2425, SECTION D-D.
5. PROPOSED TRIPLEX. SEE ARCHITECTURAL FOR DETAILS.
- 6a. PROPOSED FLAT SIDEWALK. SEE DETAIL SHEET C1.2.
- 6b. PROPOSED TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.2.
7. PROPOSED CONCRETE HEADER CURB. SEE DETAIL SHEET C1.2. SEE ARCHITECTURAL SITE PLAN FOR GEOMETRY.
8. PROPOSED LIGHT DUTY ASPHALT. SEE DETAIL SHEET C1.2.
9. PROPOSED 3' BOTTOM WIDTH STONE LINED CHANNEL. SEE DETAIL SHEET C1.2.
10. PROPOSED WATER HARVESTING POND. BOTTOM OF POND 41.3. MINIMUM STORAGE VOLUME--228 C.F.
11. PROPOSED WATER HARVESTING POND. BOTTOM OF POND 42.5. MINIMUM STORAGE VOLUME--35 C.F.
12. PROPOSED WATER HARVESTING POND. BOTTOM OF POND 43.5. MINIMUM STORAGE VOLUME--79 C.F.
13. PROPOSED WATER HARVESTING POND. BOTTOM OF POND 44.2. MINIMUM STORAGE VOLUME--81 C.F.
14. PROPOSED WATER HARVESTING POND. BOTTOM OF POND 42.2. MINIMUM STORAGE VOLUME--35 C.F.
15. PROPOSED 4' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET C1.2.
16. PROPOSED 6" WIDE CHANNEL SIDEWALK CULVERT. SEE DETAIL SHEET C1.2.
17. PROPOSED CONCRETE EXIT STRUCTURE. SEE DETAIL SHEET C1.2.
18. PROPOSED 2-3" PVC PIPE CULVERT. SEE DETAIL SHEET C1.2.
19. PROPOSED 3-3" PVC PIPE CULVERT. SEE DETAIL SHEET C1.2.
20. SET BOTTOM OF POND 0.1' BELOW OUTLET PIPES FROM EACH POND.
21. SAW CUT (AT PROPERTY LINE) AND REMOVE EXISTING ASPHALT PAVEMENT SOUTH OF SAW CUT.

DRAINAGE NOTES

1. THE SITE IS CURRENTLY VOID OF CONSTRUCTED ITEMS WITH THE EXCEPTION OF A SMALL PAVED AREA AND SOME CHAIN LINK FENCING AT THE NORTHWEST CORNER OF LOT 19. THERE IS VERY LITTLE VEGETATION ON THE SITE WHICH SLOPES GENTLY DOWN TO THE WEST. THERE IS AN EXISTING CONCRETE SIDEWALK IN THE STREET RIGHT-OF-WAY. THE WALK IS 6 FEET WIDE IN FRONT OF LOT 17 AND 4 FEET WIDE IN FRONT OF LOTS 18 AND 19.
- OFFSITE FLOWS FROM A SEMI DEVELOPED AREA TO THE EAST PRESENTLY ENTER THE SITE. THERE IS A SMALL BUILDING ON THE OFFSITE AREA AND THE REST OF THE AREA IS BEING USED TO STORE CARS. THE LOTS ARE ALIGNED WITH AND ARE THE SAME SIZE AS THE PROJECT SITE.
2. THE SITE IS LOCATED IN RAINFALL ZONE 3. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT. SEE TABLE ON SHEET C1.2 FOR EXISTING AND DEVELOPED FLOW RATES AND RUNOFF VOLUMES.
3. RUNOFF FROM IMPERVIOUS AREAS IS ROUTED TO SHALLOW RETENTION PONDS. THE PONDS ARE SIZED TO CONTAIN THE CALCULATED REQUIRED WATER HARVESTING VOLUME.
4. THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 114H, DATED AUGUST, 2012.
5. EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC. IN APRIL, 2017.
6. A PRIVATE CROSS LOT DRAINAGE EASEMENT IS REQUIRED AS EXISTING LOT LINES ARE TO BE MAINTAINED.

GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE COUNTY OF BERNALILLO STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND ACCESS PERMITS FROM THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP K-20**FEMA FIRM PANEL NO. 358**

LEGEND

SEE LEGEND ON SHEET C1.2

LEGAL DESCRIPTION

LOTS 17, 18 AND 19, BUENA VENTURA

PERMANENT BENCHMARK

ACS STATION 5-K20, ELEVATION 5249.995 (NAVD 1988)

no.	date	remarks	by

	REVISIONS		
	project title GARCIA APARTMENTS GARCIA ST. NE ALBUQUERQUE, NM		
	sheet title GRADING & DRAINAGE PLAN		
drawn by 10/10/17	METO	design by JJB	project no. 1706
BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 Office (505)823-1344 Cell (505)480-6812 Email JakeBordenave@comcast.net			sheet C1.1

