

K21/D09H2

Cherne, Curtis

To: Fred Arfman
Cc: Cloud, Jack W.
Subject: RE: Presidio Lot 155

Fred,

1. Was the newer version approved? Usually I would have more to go on.
2. Please address my last comment about the existing easement.

Curtis

From: Fred Arfman [mailto:freda@iacivil.com]
Sent: Wednesday, August 10, 2011 11:04 AM
To: Cherne, Curtis
Cc: Cloud, Jack W.
Subject: Presidio Lot 155

Curtis,

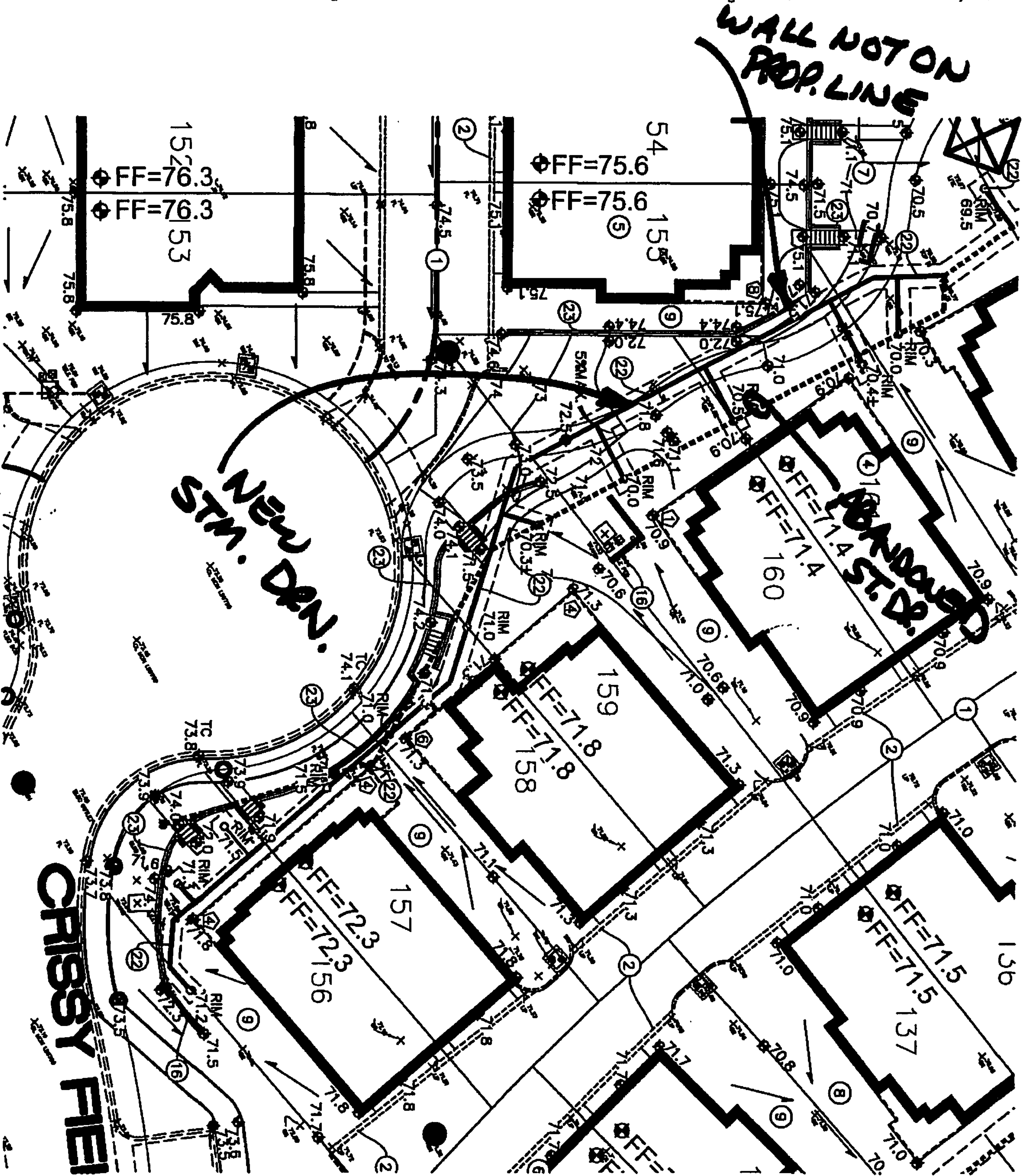
I have attached two drawings that explain the private storm drain situation adjacent to the subject lot. It appears that you had the older version of the G&D plan. The line that you identified was redesigned and moved closer to Lot 155 due to grade issues. The lot line does indeed extend into the easement, but the rear wall is situated along the edge of easement.

I believe that all is proper with the easement and wall locations.

Fred

Fred C. Arfman, P.E.
Principal/ President
Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
freda@iacivil.com

8/11/2011



THE PRESIDIO UNIT 2A

Filed August 11, 2010 in Plat Book 2010C, Page 99

162

161

**REMOVED
STM. DRG.**

160

ABANDONED
STM. DRG.

