

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

July 14, 2017

Jean J. Bordenave, PE
PO Box 91194
Albuquerque, NM, 87199

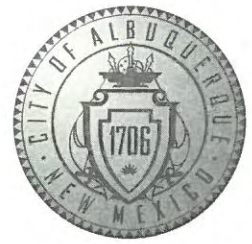
RE: Garcia Apartments
Grading Plan
Stamp Date: 6/29/17
Hydrology File: K20D063

Dear Mr. Bordenave:

Based upon the information provided in your submittal received 7/1/17, the Grading Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. On Sheet C1.1. Please turn on the FIRM map.
2. On Sheet C1.11. In Keyed Notes #16 & 17, there is a "X" wide concrete channel" called out. Please the width of these two concrete channels.
3. On Sheet C1-1. Please wipeout the hatch at each Keyed Note's circle so the number can be read.
4. On Sheet C1-2. Please add the proposed volume column in the Water Harvesting chart so the proposed volumes for each pond are shown.
5. On Sheet C1-2. For the Drainage Data, please add drainage arrows. This will help show how the individual basins will leave the site. Also does any of the offsite drainage come onto the site? It is unclear if it does or not, however you do show the offsite area.
6. On Sheet C1-2. Please provide drainage calculations for both the existing and the proposed 100 year – 6 hour storm event.
7. On Sheet C1-2. Please provide the weir calculations for the curb cuts.

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

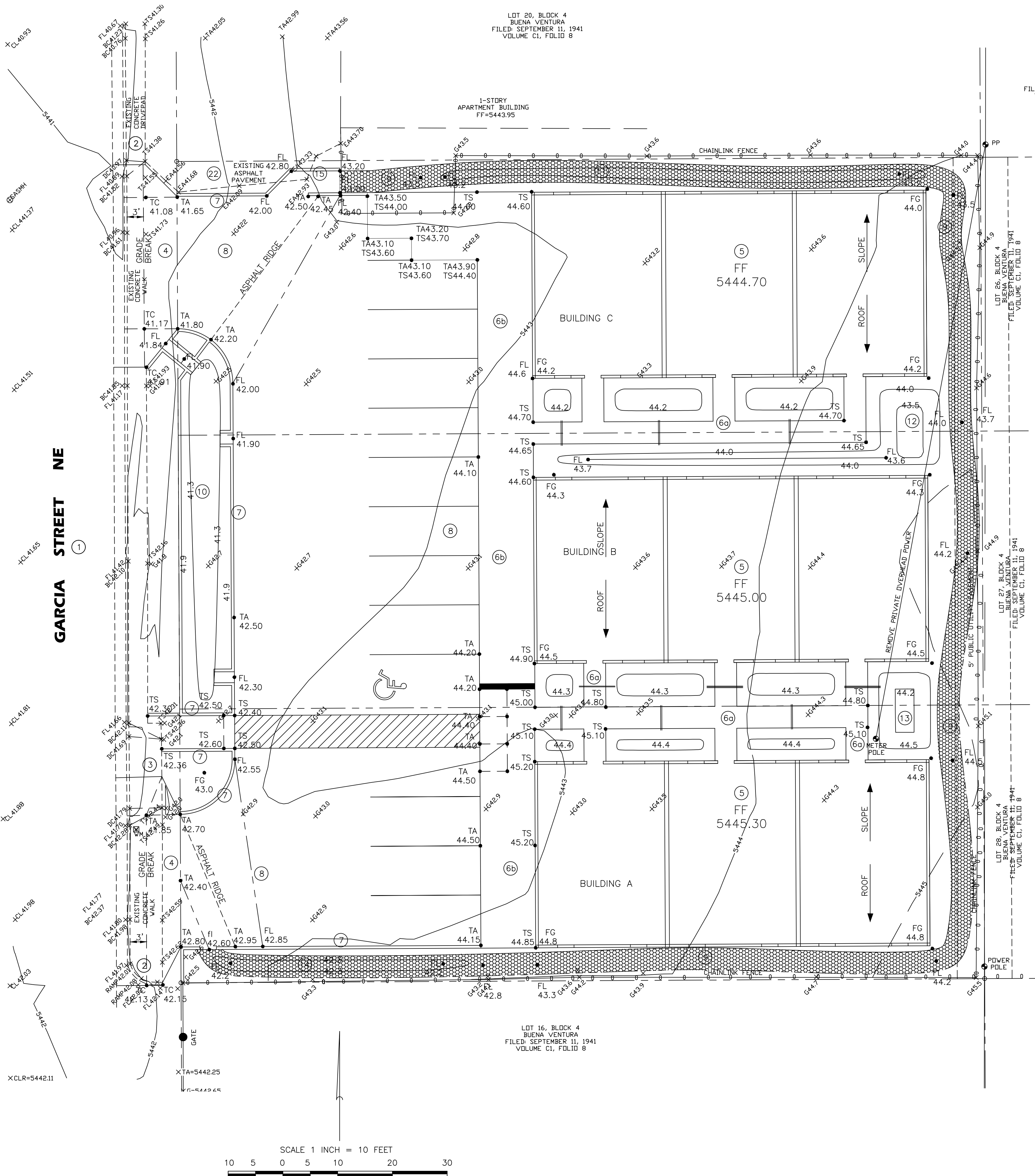
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

