

CITY OF ALBUQUERQUE



September 29, 2017

Verlyn A. Miller, PE
Miller Engineering Consultants, Inc.
3500 Comanche, NE
Albuquerque, NM 87107

Re: Davita Albuquerque II, 10500 Copper Ave. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 10-10-16 (K21D009H1)
Certification dated 9-27-17

Dear Mr. Miller,

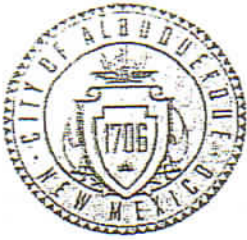
Based upon the information provided in your submittal received 9-27-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

MA/RM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: COPPER POINTE DIALYSIS TREATMENT CENTER Building Permit #: _____ City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT NUMBERED ONE-A (1-A) OF THE PLAT OF TRACT 1-A COPPER POINTE SUBDIVISION
City Address: 10500 COPPER POINTE WAY NE, ALBUQUERQUE, N.M.
Engineering Firm: MILLER ENGINEERING, CONSULTANTS Contact: JOHN JACQUEZ
Address: 3500 CONANCHO NE BLDG. F, ALBUQUERQUE, NM 87107
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: JJACQUEZ@MECNM.COM
Owner: DAVITA / GENESIS KC DEVELOPMENT LLC Contact: DAX CHESKIEZ MGR DDP
Address: 2900 16TH STREET, LEVEL 12, DENVER, CO 80202 / 2900 CR 3210, LOWE
Phone#: _____ Fax#: _____ E-mail: DAK@T
Architect: SEGERY ROBBINS & STEPHENS Contact: _____
Address: 1730 EAST NORTHERN AVENUE, SUITE 104, PHOENIX, AZ 85020
Phone#: 602-277-1187 Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____ E-mail: _____
Phone#: _____ Fax#: _____

Check all that Apply:

DEPARTMENT:
☐ HYDROLOGY/DRAINAGE
☐ TRAFFIC/TRANSPORTATION
☐ MS4/EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:
☒ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: _____

By: DR. JACQUEZ

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



September 27, 2017

Logan W. Patz
Planning Department
Transportation Development
600 2nd St. NW Suite 201
Albuquerque, NM 87102

**RE: Approval of Certificate of Occupancy
Copper Pointe Dialysis Treatment Center, 10500 Copper Pointe Way NE
DRB #1000572 Approved Site Plan**

Dear Logan,

I, Verlyn Miller, a registered Engineer in the State of New Mexico, of the firm, Miller Engineering Consultants, Inc., hereby certify that this project is in substantial compliance with, and in accordance with, the design intent of the DRB #1000572 approved Site Plan dated 10-10-2016. All improvements associated with this change have been field verified by the City to meet ADA requirements. The record information edited onto the original design document has been obtained by Verlyn Miller of the firm Miller Engineering Consultants, Inc. I further certify that I have personally visited the project site on 9-27-2017 and have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented hereon is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its' accuracy before using it for any other purpose.