159

Tt
File

aque Control Station Monument - "S-K20"
xico State Plane Coordinates
Zone) - NAD 83
1 = 1,482,001.249
= 1,553,259.684
n = 5429.995 (NAVD 1988)
lpho = -0010'02.59"
to Grid Factor = 0.999652832

S 69°52'06" W

154

79.10'

LOT 155-A

0.0575 AC.

Property Corner Legend
● = Fd. 5/8" Rebar and cap
stamped "L.S. 9750"
(Typical all corners)

LOT 4A

WNE PARK PLAZA

1/29/2001, in Volume 2001C, Folio 36

N 00°14'09" E

Northerly one (1') foot
of Private Waterline
Easement VACATED by
11DRB-

L4

L3

12

10

1

5

2

4

3

CITY OF ALBUQUERQUE



October 20, 2011

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: The Presidio Units Conversion Grading and Drainage Plan Certification
Engineer's Stamp date 10-18-11 (K21/D009H2)

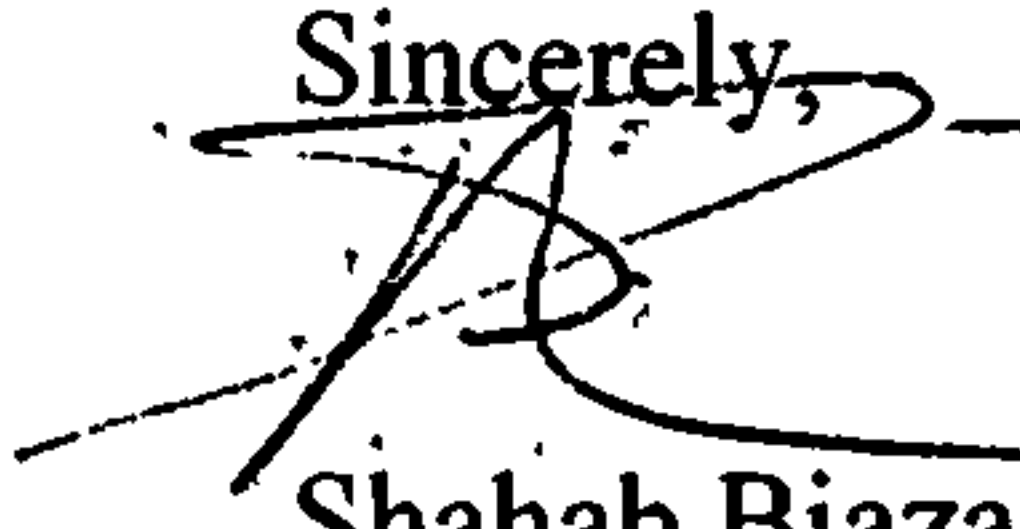
Dear Mr. Arfman,

Based upon the information provided in your submittal received 10-18-11, the above referenced plan cannot be approved for Certification of Occupancy until the following comment is addressed:

- Storm drain inlets were blocked in the subdivision. How is this area to drain as intended with the inlets mostly covered? The preferred BMP is to control erosion at the property line.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Presidio Condo Conversion
DRB #: 1000572, Appl. No. 10DRB-70160

ZONE MAP / DRG. FILE #: K-21/D009H2
EPC #: _____

WO

LEGAL DESCRIPTION: Presidio Condo Conversion, Trs. D-1, E-1A, J-2A-1 & R-1A

CITY ADDRESS: N/A

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe St. NE
CITY, STATE: Albuquerque, NM

CONTACT: Fred C. Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Centex Homes
ADDRESS: 7601
CITY, STATE: Albuquerque, NM

CONTACT: Peter Steen
PHONE: 975-6140
ZIP CODE: 87110

ARCHITECT: N/A
ADDRESS: _____
CITY, STATE: Albuquerque, New Mexico

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Surv-Tek, Inc.
ADDRESS: 9384 Valley View Dr, NW
CITY, STATE: Albuquerque, New Mexico

CONTACT: Russ Hugg
PHONE: 897-3366
ZIP CODE: 87114

CONTRACTOR: Salls Brothers
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: Tuesday, OCT 18, 2011

