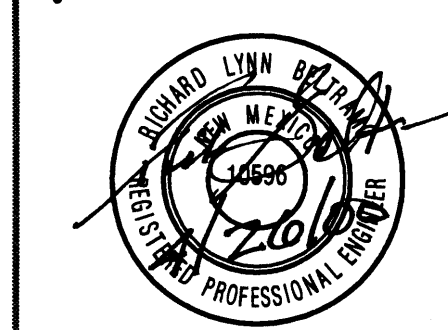
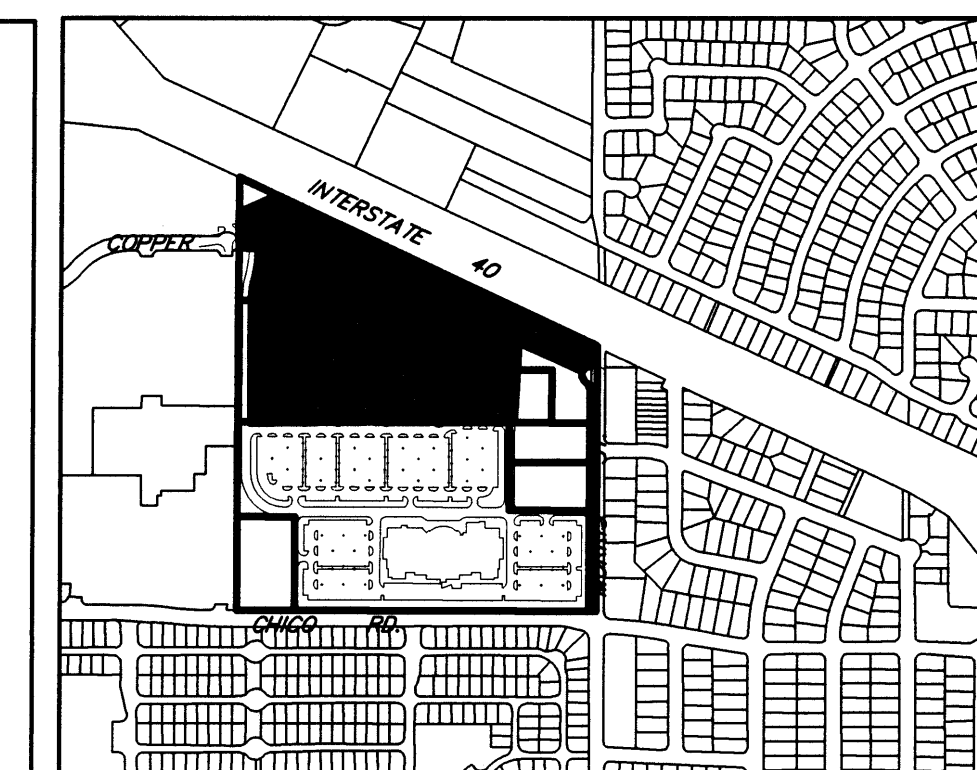
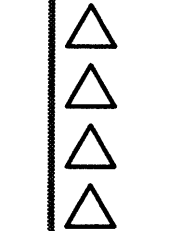




501 Morris
Exterior Renovations
Dominion Plaza Development
Albuquerque, New Mexico



VICINITY MAP
ZONE ATLAS MAP No. K-21-Z

LEGAL DESCRIPTION
LOT 1, LOT 5 AND LOT 6 OF LEMURT PROPERTIES

DRAINAGE PLAN

INTRODUCTION
THE PURPOSE OF THIS PLAN IS TO DEFINE THE GRADING AND DRAINAGE IMPROVEMENTS WHICH SUPPORT THE PLANNED TENANT MODIFICATIONS TO THE EXISTING BUILDING. THIS PLAN IS AN AMENDMENT TO THE APPROVED "FACILITY RE-UTILIZATION: 501 MORRIS" DRAINAGE REPORT.

EXISTING, APPROVED PLANS AND REPORTS
THE APPROVED REPORT, TITLED "FACILITY RE-UTILIZATION: 501 MORRIS" DATED JANUARY 4, 1999, PROPOSED DRAINAGE CONCEPTS FOR THIS PROPERTY. THIS REPORT WAS DEVELOPED AS A MASTER PLAN FOR THE ENTIRE 50 ACRE PROPERTY INCLUDING THE CINEMARK SITE.

EXISTING CONDITIONS
CURRENTLY THE SITE DRAINS IN WESTERLY DIRECTION WITH FLOW OUTFALLING INTO TWO EARTHEN CHANNELS. ONE CHANNEL IS LOCATED ON THE WEST SIDE OF THE PROPERTY RUNNING SOUTH TO NORTH. THE SECOND CHANNEL IS ON THE NORTHERN SIDE OF THE PROPERTY AND RUNS EAST TO WEST. THE CHANNEL ON THE NORTHERN SIDE CARRIES OFF-SITE FLOW FROM MORRIS RD. BOTH CHANNELS OUTFALL INTO A DRAINAGE INLET STRUCTURE IN THE NORTH WESTERN CORNER OF THE PROPERTY WHICH INTURN OUTFALLS INTO THE I-40 CHANNEL.

PROPOSED PLAN
SUBMITTED IS THE DRAINAGE AND GRADING PLAN FOR DOMINION PLAZA, FORMERLY THE EXISTING LEMURT BUILDING. TENANT MODIFICATIONS TO THE BUILDING ARE PLANNED INCLUDING MINOR CHANGES TO THE SITE GRADING, DRAINAGE AND ACCESS. ALTHOUGH THIS IS A DRAINAGE AND GRADING PLAN SUBMITTED SPECIFICALLY FOR THE EXISTING LEMURT BUILDING IT IS ESSENTIALLY AN AMENDMENT TO THE APPROVED "FACILITY RE-UTILIZATION: 501 MORRIS" (K21/D9) DRAINAGE REPORT, DATED JANUARY 4, 1999. NO HYDROLOGICAL ANALYSIS IS PROVIDED AND IS INSTEAD OBTAINED FROM THE APPROVED STUDY.

THE MOST SIGNIFICANT ADDITIONS / ALTERATIONS TO THE SITE DRAINAGE ARE:
1) MINOR CHANGES IN PARKING LOT GRADES,
2) RELOCATION OF EXISTING EAST / WEST LOOP ROAD TO THE NORTH INTO THE EARTHEN CHANNEL,
3) ADDITION OF STORM DRAIN "A", AND
4) CONSTRUCTION OF A PORTION OF STORM DRAIN "B" AS NECESSARY TO BUILD LOOP ROAD "A". THE REMAINDER OF STORM DRAIN "B" TO BE BUILT BY THE CINEMARK PROJECT IN THE NEAR FUTURE.

SITE GRADING
MINOR MODIFICATIONS WERE MADE TO THE EXISTING GRADING TO ACCOMMODATE THE NEW PARKING CONFIGURATIONS. THE INTENT OF THE APPROVED GRADING PLAN REMAINED THE SAME WITH THE SITE DRAINING IN THE SAME MANNER. THE RELOCATION OF LOOP ROAD "A" INTO THE EARTHEN CHANNEL IS THE MOST SIGNIFICANT ALTERATION TO THE APPROVED PLAN.

STORM DRAIN "A", LOOP ROAD "A"
DUE TO THE RELOCATION OF THE LOOP ROAD THE EARTHEN CHANNEL WILL BE REPLACED BY STORM DRAIN "A". (SEE HYDRAULIC CALCULATIONS ON THIS SHEET). STORM DRAIN "A" WILL BE BUILT BY PUBLIC WORK ORDER.