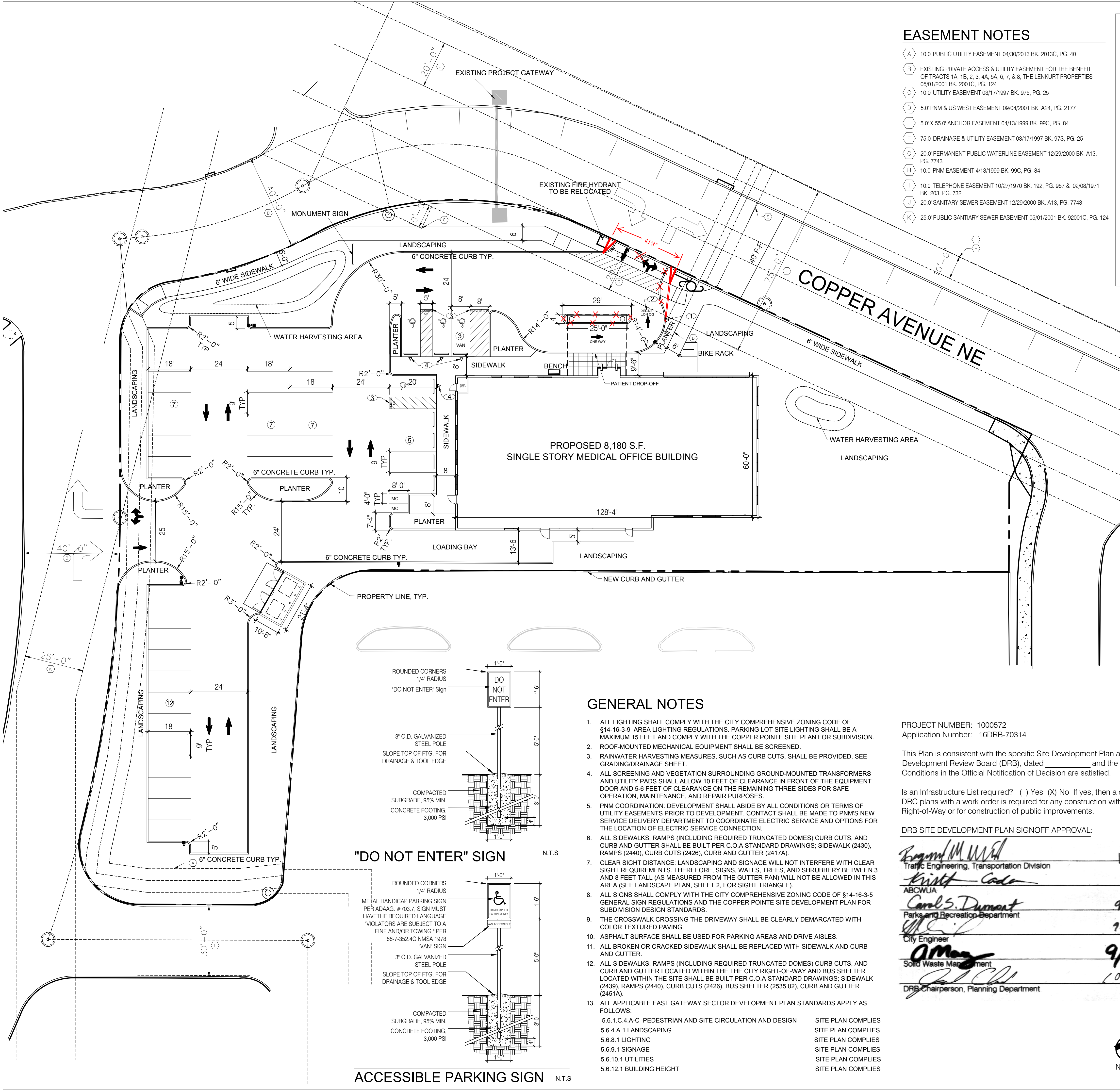
Sincerely,

MILLER ENGINEERING CONSULTANTS, INC.