BY: Fred C. Arfman, PE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

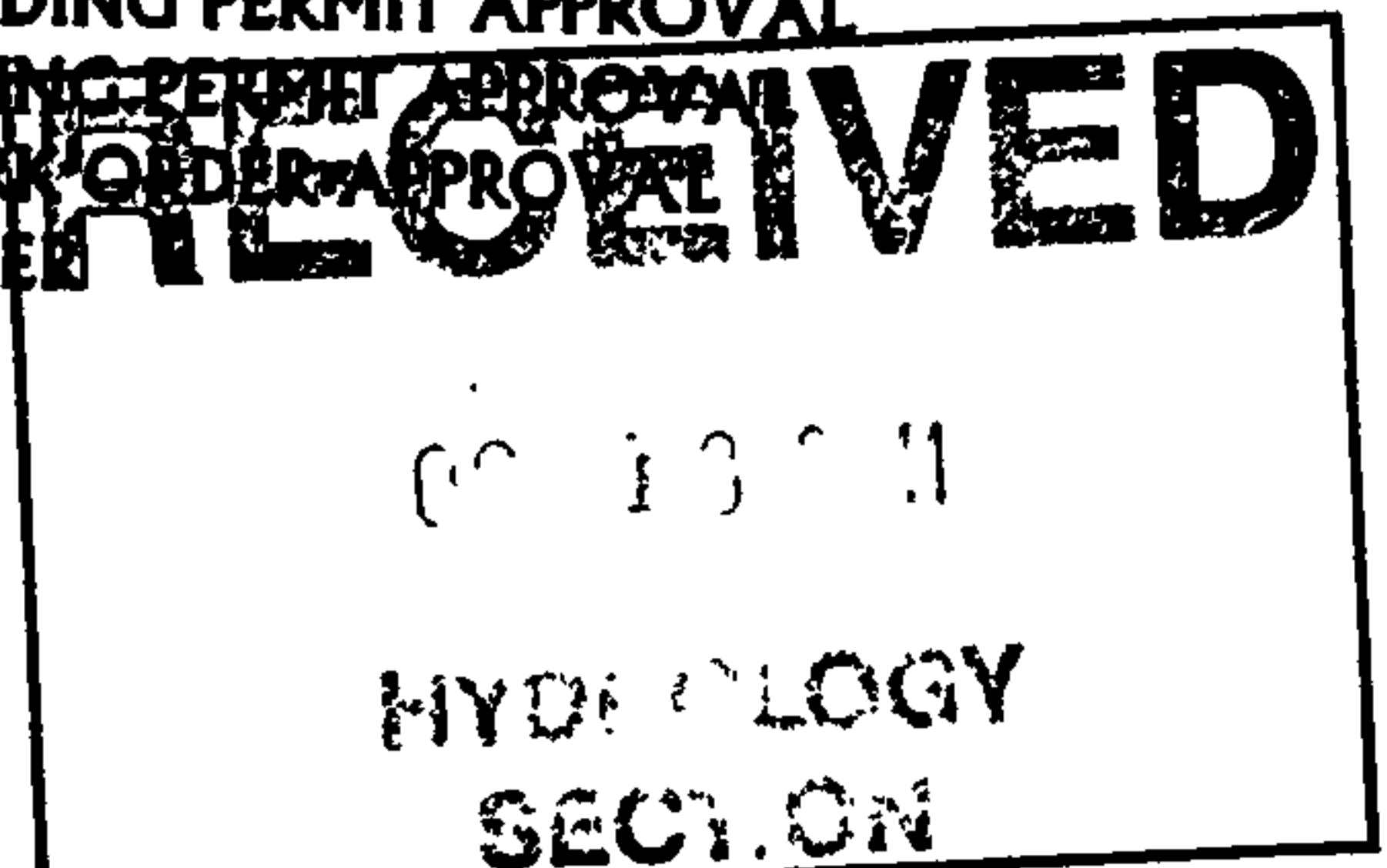


Figure 6: Notice of DRC SessionProcessing Date 10/12/11Project#: 739204Zone Atlas: E-17, E-18, F-18

DRB#: _____

Project Name: Bear Canyon Arroyo Trail I-25 - Wyoming Ph. 2☒ Scheduled with DRC on Wednesday October 19, 2011 at 2:30pm
☐ No DRC Meeting Scheduled. Please return at comments by _____Project Location: North side of Osuna Rd b/w Brentwood Ph + Seagull st Eastside of SeagullTYPE OF PROJECT: ☐ -AHBA ☒ -CIP ☐ -SAD/PID ☐ -ABCWUAPROJECT COORDINATOR: Juan Carlos Samuel Phone: _____Company: COA DMDDesign Engineer: Jeanett Walther Phone: 828-1000Company: BHI**The Project Is Scheduled For the Following DRC Session:**☐ -Pre-Design Review ☐ - Final Plan Review ☐ - _____
☒ -Preliminary Plan Review ☐ - Signature Review ☐ -Route for Signature**The Project Relates to City Infrastructure Systems:**☐ - Water ☐ - San. Sewer ☒ - Paving ☐ -Storm Drainage ☒ -Landscaping
☒ -Traffic Signal**The Attached Package Includes:**

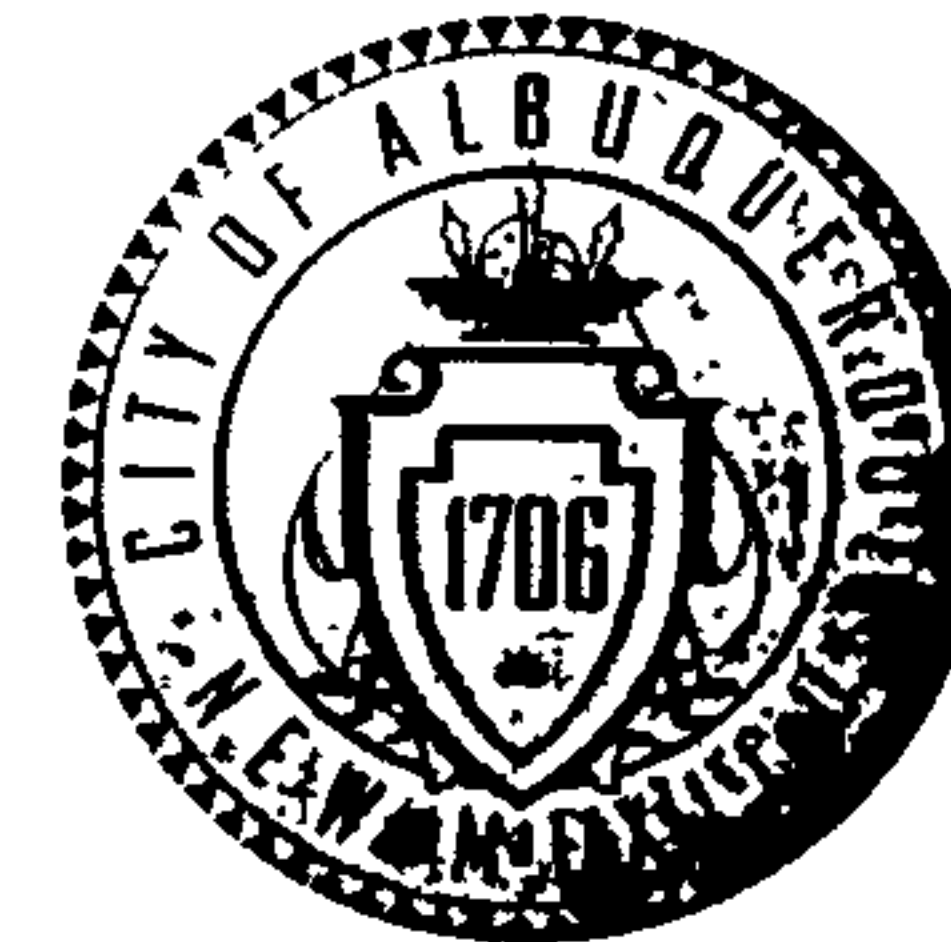
Indicated below are the Departments/Divisions that have received project documents and/or are invited to attend. (It will be the Project Coordinator's responsibility to notify consulting engineering firms of date and time of scheduled DRC meetings).