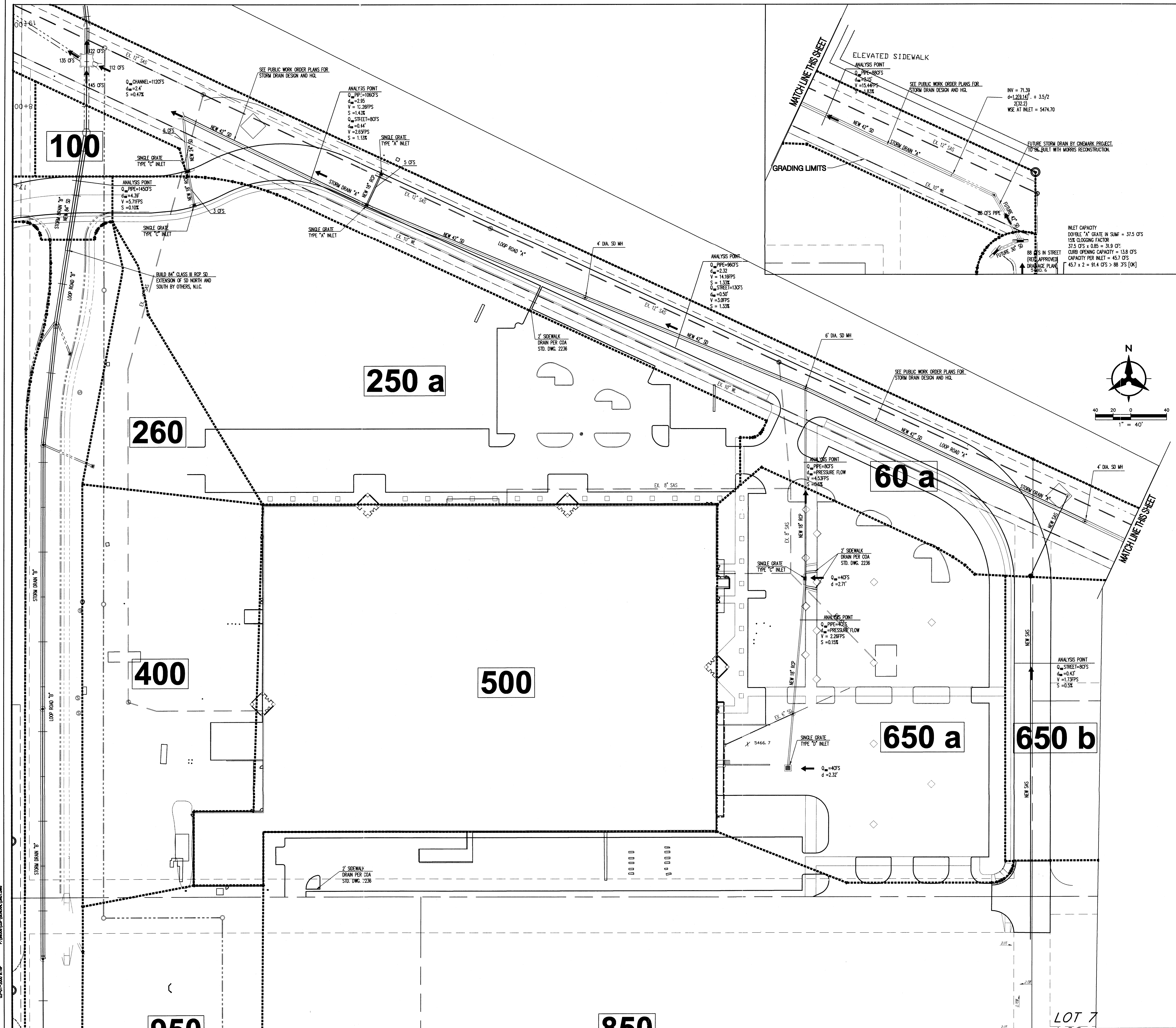
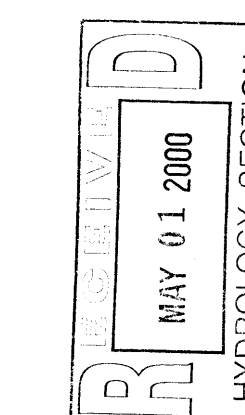
STORM DRAIN "B"
STORM DRAIN "B" WAS DESIGNED AND APPROVED IN THE CINEMARK DRAINAGE REPORT (K21/D9). A PORTION OF THIS STORM DRAIN WILL BE BUILT TO ACCOMMODATE THE CONSTRUCTION OF LOOP ROAD "A". (NON-WORK ORDER)

FUTURE IMPROVEMENTS
THE PROPOSED IMPROVEMENTS ARE INTERIM. THE CINEMARK IMPROVEMENTS WILL BUILD THE REMAINDER OF STORM DRAIN "B" AND THE MORRIS RECONSTRUCTION. THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED TO WORK WITH THE CURRENT CONDITIONS AS WELL AS THE FUTURE CINEMARK PLANS. THE FUTURE STORM DRAIN IMPROVEMENTS BY CINEMARK HAVE BEEN FINANCIALLY GUARANTEED AND WILL BE BUILT IN THE NEAR FUTURE.

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- X 5305 EXISTING GROUND SPOT ELEVATION
- EXISTING ELECTRICAL POLE
- 75.00 PROPOSED SPOT ELEVATION
- TO-TOP OF CURB, FL=FLOW LINE
- TO-TOP OF WALL, BW-BOTTOM OF WALL
- EX=EXISTING, TO-TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED SCREEN WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED CURB & GUTTER
- EASEMENT
- EXISTING TREE
- ⊕ PROPOSED LIGHTING
- SD PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE
- ← 100 YR FLOW (FULLY DEVELOPED CONDITIONS)
- DRAINAGE BASIN BOUNDARY
- 650 DRAINAGE BASIN LABEL

REVISED BASIN HYDROLOGY		
BASIN #	AREA (ACRE)	Q100 (CFS)
60	2.9 ACRE	10.0 CFS
250	4.3 ACRE	20.1 CFS
650	5.2 ACRE	16.2 CFS
60 a	3.5 ACRE	12.8 CFS
250 a	3.7 ACRE	17.3 CFS
650 a	2.9 ACRE	9.0 CFS
650 b	2.3 ACRE	7.2 CFS



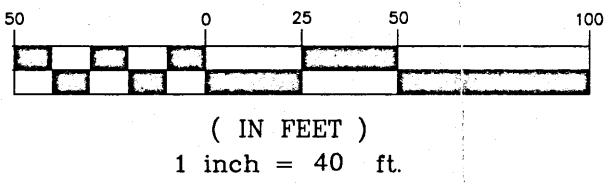
LEGAL DESCRIPTION: TRACT "A-1", TOWNE PARK PLAZA

BENCH MARK
THE STATION IS LOCATED 6.6 MILES EAST OF DOWNTOWN ALBUQUERQUE, AT INTERSECTION OF I-40 & EUBANK BLVD. TO REACH STATION FROM INTERSECTION AT EUBANK BLVD. & CENTRAL AVE., GO NORTH ON EUBANK 0.7 MILE TO BRIDGE OVER I-40. STATION IS LOCATED IN THE MEDIAN OF EUBANK BLVD., AT THE SOUTH END OF BRIDGE.
STATION MARK IS A STD. MSHC BRASS TABLET STAMPED "STA. 1-40-3", ELEV. 5452.733.