GRADING PLAN



KEYED NOTES

- EXISTING PAVED PUBLIC STREET.
- EXISTING CONCRETE PUBLIC SIDEWALK.
- EXISTING CONCRETE DRIVE PAD. REMOVE DRIVE PAD AND CONSTRUCT STD C&G AND 4' WIDE CONC SIDEWALK PER COA STD. DET.S 2415B & 2430 RESPECTIVELY.
- REMOVE CONCRETE CURB & GUTTER AND CONCRETE SIDEWALK. CONSTRUCT 24' CONCRETE DRIVE PAD PER COA STD. DET. 2425, SECTION D-D.
- PROPOSED TRIPLEX. SEE ARCHITECTURAL FOR DETAILS.
- PROPOSED FLAT SIDEWALK. SEE DETAIL SHEET C1.2.
- PROPOSED TURNDOWN SIDEWALK. SEE DETAIL SHEET C1.2.
- PROPOSED CONCRETE HEADER CURB. SEE DETAIL SHEET C1.2. SEE ARCHITECTURAL SITE PLAN FOR GEOMETRY.
- PROPOSED LIGHT DUTY ASPHALT. SEE DETAIL SHEET C1.2.
- PROPOSED 3' BOTTOM WIDTH STONE LINED CHANNEL. SEE DETAIL SHEET C1.2.
- PROPOSED WATER HARVESTING POND. MINIMUM STORAGE VOLUME-228 C.F.
- PROPOSED WATER HARVESTING POND. MINIMUM STORAGE VOLUME-35 C.F.
- PROPOSED WATER HARVESTING POND. MINIMUM STORAGE VOLUME-79 C.F.
- PROPOSED WATER HARVESTING POND. MINIMUM STORAGE VOLUME-81 C.F.
- PROPOSED WATER HARVESTING POND. MINIMUM STORAGE VOLUME-35 C.F.
- PROPOSED 2' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET C1.2.
- PROPOSED X' WIDE CONCRETE EXIT CHANNEL. SEE DETAIL SHEET C1.2.
- PROPOSED X' WIDE CONCRETE EXIT CHANNEL. SEE DETAIL SHEET C1.2.
- PROPOSED 2-3" PVC SIDEWALK CULVERT. SEE DETAIL SHEET C1.2.
- PROPOSED 3-12" CURB OPENINGS.
- SAW CUT AT PROPERTY LINE AND REMOVE EXISTING ASPHALT PAVEMENT SOUTH OF SAW CUT.