D- Drawings MU- Markups M- Memo Only E- Estimate R- Report

		D	MU	M	E	R
DRC Chairman	<u>Stephen</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Dev.	<u>Nilo</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Utility Dev.	<u>Jeremy Hoover</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Utility Des.	<u>(CIP) Nancy</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hydr. Dev.	<u>Shohab</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hydr. Des.	<u>(CIP)</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Anthony Lopez/ Paul Olson		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Const. Div.	<u>(CIP) Bryan Wolfe</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Martin Carrasco/Matt Yannoni		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Donald Bartlett		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stephen James		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks & Rec.	<u>James Lewis</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Project Manager	<u>Juan Carlos</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Notified Larry of DRC meeting date & time on 10/12/11 at _____ via Auto

CITY OF ALBUQUERQUE



June 24, 2010

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: The Presidio Units Conversion Grading and Drainage Plan
Engineer's Stamp date 6-17-10 (K21/D009H2)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6-17-10, the above referenced plan is approved for Plat action by the DRB.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

C: file
Brad Bingham

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: The Presidio - ~~Clubhouse~~ Condo Conversion ZONE MAP / DRG. FILE #: K-21/D9H 2
DRB #: 1000572 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts D and J-2A, The Presidio, Unit 1 AND Tracts E1, H1, and R1, The Presidio, Unit 2
CITY ADDRESS: _____

ENGINEERING FIRM: Isaacson & Arfman Engineering, Assoc. CONTACT: Fred C. Arfman
ADDRESS: 128 Monroe St. NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: Centex Homes CONTACT: _____
ADDRESS: 4110 Wolcott NE, Suite B PHONE: _____
CITY, STATE: Albuquerque, NM ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: Surv-Tek, Inc. CONTACT: Russ P. Hugg
ADDRESS: 9384 Valley View Dr. SW PHONE: 897-3366
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

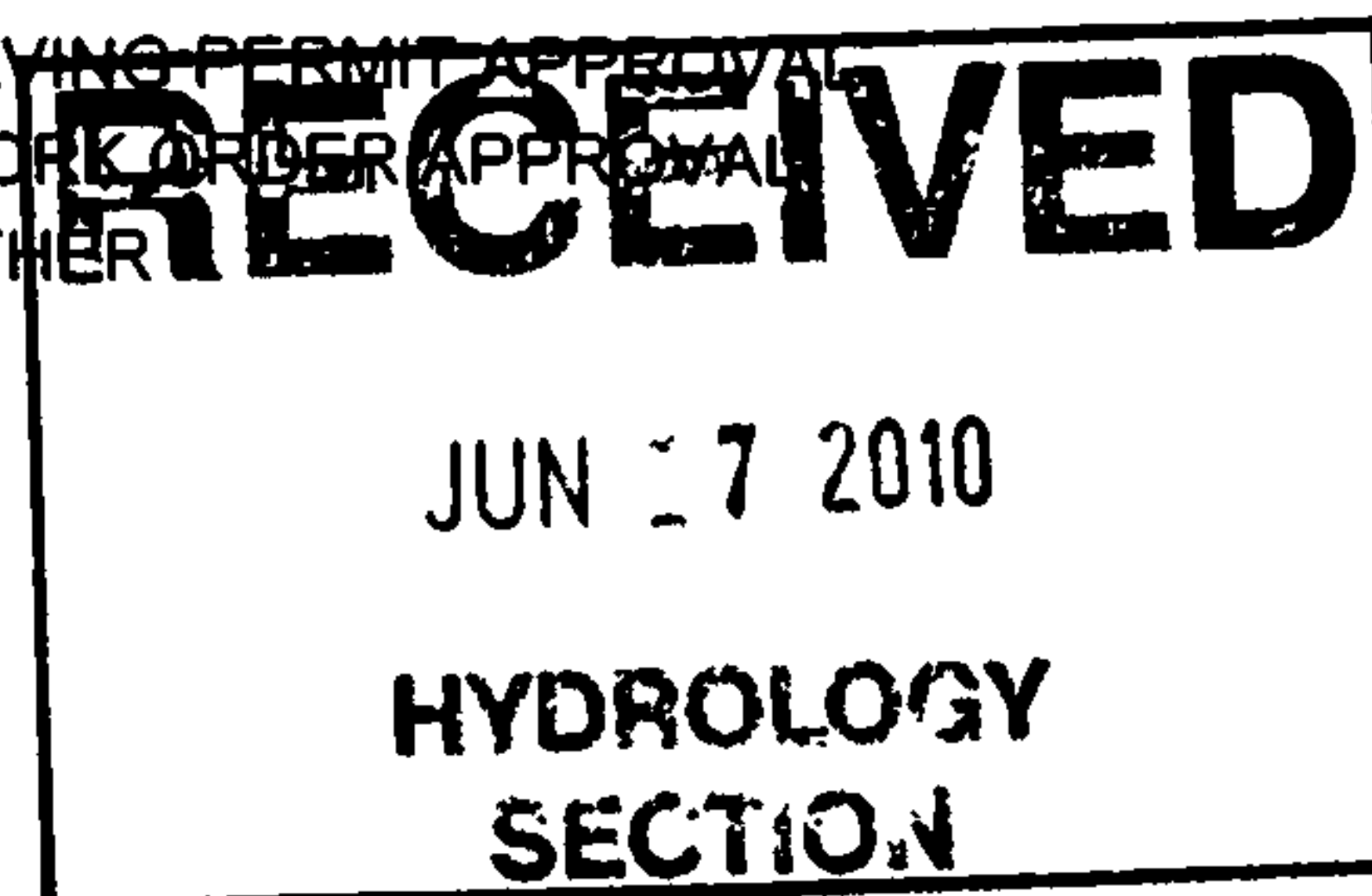
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