PARTIAL GRADING AND DRAINAGE CERTIFICATION

I, Rick Beltramo, having conducted a site inspection on March 9, 1995 and having directed the collection of as-built survey information (provided by the owners licensed surveyor, Surv Tek), certify that the site grading and drainage improvements are complete to the extent shown. Improvements which are complete are in substantial compliance with the approved drainage report and construction plans. This certification does not address construction methods, techniques, performance, or compliance to specifications. A comprehensive grading and drainage certification will be conducted after construction completion.

GRAPHIC SCALE



- GENERAL NOTES**
1. REFER TO GENERAL CONSTRUCTION NOTES, THIS PLANS SET.
 2. ITEMS LISTED "NOT IN THIS CONTRACT" ARE REQUIRED IMPROVEMENTS TO BE BUILT BY OTHER PUBLIC IMPROVEMENTS CITY WORK OR CONTRACT #5064.90.
 3. REFER TO EROSION CONTROL NOTES LISTED BELOW.

LEGEND

- EXISTING STANDARD CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING GROUND CONT.
- PROPOSED GROUND CONT.
- PROPOSED CONCRETE VALLEY GUTTER
- PROPOSED WHEELCHAIR RAMP
- PROPOSED SPOT ELEVATION
- PROPOSED FLOW DIRECTION
- PROPOSED WATER BLOCK
- TEMPORARY EROSION CONTROL BERM
- PROPOSED UTILITY MANHOLE
- PROPOSED DROP INLET
- PROPOSED RETAINING WALL

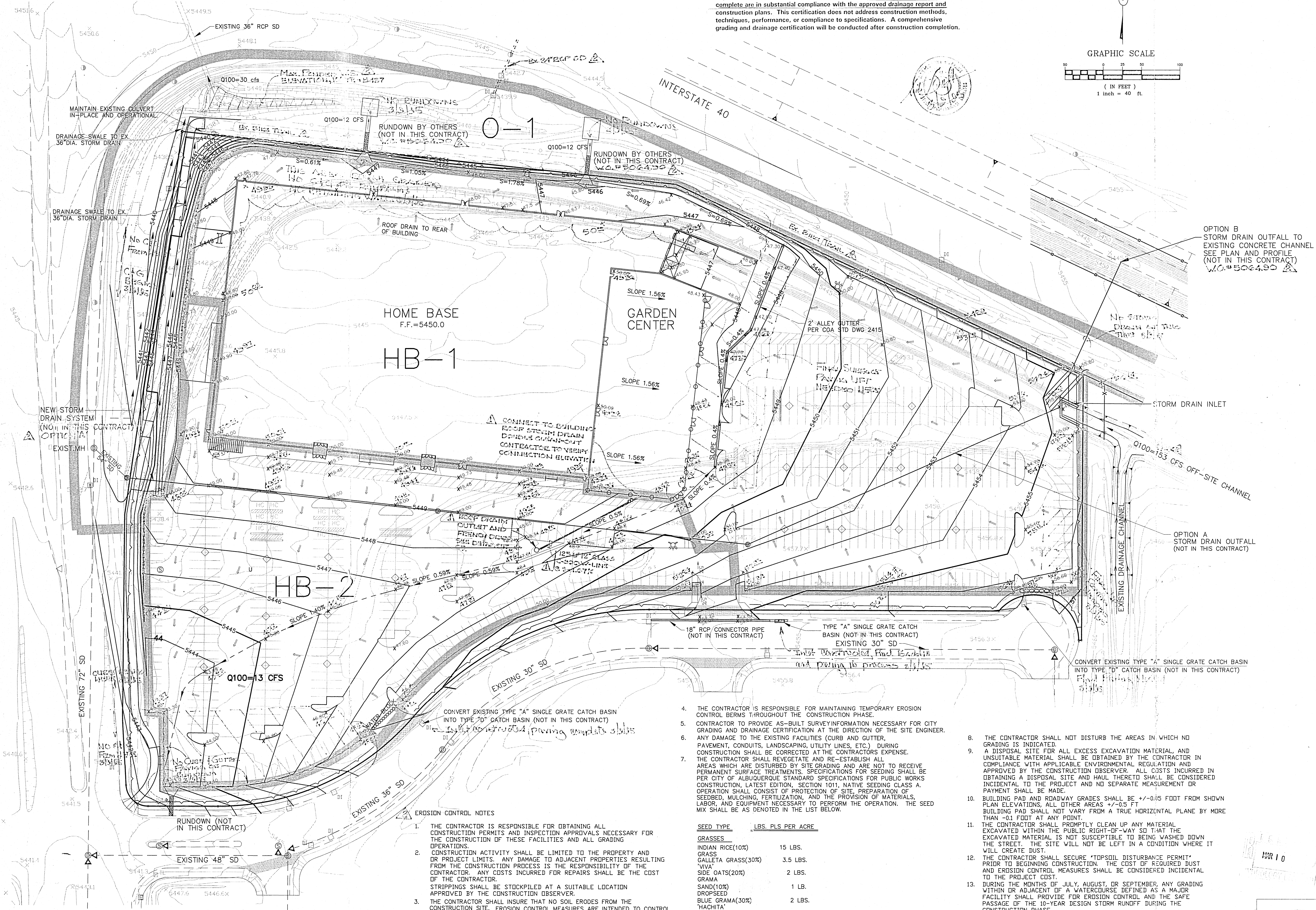
NO.	DATE	REVISIONS	BY
1	2/15/95	PRELIMINARY PLAN FOR HB-1	ELB
2	11/15/95	REVISIONS TO PLAN FOR HB-1	ELB



AT
TOWNE PARK PLAZA

GRADING AND DRAINAGE PLAN

Project Number 4028/4029	Date 12/13/94
AVID ENGINEERING, INC. Civil • Structural • Transportation 6100 Shogun St. NE - Suite 102 Albuquerque, NM 87109 - (505) 881-5257	Sheet Number C4