Verlyn A. Miller, P.E.
President

VAM:vam
Enclosure

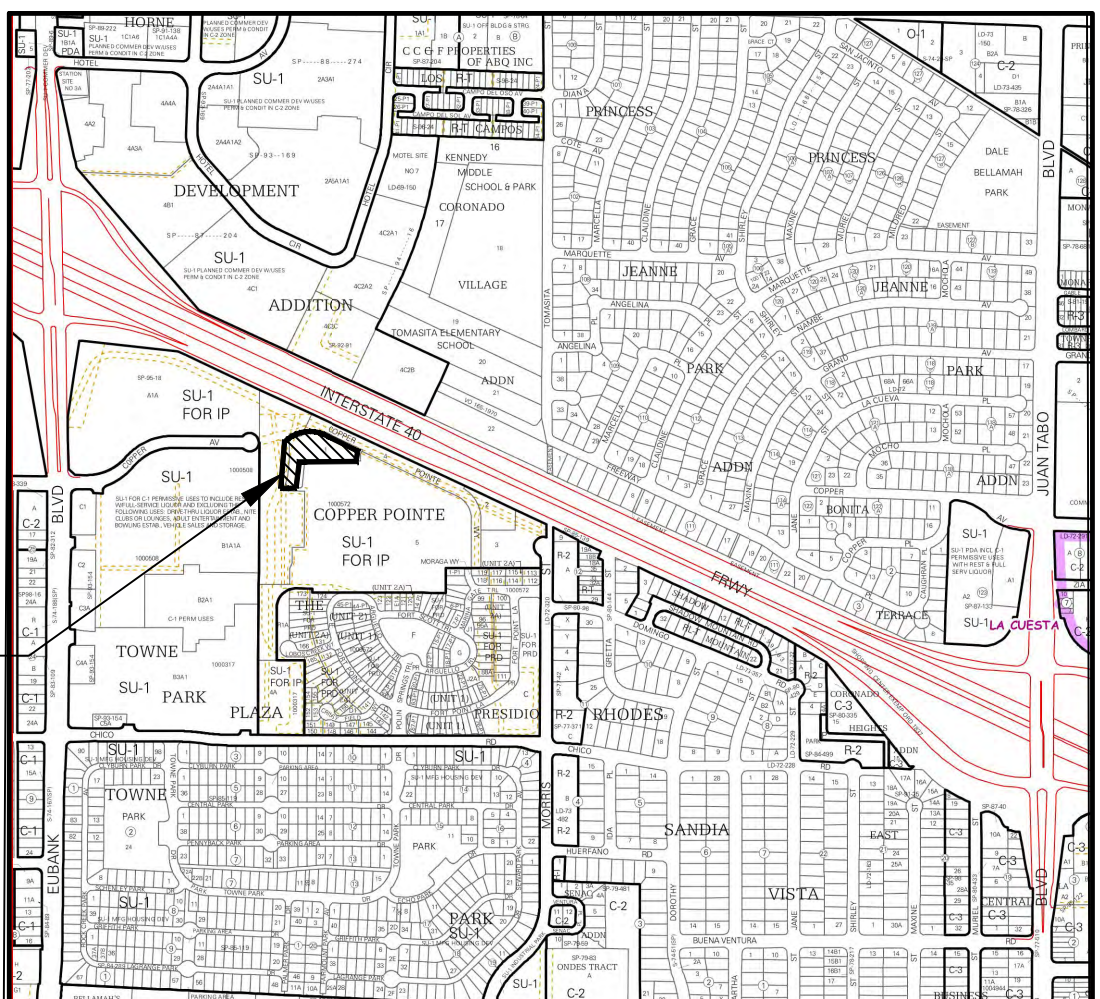
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EASEMENT NOTES

- A 10.0' PUBLIC UTILITY EASEMENT 04/30/2013 BK. 2013C, PG. 40
- B EXISTING PRIVATE ACCESS & UTILITY EASEMENT FOR THE BENEFIT OF TRACTS 1A, 1B, 2, 3, 4A, 5A, 6, 7, & 8, THE LENKURT PROPERTIES 05/01/2001 BK. 2001C, PG. 124
- C 10.0' UTILITY EASEMENT 03/17/1997 BK. 97S, PG. 25
- D 5.0' PNM & US WEST EASEMENT 09/04/2001 BK. A24, PG. 2177
- E 5.0' X 55.0' ANCHOR EASEMENT 04/13/1999 BK. 99C, PG. 84
- F 75.0' DRAINAGE & UTILITY EASEMENT 03/17/1997 BK. 97S, PG. 25
- G 20.0' PERMANENT PUBLIC WATERLINE EASEMENT 12/29/2000 BK. A13, PG. 7743
- H 10.0' PNM EASEMENT 4/13/1999 BK. 99C, PG. 84
- I 10.0' TELEPHONE EASEMENT 10/27/1970 BK. 192, PG. 957 & 02/08/1971 BK. 203, PG. 732
- J 20.0' SANITARY SEWER EASEMENT 12/29/2000 BK. A13, PG. 7743
- K 25.0' PUBLIC SANITARY SEWER EASEMENT 05/01/2001 BK. 92001C, PG. 124

SITE VICINITY



PROJECT DATA

OWNER: DAVITA, 2000 16TH STREET, LEVEL 12, DENVER, COLORADO 80202

ARCHITECT: SEARER, ROBBINS & STEPHENS, 1730 EAST NORTHERN AVENUE, SUITE 124, PHOENIX, ARIZONA 85020, (602) 277-1187

PLANNER/ LANDSCAPE ARCHITECT: CONSENSUS PLANNING, INC., 302 EIGHTH STREET NW, ALBUQUERQUE, NEW MEXICO 87102, (505) 764-9801

CIVIL ENGINEER: MILLER ENGINEERING CONSULTANTS, 3500 COMANCHE NEW, BUILDING F, ALBUQUERQUE, NEW MEXICO 87107, (505) 888-7500

STRUCTURAL ENGINEER: CARUSO, TURLEY, SCOTT, 1215 WEST RIO SALADO PARKWAY, STE 200, TEMPE, ARIZONA 85281, (480) 774-1700

MECHANICAL, PLUMBING AND ELECTRICAL: HP ENGINEERING, INC., 1836 SOUTH BALTIMORE AVENUE, SUITE B, TULSA, OKLAHOMA 74119, (918) 895-6510

SITE DATA

PROJECT ADDRESS: 10500 COPPER POINT WAY NE, ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT NUMBERED ONE-A (1-A) OF THE PLAT OF TRACT 1-A COPPER POINT SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 30, 2013, IN PLAT BOOK 2013C, PAGE 40.