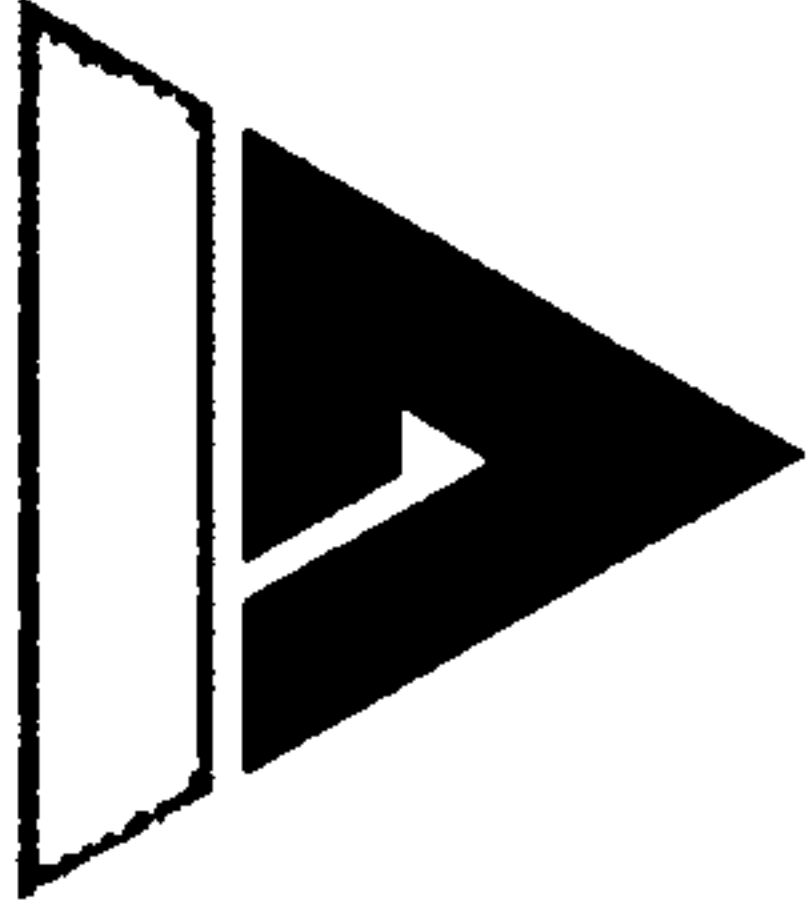
☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
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☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER



DATE SUBMITTED: Wednesday, June 16, 2010 BY: Fred Arfman
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

June 16, 2010

Mr. Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
City of Albuquerque
Hydrology

RE: The Presidio Units Conversion Grading and Drainage Plan Resubmittal (K21/D009H2)

Dear Mr. Cherne:

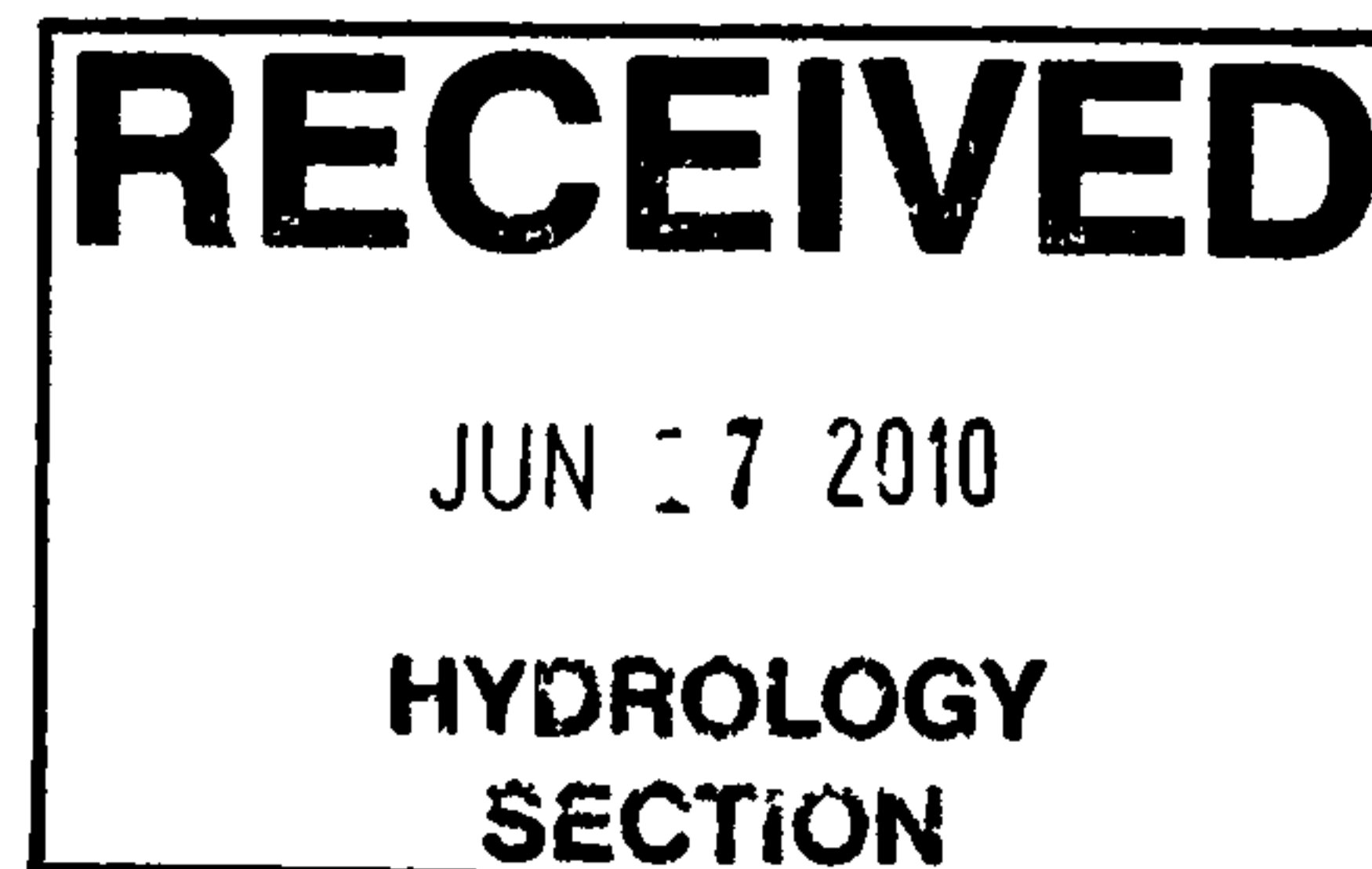
Included with this letter is a copy of the revised Grading and Drainage Plan set for your review. Revisions are based on your review comments dated June 10, 2010 as follows:

- Verbiage added to Sheet CG-001 regarding the proposed change in site discharge rates.
- Sheet CG-502 added with TW / BW grades for all proposed retaining walls.
- 'U' shaped concrete channel detail on Sheet CG-501 clarified as requested.
- Sheet CG-501 provides complete design information for the new additions to the private storm drain system. No SO19 permit or notes are required (per our phone discussion) for the proposed improvements to the private system.
- Grate designations changed from RIM to TGr on plan and noted on CG-501 storm drain detail.

Please let us know if there is anything else you may need.

Sincerely,
ISAACSON & ARFMAN P.A.

Fred C. Arfman, PE
FCA / bjb
Attachments



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Presidio Condo Conversion ZONE MAP / DRG. FILE #: K-21/D009H2
DRB #: 1000572, Appl. No. 10DRB-70160 EPC #: _____

WO

LEGAL DESCRIPTION: Presidio Condo Conversion, Lots 113, 115, 117 & 119

CITY ADDRESS: 11015, 11019, 11023 & 11027 Marina Gate Trail NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Fred C. Arfman

PHONE: 268-8828

ZIP CODE: 87108

OWNER: Centex Homes.

ADDRESS: 7601

CITY, STATE: Albuquerque, NM

CONTACT: Peter Steen

PHONE: 975-6140

ZIP CODE: 87110

ARCHITECT: N/A

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: Surv-Tek, Inc.

ADDRESS: 9384 Valley View Dr, NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Russ Hugg

PHONE: 897-3366

ZIP CODE: 87114

CONTRACTOR: Salls Brothers

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

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- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: Tuesday, July 13, 2010

BY: Fred C. Arfman, PE

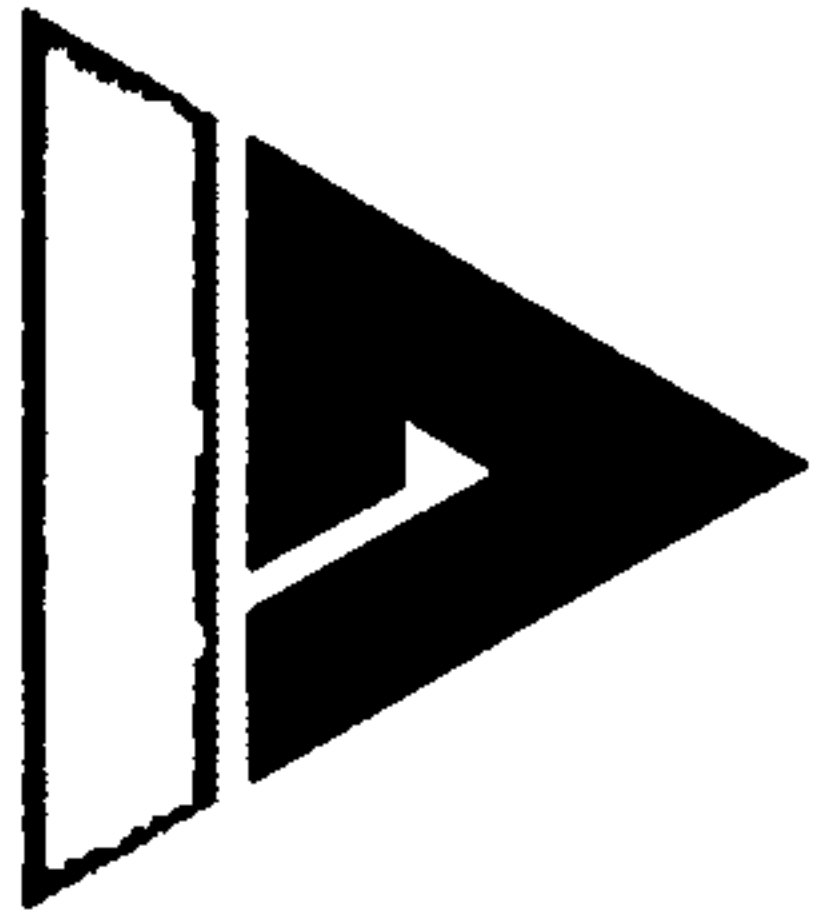
Isaacson & Arfman, P.A.

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

Y-VERBAL
BLB 10-4-10

RECEIVED
JUL 13 2010
HYDROLOGY
SECTION



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

July 13, 2010

Mr. Brad Bingham, PE, Senior Engineer
Utility Development Section / Hydrology Section
Planning Department
City of Albuquerque
Albuquerque, New Mexico 87102

RE: PresidioCondo Unit Conversion
COA File # K21/D009H2
Engineer Stamp Date: June 17, 2010

Dear Mr. Bingham,

Isaacson & Arfman, PA does hereby certify that the temporary cobble drainage swale has been placed along the northly property line of proposed lots 113, 115, 117 & 119 as observed by Fred C. Arfman, PE on June 12, 2010. We have attached two photos for your file along with that portion of the approved drainage plan indicating the location of the swale.