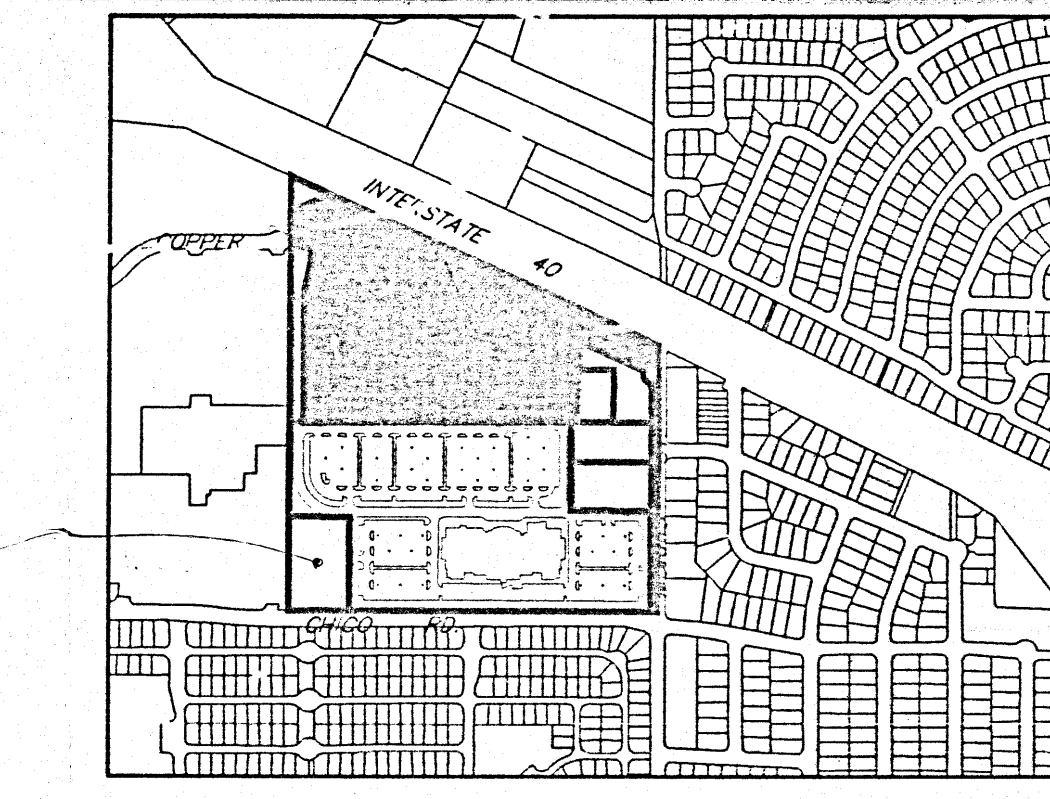
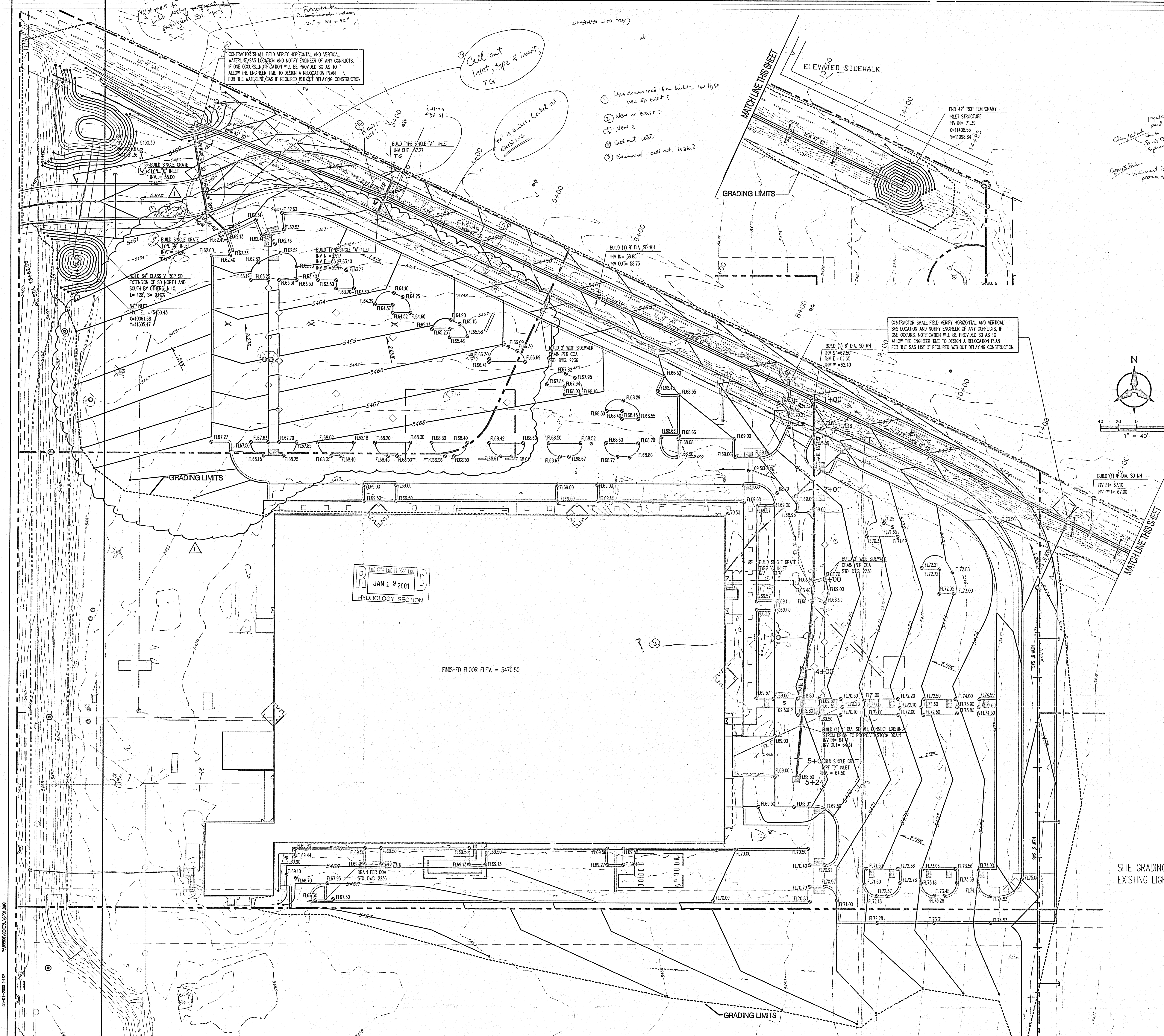


EROSION CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS AND INSPECTION APPROVALS NECESSARY FOR THE CONSTRUCTION OF THESE FACILITIES AND ALL GRADING OPERATIONS.
2. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE CONSTRUCTION SITE. EROSION CONTROL MEASURES ARE INTENDED TO CONTROL MINOR FLOWS AND PROHIBIT THE RELEASE OF SEDIMENT INTO ADJACENT STREETS AND PROPERTY. EROSION CONTROL AND DIVERSION BERM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL SHOWN ON SHEET C6, AT LOCATIONS SHOWN ON THE GRADING PLAN.

SEED TYPE	LBS. PLS PER ACRE
GRASSES	
INDIAN RICE(10%)	15 LBS.
GRASS	
GALLETA GRASS(30%)	3.5 LBS.
'VIVA'	
SIDE OATS(20%)	2 LBS.
GRAMA	
SAND(10%)	1 LB.
DROPSIDE	
BLUE GRAMA(30%)	2 LBS.
'HACHITA'	
WILD FLOWERS	
TAHOCA	1 LB.
DAISY	1 LB.
YELLOW	
CONEFLOWER	1 LB.
GALLARDIA	1 LB.

4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TEMPORARY EROSION CONTROL BERM THROUGHOUT THE CONSTRUCTION PHASE.
5. CONTRACTOR TO PROVIDE AS-BUILT SURVEY INFORMATION NECESSARY FOR CITY GRADING AND DRAINAGE CERTIFICATION AT THE DIRECTION OF THE SITE ENGINEER.
6. ANY DAMAGE TO THE EXISTING FACILITIES (CURB AND GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL REVEGETATE AND RE-ESTABLISH ALL AREAS WHICH ARE DISTURBED BY SITE GRADING AND ARE NOT TO RECEIVE PERMANENT SURFACE TREATMENTS. SPECIFICATIONS FOR SEEDING SHALL BE PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION, SECTION 1011, NATIVE SEEDING CLASS A. OPERATION SHALL CONSIST OF PROTECTION OF SITE, PREPARATION OF SEEDBED, MULCHING, FERTILIZATION, AND THE PROVISION OF MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PERFORM THE OPERATION. THE SEED MIX SHALL BE AS DENOTED IN THE LIST BELOW.
8. THE CONTRACTOR SHALL NOT DISTURB THE AREAS IN WHICH NO GRADING IS INDICATED.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATION AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. BUILDING PAD AND ROADWAY GRADES SHALL BE +/-0.05 FOOT FROM SHOWN PLAN ELEVATIONS, ALL OTHER AREAS +/-0.5 FT. BUILDING PAD SHALL NOT VARY FROM A TRUE HORIZONTAL PLANE BY MORE THAN +/-0.1 FOOT AT ANY POINT.
11. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET. THE SITE WILL NOT BE LEFT IN A CONDITION WHERE IT WILL CREATE DUST.
12. THE CONTRACTOR SHALL SECURE 'TOPSOIL DISTURBANCE PERMIT' PRIOR TO BEGINNING CONSTRUCTION. THE COST OF REQUIRED DUST AND EROSION CONTROL MEASURES SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT COST.
13. DURING THE MONTHS OF JULY, AUGUST, OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT OF A WATERCOURSE, DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND THE SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.
14. THE CONTRACTOR SHALL PROVIDE A TEMPORARY FLOW PATH FOR OFF-SITE AND INSITE RUNOFF UNTIL PERMANENT STORM DRAINS ARE CONSTRUCTED UNDER THE PUBLIC WORK ORDER CONSTRUCTION PROJECT.