DRAINAGE NOTES

- THE SITE IS CURRENTLY VOID OF CONSTRUCTED ITEMS WITH THE EXCEPTION OF A SMALL PAVED AREA AND SOME CHAIN LINK FENCING AT THE NORTHWEST CORNER OF LOT 19. THERE IS VERY LITTLE VEGETATION ON THE SITE WHICH SLOPES GENTLY DOWN TO THE WEST. THERE IS AN EXISTING CONCRETE SIDEWALK IN THE STREET RIGHT-OF-WAY. THE WALK IS 6 FEET WIDE IN FRONT OF LOT 17 AND 4 FEET WIDE IN FRONT OF LOTS 18 AND 19.
- THE SITE IS LOCATED IN RAINFALL ZONE 3. THERE WILL BE AN INCREASE (ABOVE EXISTING CONDITIONS) IN RUNOFF VOLUMES AND FLOW RATES DUE TO DEVELOPMENT. SEE TABLE ON SHEET C1.2 FOR EXISTING AND DEVELOPED FLOW RATES AND RUNOFF VOLUMES.
- RUNOFF FROM IMPERVIOUS AREAS IS ROUTED TO SHALLOW RETENTION PONDS. THE PONDS ARE SIZED TO CONTAIN THE CALCULATED REQUIRED WATER HARVESTING VOLUME.
- THE SITE IS LOCATED IN AN AREA DESIGNATED 'ZONE X' PER FEMA FIRM MAP NO. 114H, DATED AUGUST, 2012.
- EXISTING TOPOGRAPHY FOR THE SITE WAS OBTAINED BY HARRIS SURVEYING, INC. IN APRIL, 2017.
- A PRIVATE CROSS LOT DRAINAGE EASEMENT IS REQUIRED AS EXISTING LOT LINES ARE TO BE MAINTAINED.

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE COUNTY OF BERNALILLO STANDARDS AND PROCEDURES.

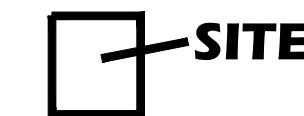
EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND ACCESS PERMITS FROM THE COUNTY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP K-20



FEMA FIRM PANEL NO. 358



LEGEND

SEE LEGEND ON SHEET C1.2

LEGAL DESCRIPTION

LOTS 17, 18 AND 19, BUENA VENTURA

PERMANENT BENCHMARK

ACS STATION 5-K20, ELEVATION 5249.995 (NAVD 1988)