SITE AREA: 1.3 AC.

PROPOSED LAND USE: SINGLE STORY DIALYSIS TREATMENT CENTER

BUILDING AREA: 8180 SQUARE FEET

CONSTRUCTION TYPE: VB, FIRE SPRINKLER SYSTEM

MAXIMUM BUILDING HEIGHT: 22 FEET.

ZONING: SU-2/SU-1 FOR IP

PARKING REQUIREMENTS: OFFICE: 1 SPACE PER 200 SQUARE FEET

	REQUIRED	PROVIDED
TOTAL PARKING	41 SPACES	41 SPACES
ADA PARKING *	3 SPACES	4 SPACES
MOTORCYCLE PARKING	2 SPACES	2 SPACES
BICYCLE	2 SPACES	4 SPACES

* ALL VAN ACCESSIBLE

MAXIMUM F.A.R. ALLOWED PER THE COPPER POINT SITE PLAN FOR SUBDIVISION : .30 FOR TRACTS 1,2,4, AND 5 OVERALL COMBINED.

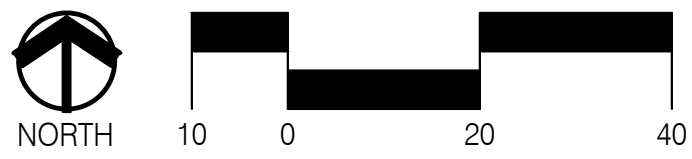
KEYNOTES

- "DO NOT ENTER" POSTED SIGN
- PAVEMENT DIRECTIONAL SIGNAGE
- ADA ACCESS AISLE. AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACES SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIE WOULD BE PLACED. (66-1-2-.1.B NMSA 1978)
- ADA ACCESSIBLE PARKING SIGN SHALL READ "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER 66-7-352.4C NMSA 1978

GENERAL NOTES

- ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA LIGHTING REGULATIONS. PARKING LOT SITE LIGHTING SHALL BE A MAXIMUM 15 FEET AND COMPLY WITH THE COPPER POINT SITE PLAN FOR SUBDIVISION.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT, CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).
- ALL SIGNS SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-5 GENERAL SIGN REGULATIONS AND THE COPPER POINT SITE DEVELOPMENT PLAN FOR SUBDIVISION DESIGN STANDARDS.
- THE CROSSWALK CROSSING THE DRIVEWAY SHALL BE CLEARLY DEMARCATED WITH COLOR TEXTURED PAVING.
- ASPHALT SURFACE SHALL BE USED FOR PARKING AREAS AND DRIVE AISLES.
- ALL BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN THE CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2439), RAMPS (2440), CURB CUTS (2426), BUS SHELTER (2535.02), CURB AND GUTTER (2451A).
- ALL APPLICABLE EAST GATEWAY SECTOR DEVELOPMENT PLAN STANDARDS APPLY AS FOLLOWS:
 - 5.6.1.C.4.A-C PEDESTRIAN AND SITE CIRCULATION AND DESIGN
 - 5.6.4.A.1 LANDSCAPING
 - 5.6.8.1 LIGHTING
 - 5.6.9.1 SIGNAGE
 - 5.6.10.1 UTILITIES
 - 5.6.12.1 BUILDING HEIGHT

SITE PLAN COMPLIES
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CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495

MILLER ENGINEERING CONSULTANTS
Engineers • Planners

3500 COMANCHE, NE
ALBUQUERQUE, NM 87107
(505) 988-7500
(505) 988-1800 (FAX)
WWW.MECNM.COM

Designed	Job #	Engineers Stamp
Drawn	File	
Checked	Date	

8/26/2016

NEW MEXICO
BERNALILLO COUNTY

DAVITA ALBUQUERQUE II

CITY OF ALBUQUERQUE, NEW MEXICO

SITE PLAN

Date	Revision	Description

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DAVITA
Albuquerque II
at
10500 Copper Avenue NE
Albuquerque, New Mexico

SHEET NO.
1 of 5