architectural
interior
planning
engineering

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87101

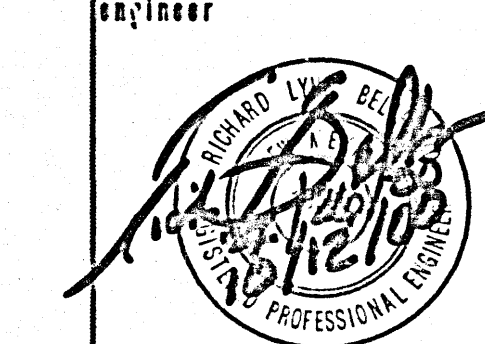
505 761-9700
fax 761-4222
www.dpsnba.com

Bobamian-Huston



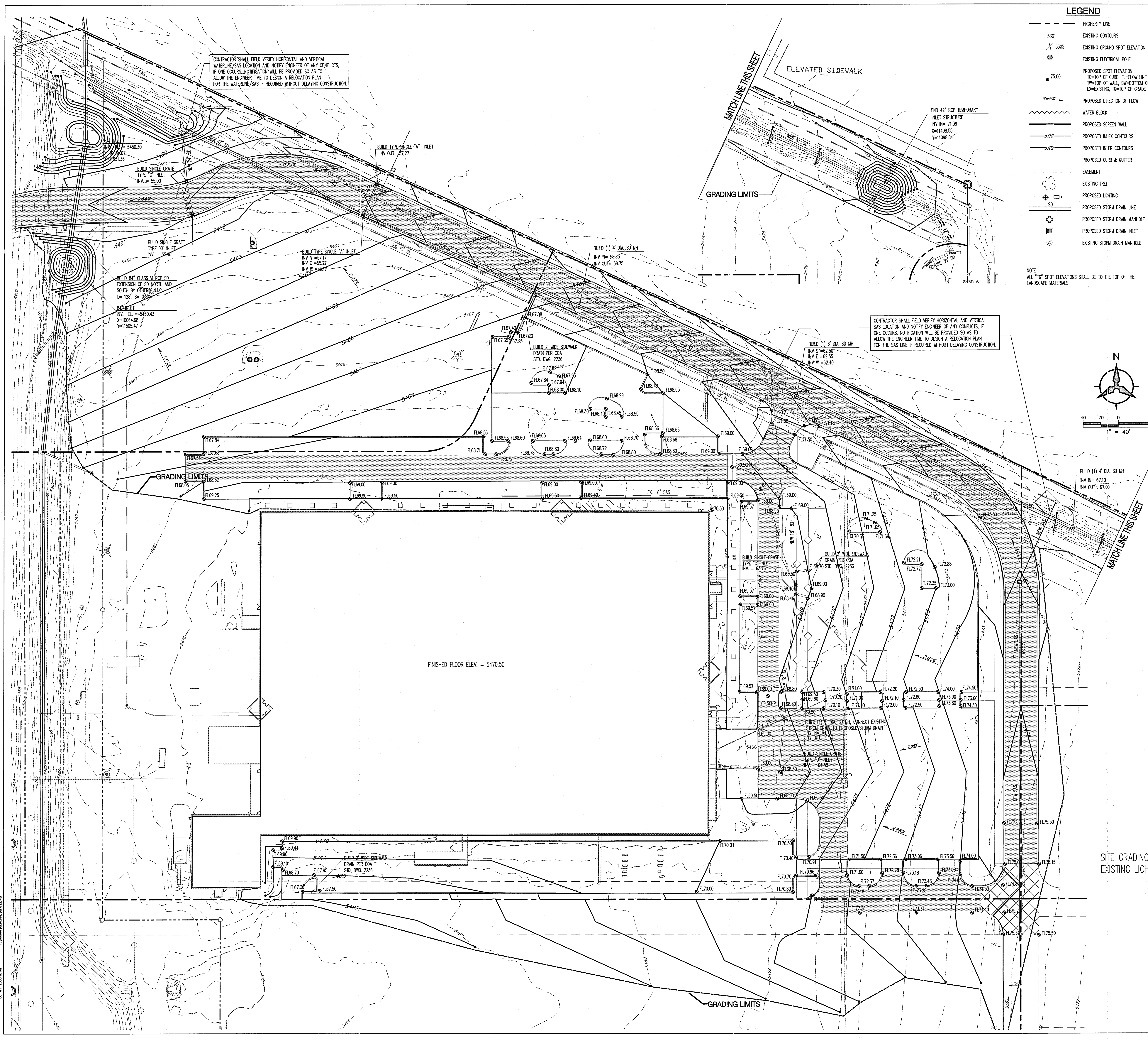
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Albuquerque
NEW MEXICO 87109

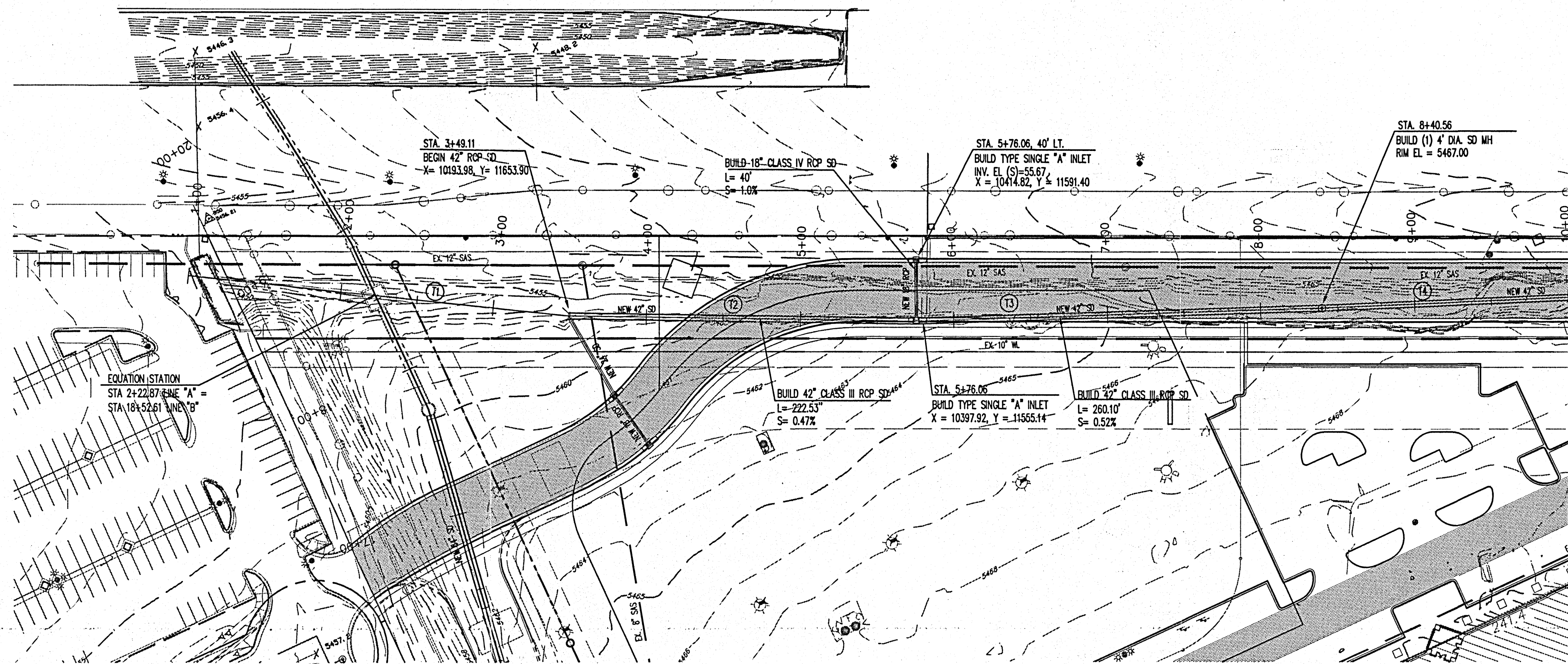
ENGINEERS • PLANNERS • ARCHITECTS • INTERIORS