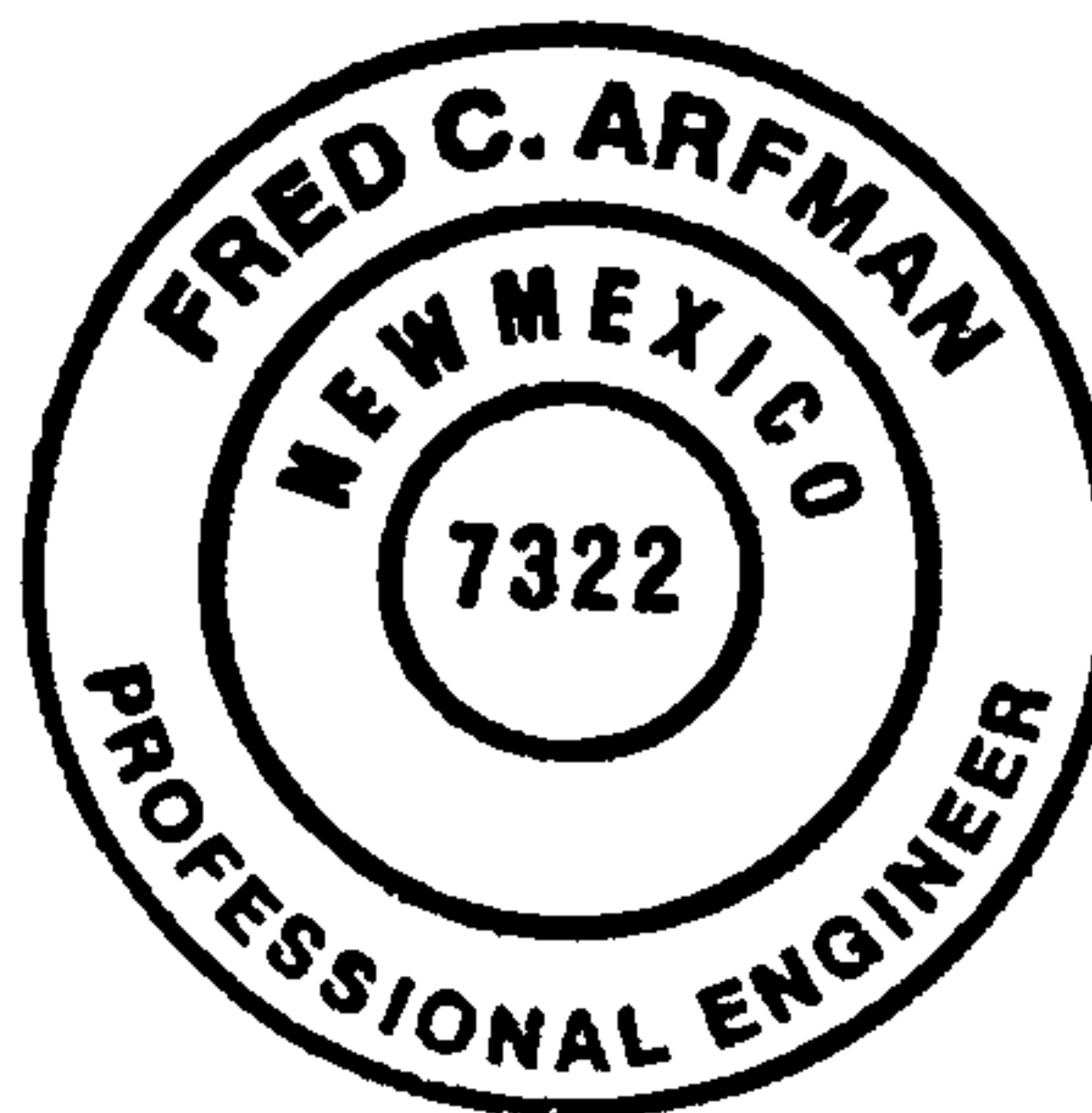
We feel that the Owner's commitment to construct the subject swale has satisfied the condition that was agreed upon to receive Final Plat approval from your Hydrology Section. We understand that the permanent concrete drainage rundown must be constructed and certified as part of the final Grading & Drainage Certification.

Thanks you in advance for your expeditious approval of this certification.

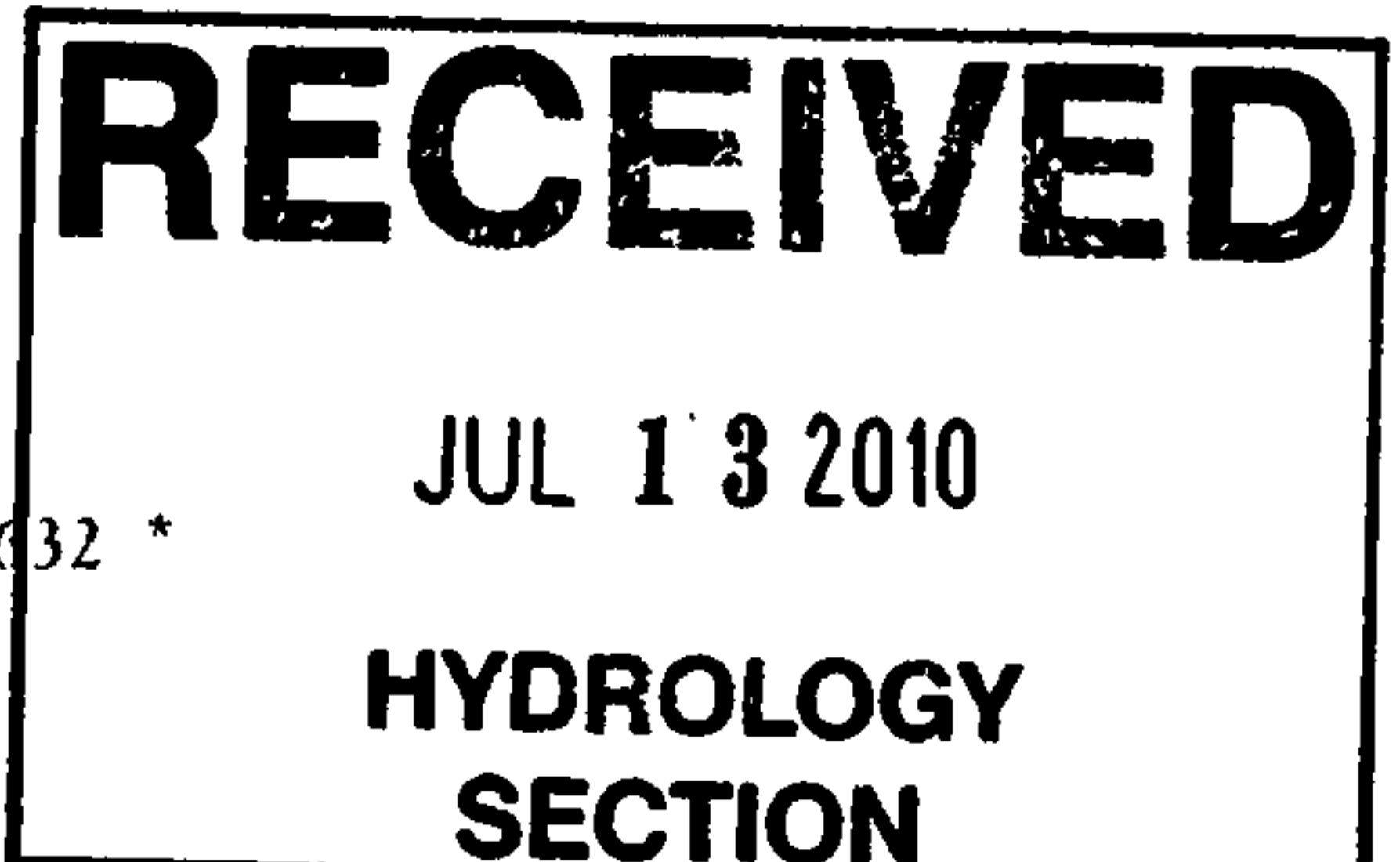
Respectfully,
ISAACSON & ARFMAN P.A.

