

PARKING REQUIREMENTS

TOTAL PARKING ON SITE

= 607 REGULAR PARKING SPACES
= 20 HOV PARKING SPACES
= 781 TOTAL PARKING SPACES
= 7 MOTORCYCLE PARKING SPACES

EXISTING BROWN MACKE COLLEGE:

PARKING REQUIRED (1 SPACE PER 2 OCC.): 662/2 = 331 SPACES
PARKING REQUIRED (1 SPACE PER 4 OCC.): 1,907/4 = 476 SPACES

EXISTING COPPER POINT CHURCH:
PARKING REQUIRED (1 SPACE PER 4 OCC.): 1,907/4 = 476 SPACES

EXISTING HARRIS
PARKING REQUIRED (FIRST FLOOR): 11,781/200 = 59 SPACES
PARKING REQUIRED (FIRST FLOOR LAB): 10,113/1,000 = 11 SPACES
PARKING REQUIRED (SECOND FLOOR): 12,380/200 = 42 SPACES
= 112 SPACES

EXISTING MEPS
PARKING REQUIRED (FIRST FLOOR): 20,765/200 = 104 SPACES

EXISTING CONDOMINIUMS ASSOCIATION OFFICE:
PARKING REQUIRED (SECOND FLOOR): 1,065/300 = 4 SPACES

EXISTING DIVOTS SERVICES OFFICE:
PARKING REQUIRED (SECOND FLOOR): 958/300 = 3 SPACES

EXISTING C&A WAREHOUSE:
PARKING REQUIRED (FIRST FLOOR): 12,500/2000 = 7 SPACES

EXISTING NORT. OF CHICAGO T.I. AREA
PARKING REQUIRED (FIRST FLOOR): 15,500/200 = 78 SPACES

NEW NM STATE RECORDS FACILITY:
PARKING REQUIRED (FIRST FLOOR OFF): 1,288/200 = 7 SPACES
PARKING REQUIRED (FIRST FLOOR WH): 7,500/2000 = 4 SPACES
PARKING REQUIRED (FIRST FLOOR WH): 8,000/2000 = 4 SPACES
= 15 SPACES

TOTAL PARKING REQUIRED:
= 1,130 SPACES

MAXIMUM REDUCED IN THE NUMBER OF PARKING SPACES REQUIRED FOR SHARED PARKING IS 20%
= 1,130 x 20% = 226
= 1,130 - 226 = 904

TOTAL SHARED PARKING ALLOWED
= 904 SPACES

PARKING REQUIRED:
= 20 SPACES

H.C. PARKING REQUIRED (801 TO 1,000):
= 8 SPACES

MOTORCYCLE PARKING REQUIRED (750 TO 1,000):
= 7 SPACES

PARKING PROVIDED (ON SITE):
= 182 REGULAR PARKING SPACES
= 182 REGULAR PARKING SPACES

EXISTING OFFSITE SHARED PARKING WITH WALMART:
= 182 REGULAR PARKING SPACES

TOTAL PARKING PROVIDED:
= 963 SPACES

BICYCLES PARKING PROVIDED:
= 15 EXISTING SPACES

NOTE: ALL EXISTING PARKING IS SHARED PARKING BETWEEN EXISTING BROWN MACKE COLLEGE, EXISTING COPPER POINT CHURCH, MEPS AND HARRIS AND ANY FUTURE BUILDING TENANTS.

LANDSCAPING REQUIREMENTS

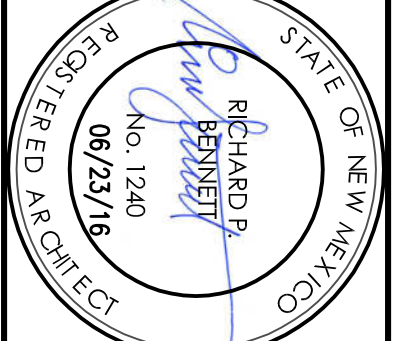
GROSS LOT AREA: 631,298 S.F.
BUILDING AREA: 104,967 S.F.
NET LOT AREA: 446,967 S.F.

REQUIRED LANDSCAPE AT
15% OF NET LOT AREA: 66,990 S.F.
PROVIDED LANDSCAPING: 68,545 S.F.

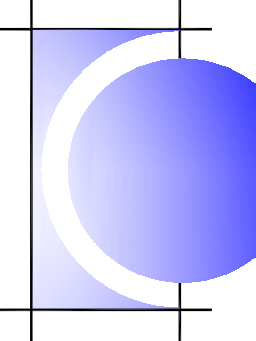
NOTE: ALL LANDSCAPING IS EXISTING AT 66,990 S.F. (PLUS)

NMRC&A AT COPPER POINT SITE PLAN ALBUQUERQUE, NM PROJECT # 1590

REVISION DATE



RBA
ARCHITECTURE, P.C.
PLANNING
DESIGN
1114 Park Ave. SW
Albuquerque, NM 87102
505.242.4431
www.rbaarch.com



DATE
06-23-2016

SHEET NUMBER

AS-1.0

SITE PLAN



LEGAL DESCRIPTION

LEGAL DESCRIPTION: TRACT 1-5 COPPER POINT SUBDIVISION

SURVEYOR:

SURV-TEK, INC.

DATED JULY, 2005

BENCHMARK:

ACS BENCHMARK "7-K21" ELEVATION = 5463.401 (NGVD 29)

TEMPORARY BENCHMARK:

60D NAIL W/ BRASS CAP MARKED "SURV-TEK CONTROL" ELEVATION = 5470.97 (NAVD 29)

FLOOD PLAN:

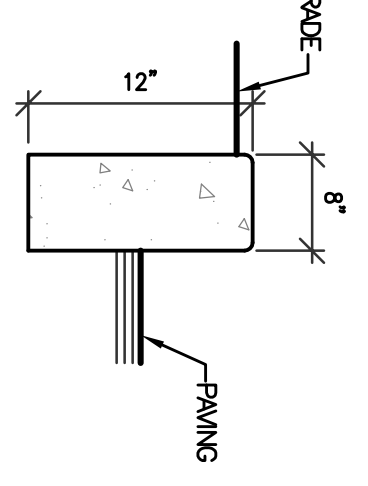
ZONE X THIS SITE LIES OUTSIDE THE 100-YEAR FLOOD (ZONE X) BASED ON FIRI MAP #3500100359F, DATED NOVEMBER 19, 2003

NEW NM STATE RECORDS FACILITY:
1ST FLOOR T.I. BUILDOUT = 9,016 S.F.
2ND FLOOR T.I. BUILDOUT = 8,973 S.F.
TOTAL SPACES REQUIRED = 15 SPACES
PARKING SPACES PROVIDED = 15 SPACES



TYP. CONCRETE CURB

1"=1'-0"



ENLARGED SITE PLAN

1"=40'-0"