501 Morris
Exterior Renovations
Dominion Plaza Development
Albuquerque, New Mexico

revisions	
△	10-12-00 EXPAND PARKING LOT
△	
△	
title:	
drawn by	BJG
reviewed by	RLB
date	10/11/00
project no.	99S06A102
drawing name	
GRADING PLAN	
sheet no.	
C2.0	

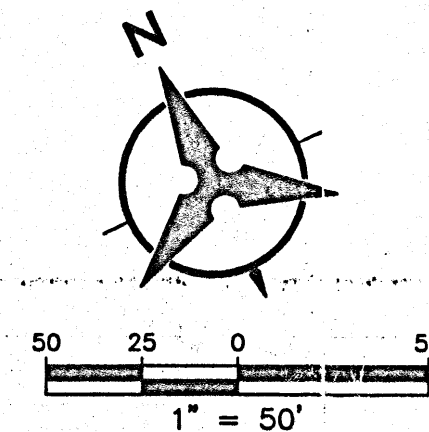




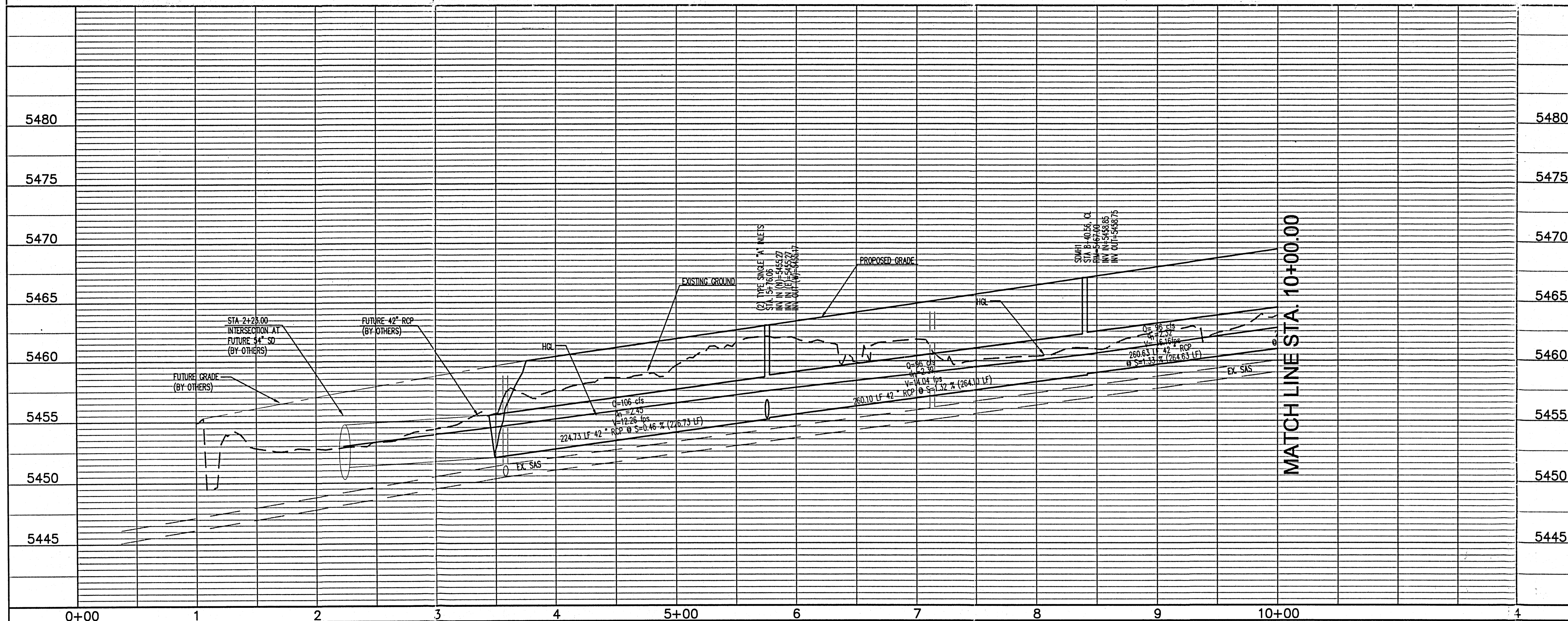
UTILITY LINE CROSSING			
DES	SAS	SD	WL

Q STORM DRAIN TANGENT DATA		
NUMBER	BEARING	LENGTH
T1	S59°03'07\"/>	245.11'
T2	S64°09'48\"/>	225.95'
T3	S66°47'19\"/>	264.50'
T4	S67°31'40\"/>	286.23'

- NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
 5. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
 6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
 8. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
 9. STATIONING ALONG CENTERLINE OF STORM DRAIN.

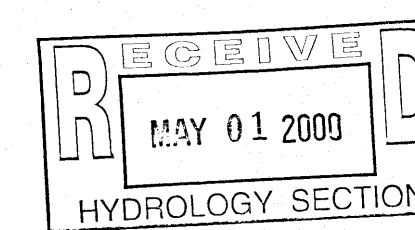
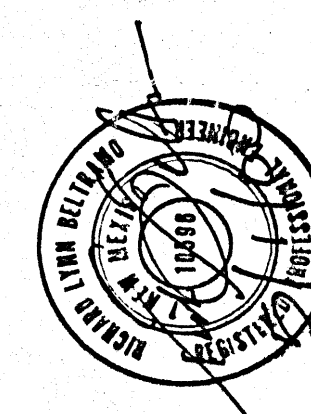


PUBLIC STORM DRAIN LINE "A"



SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE



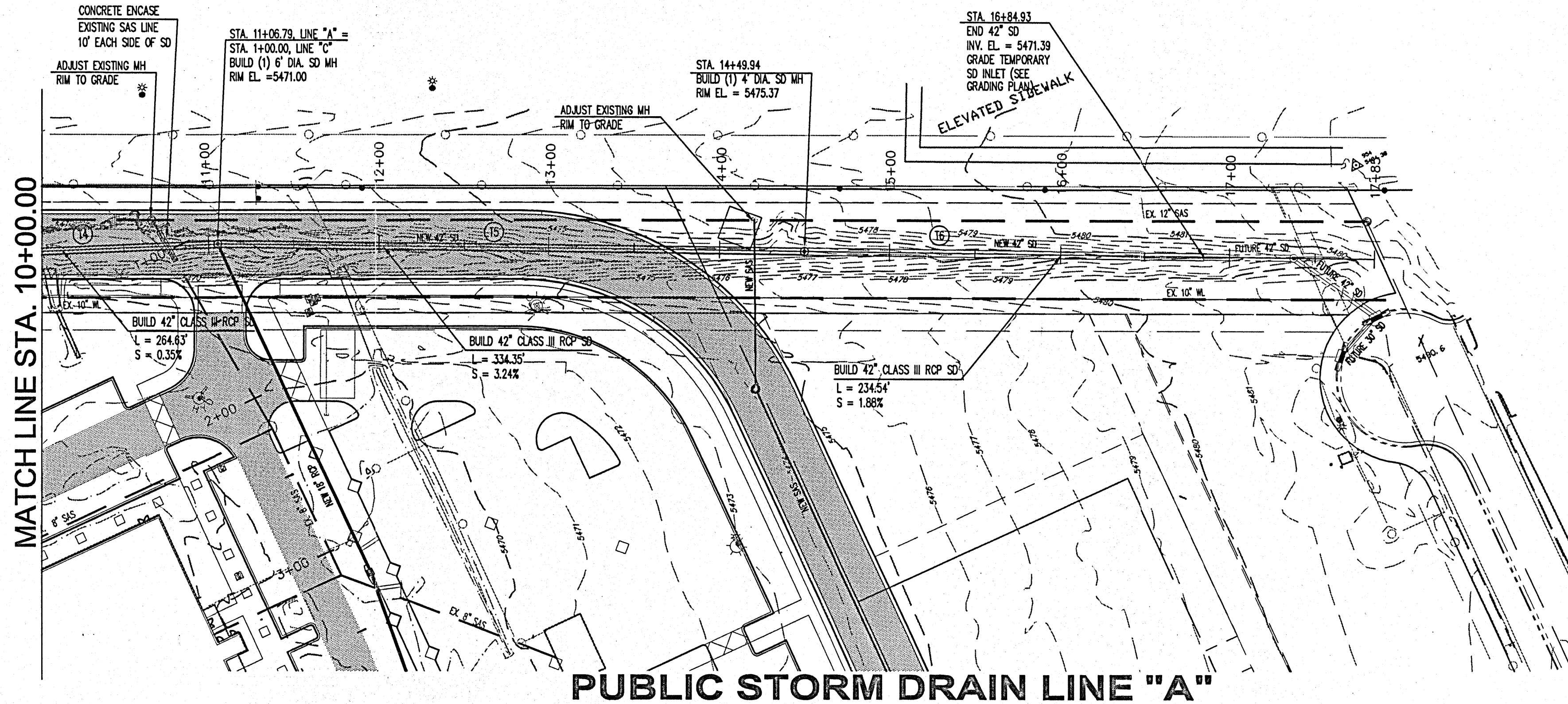
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County One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

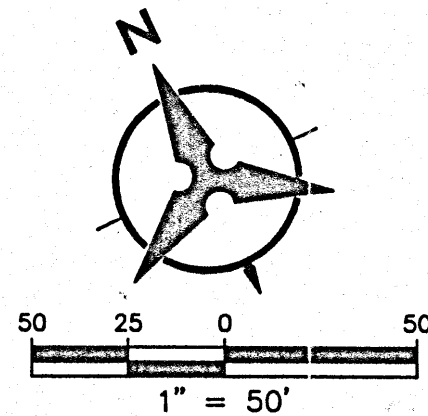
DOMINION PLAZA
PUBLIC STORM DRAIN LINE "A"
STA. 1+00.00 TO 10+00.00

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Coa #	Zone Map No.	Sheet	Of
		K-21-Z	3	4



STORM DRAIN TANGENT DATA		
NUMBER	BEARING	LENGTH
T4	S67°31'40"E	266.23'
T5	S64°21'35"E	343.14'
T6	S64°21'59"E	234.98'



- NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
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 6. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
 7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
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 9. STATIONING ALONG CENTERLINE OF STORM DRAIN.

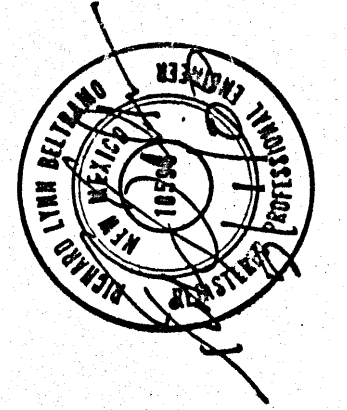
AS-BUILT INFORMATION	
CONTRACTOR	DATE
MARKED BY	DATE
ACCEPTED BY	DATE
FIELD INFORMATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS

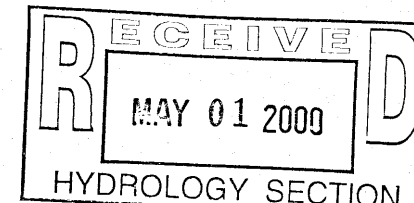
SURVEY INFORMATION

FIELD NOTES	
NO.	DATE
BY	

ENGINEER'S SEAL



REMARKS	
By	
REVISIONS	
DESIGN	
No.	Date
Designed By: MR	DATE: 04/28/00
Drawn By: BJS	DATE: 04/28/00
Checked By: RLB	DATE: 04/28/00



Bohannon-Huston
Courtney One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

DOMINION PLAZA
PUBLIC STORM DRAIN LINE "A"
STA. 10+00.00 TO 17+39.79

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Coa #	Zone Map No.	Sheet	Of
		K-21-Z	4	4