Fred C. Arfman
Fred C. Arfman, PE

Attachments



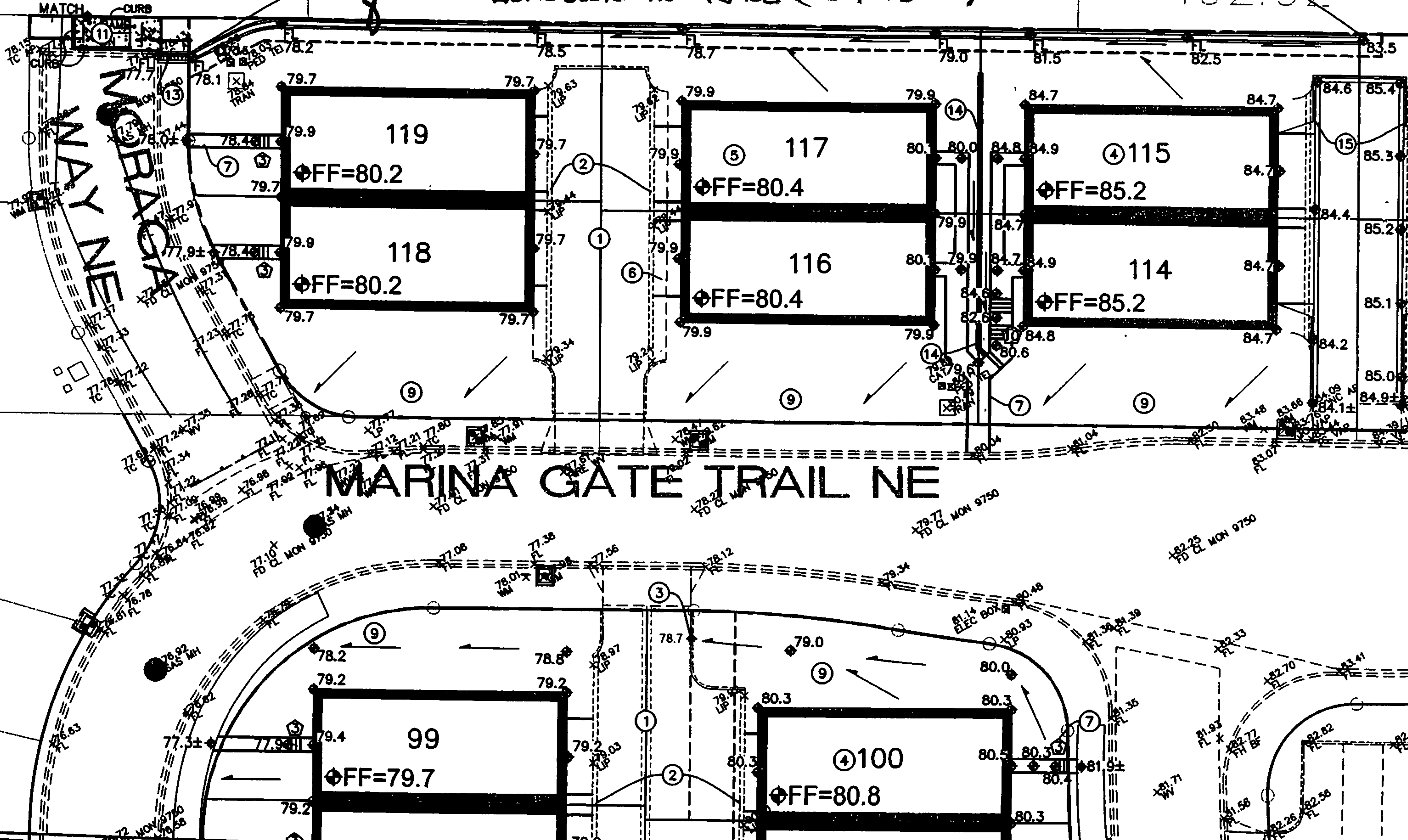
07-13-10



6'13" E

TEMPORARY COBBLE DRAINAGE
RUNDOWN IN PLACE (07-13-10)

492.92'



RECEIVED
JUL 13 2010
HYDROLOGY
SECTION