no.	date	remarks	by

REVISIONS

06/29/17

project title
**GARCIA APARTMENTS
GARCIA ST. NE
ALBUQUERQUE, NM**

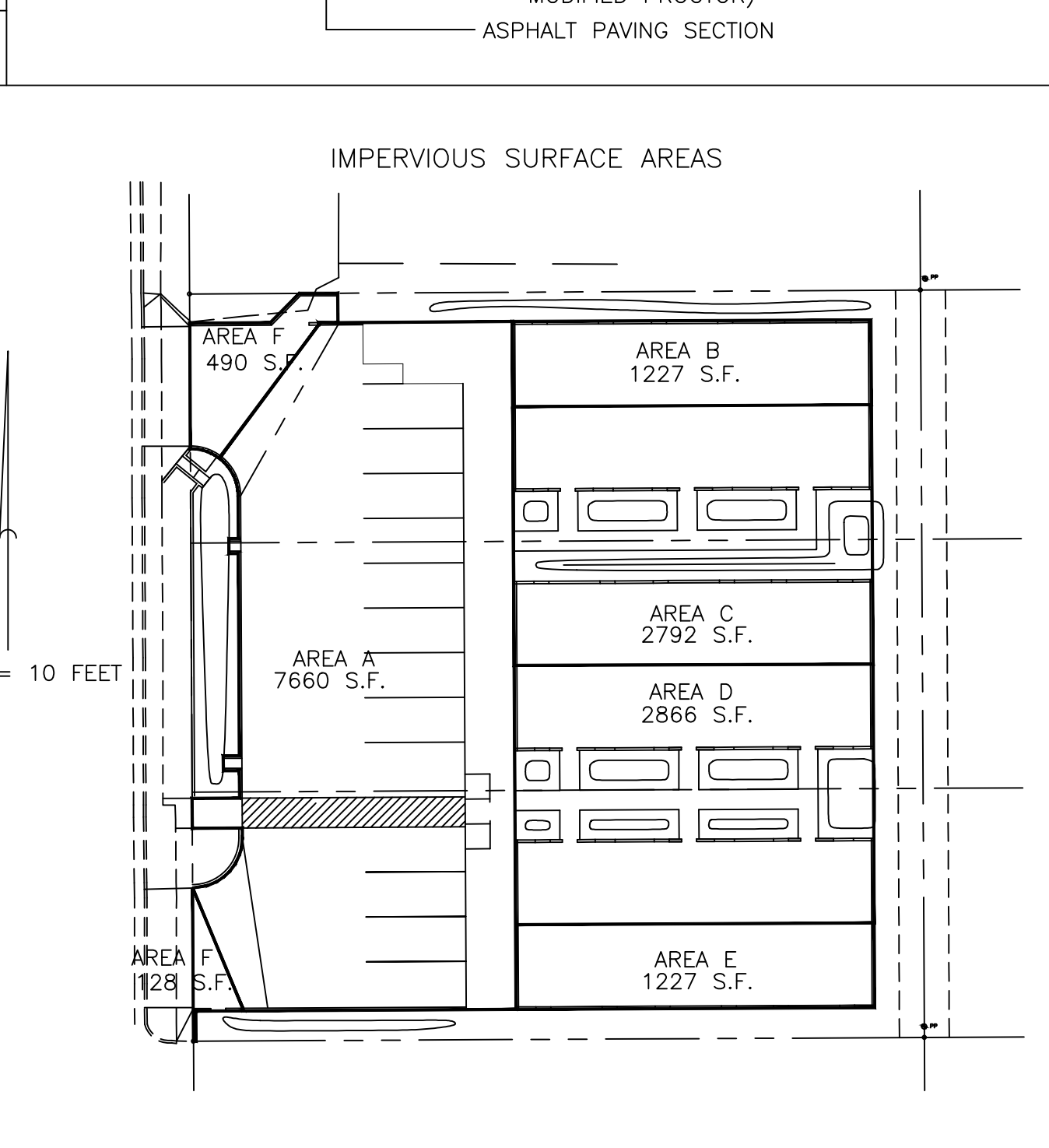
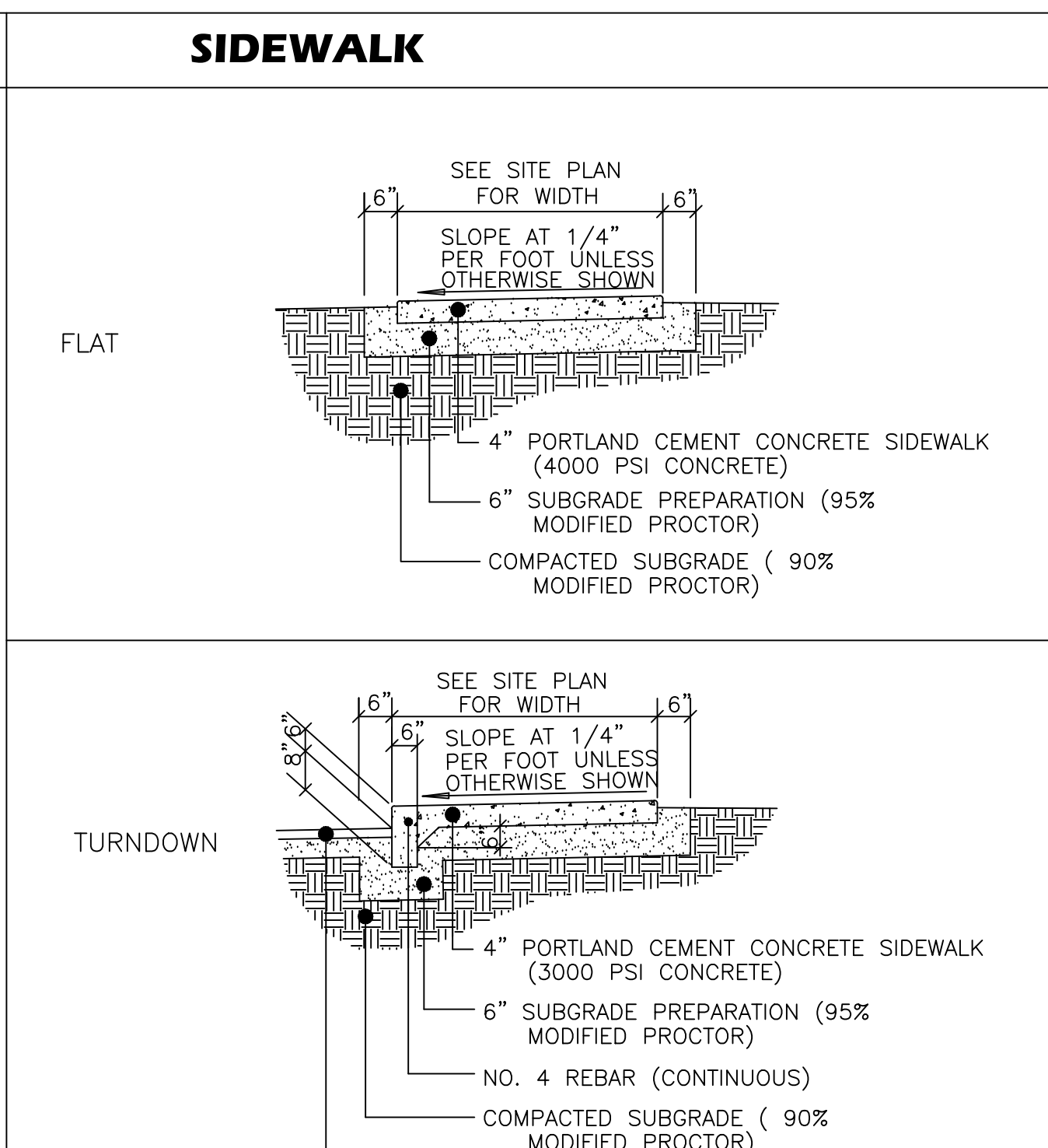
sheet title
GRADING & DRAINAGE PLAN

drawn by METO	design by JJB	project no. 1706
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sheet

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199
Office (505)823-1344 Cell (505)480-6812
Email JakeBordenave@comcast.net

C1.1



MINIMUM REQUIRED WATER HARVESTING VOLUME PER AREA			
VOLUME = IMPERVIOUS AREA X (0.44-0.10)/12			
BASIN	IMP. AREA	REQD VOL. (C.F.)	
A	7660	217	
B	1227	35	
C	2792	79	
D	2866	81	
E	1227	35	
F	618	18	
			DRIVEWAY ENTRANCES
			DIRECT DISCHARGE

no.	date	remarks	by
REVISIONS			
project title		GARCIA APARTMENTS GARCIA ST. NE ALBUQUERQUE, NM	
sheet title		SITE DETAILS, LEGEND	
drawn by	design by	project no.	
METO	JJB	1706	

	BORDENAVE DESIGNS P.O. BOX 91194, ALBUQUERQUE, NM 87199 Office (505)823-1344 Cell (505)480-8812 Email JakeBordenave@comcast.net	sheet C1.2
	