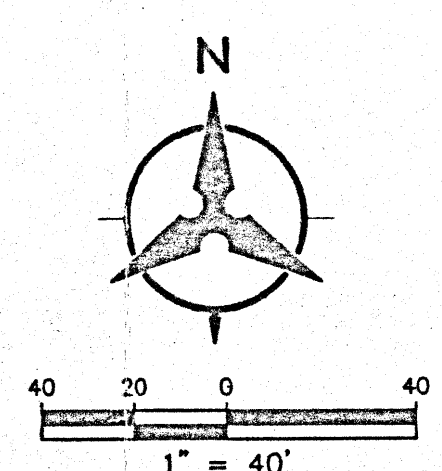
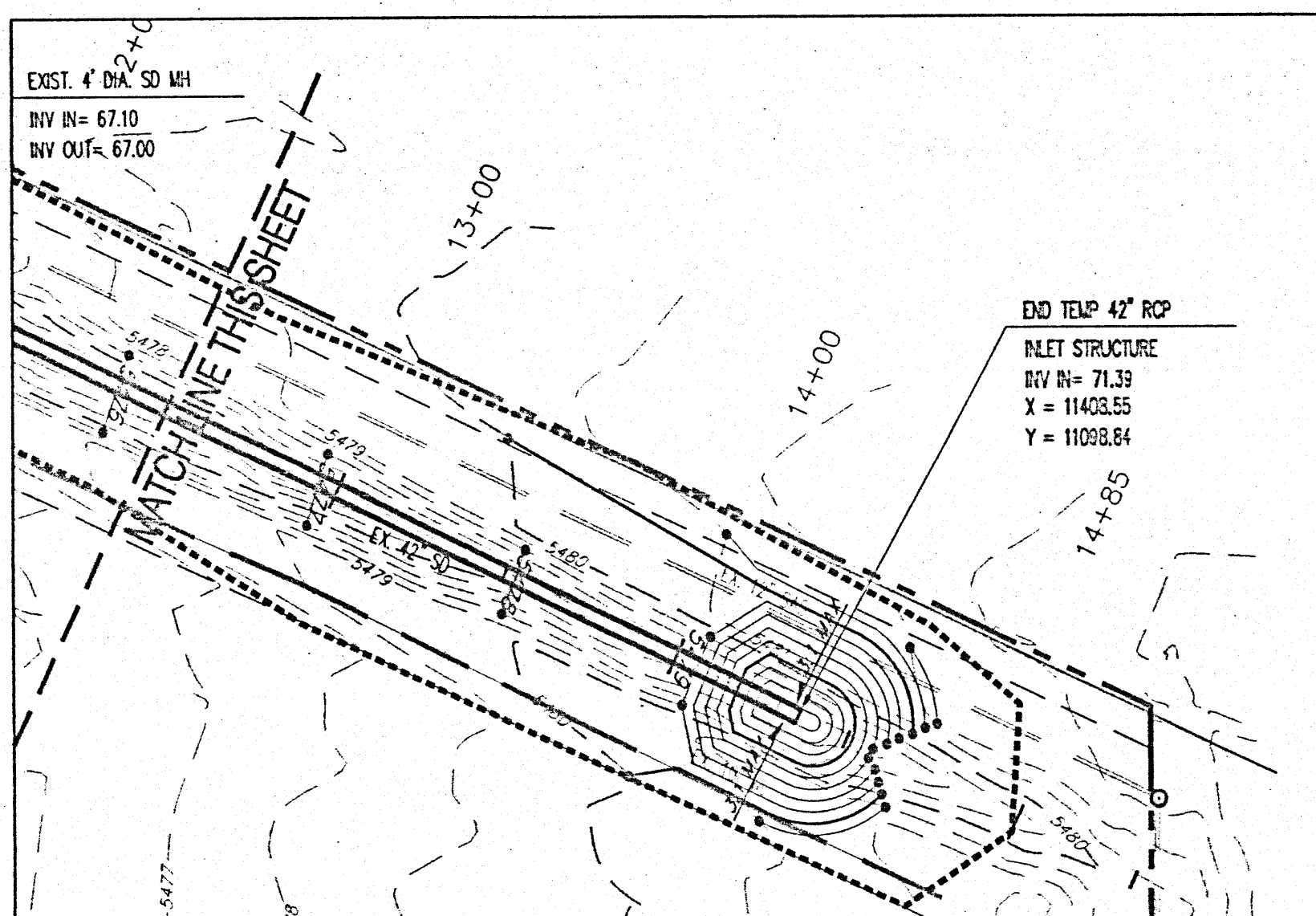
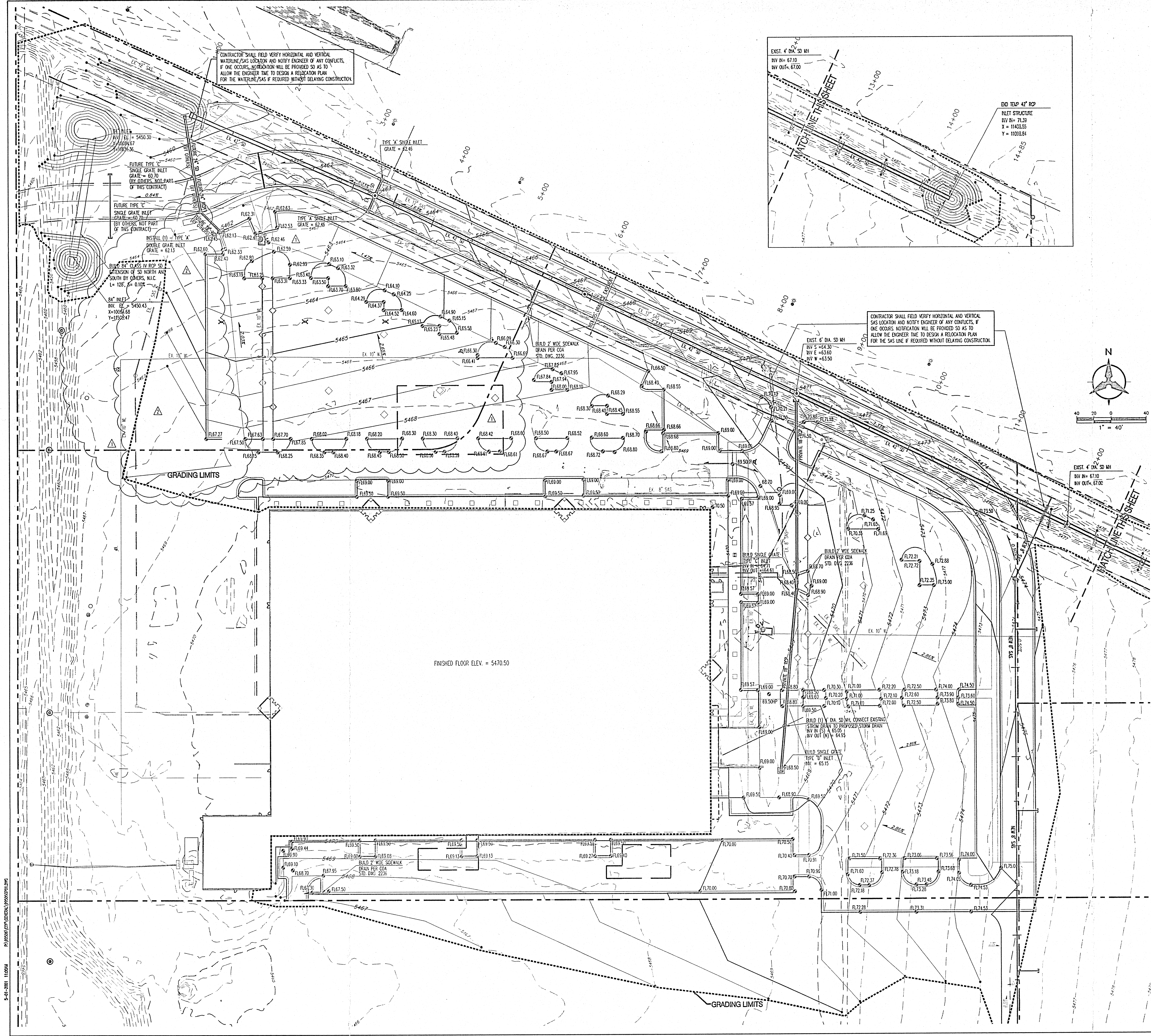
SCALE: 1" = 50' (HORIZ.)
1" = 5' (VERT.)

DWG. NAME
MUDDY

99506UPNP02

BHI JOB NO. 99506A302

Date: APRIL, 2000
Copyright Bohannon Huston 2000



SITE GRADING IS TO INCLUDE DEMOLITION AND REMOVAL OF EXISTING LIGHT POLE BASES, FLAG POLES, ETC.

ROUGH GRADING	(±0.5)
APPROVED FOR ROUGH GRADING	DATE

architecture
interiors
planning
engineering

**Dekker
Perich
Sabatini**

6801 Jefferson NE
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Albuquerque, NM 87109
505 761-8700
fax 761-4222
dps@dpsabq.com

PROJECT

501 Morris
Exterior Renovations
Dominion Plaza Development
Albuquerque, New Mexico

revisions

- EXPAND PARKING LOT, 10-12-00
- REVISE GRADING DUE TO WALMART EXPANSION, 04-10-01

plotted: _____

drawn by: **EJS**

reviewed by: **FLD**

date: **10/11/00**

project no.: **99502A102**

drawing name: **GRADING PLAN**

sheet no.: **C2.0**
of _____