

CITY OF ALBUQUERQUE



June 10, 2016

David McEachem
RBA Architecture, PC
1104 Park Ave SW
Albuquerque, NM

Re: ~~RBA Architecture, PC~~ *Copper Point*
10500 Copper Point Subdivision
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-1-16 (K21-D009H1)

Dear Mr. McEachem,

Based upon the information provided in your submittal received 6-9-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all property lines.
2. Identify and dimension the sidewalk at the south east corner of the parking lot addition adjacent to cul-de-sac.
3. Show all drive aisle widths and radii.
4. A 5 ft. keyway is required for dead-end parking aisles.
5. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
6. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
7. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services
\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Copper Pointe Building Permit #: _____ City Drainage #: K21D009H1
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 1-5 at Copper Pointe Subdivision
City Address: 10500 Copper Pointe Way NE Albuquerque, NM 87123

Engineering Firm: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: RBA Architecture, PC Contact: David McEachern
Address: 1104 Park Ave SW ABQ, NM 87102
Phone#: 242-1859 Fax#: _____ E-mail: david@rba81.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

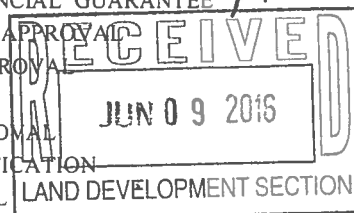
☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 6/9/16 By: Dmna

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

PARKING REQUIREMENTS

TOTAL PARKING ON SITE

= 526 REGULAR PARKING SPACES
= 20 HOV PARKING SPACES
= 700 TOTAL PARKING SPACES

= 81 NEW PARKING SPACES
781 TOTAL PARKING SPACES
7 MOTORCYCLE PARKING SPACES

EXISTING BROWN MACKIE COLLEGE:

PARKING REQUIRED (1 SPACE PER 2 OCC.): 662/2 = 331 SPACES

EXISTING COPPER POINTE CHURCH:

PARKING REQUIRED (1 SPACE PER 4 OCC.): 1,907/4 = 476 SPACES

EXISTING HARRIS

PARKING REQUIRED (FIRST FLOOR): 11,781/200 = 59 SPACES

PARKING REQUIRED (FIRST FLOOR LAB): 10,113/1,000 = 11 SPACES

PARKING REQUIRED (SECOND FLOOR): 12,380/200 = 42 SPACES

EXISTING MEPS

PARKING REQUIRED (FIRST FLOOR): 20,765/200 = 104 SPACES

EXISTING CONDOMINIUMS ASSOCIATION OFFICE:

PARKING REQUIRED (SECOND FLOOR): 1,065/300 = 4 SPACES

EXISTING DIVOTS SERVICES OFFICE:

PARKING REQUIRED (SECOND FLOOR): 958/300 = 3 SPACES

EXISTING C&A WAREHOUSE:

PARKING REQUIRED (FIRST FLOOR): 12,800/2000 = 7 SPACES

EXISTING NORT. OF CHICAGO T.I. AREA:

PARKING REQUIRED (FIRST FLOOR): 15,500/200 = 78 SPACES

NEW NM STATE RECORDS FACILITY:

PARKING REQUIRED (FIRST FLOOR OFF): 1,288/200 = 7 SPACES

PARKING REQUIRED (FIRST FLOOR WH): 7,500/2000 = 4 SPACES

PARKING REQUIRED (FIRST FLOOR WH): 8,000/2000 = 4 SPACES

TOTAL PARKING REQUIRED:

MAXIMUM REDUCTION IN THE NUMBER OF PARKING SPACES REQUIRED FOR SHARED PARKING IS 20%

TOTAL SHARED PARKING ALLOWED

PARKING REQUIRED:

H.C. PARKING REQUIRED (801 TO 1,000):

MOTORCYCLE PARKING REQUIRED (750 TO 1,000):

PARKING PROVIDED (ON SITE):

EXISTING OFFSITE SHARED PARKING WITH WALMART:

TOTAL PARKING PROVIDED:

BICYCLES PARKING PROVIDED:

NOTE: ALL EXISTING PARKING IS SHARED PARKING BETWEEN EXISTING BROWN MACKIE COLLEGE, EXISTING COPPER POINTE CHURCH, MEPS AND HARRIS AND ANY FUTURE BUILDING TENANTS.

LANDSCAPING REQUIREMENTS

GROSS LOT AREA:

BUILDING AREA:

NET LOT AREA:

REQUIRED LANDSCAPE AT

15% OF NET LOT AREA:

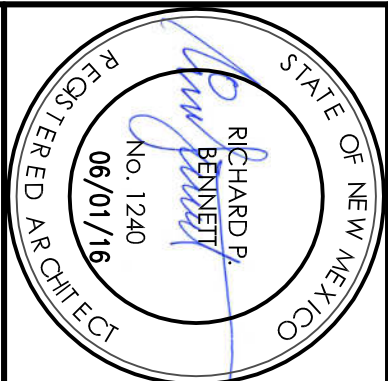
PROVIDED LANDSCAPING:

NOTE: ALL LANDSCAPING IS EXISTING AT 66,950 S.F. (PLUS)

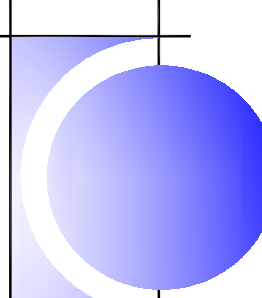
NMRC&A AT COPPER POINTE TRAFFICE CIRCULATION SITE PLAN ALBUQUERQUE, NM

PROJECT # 1590

REVISION DATE



RBA
ARCHITECTURE, PC
PLANNING
DESIGN



DATE

06-01-2016

SHEET NUMBER

TCL-1.0

1 SITE PLAN T=60'-0"

LEGAL DESCRIPTION

LEGAL DESCRIPTION: TRACT 1-5 COPPER POINTE SUBDIVISION

SURV-T&K, INC.

DATED JULY, 2005

BENCHMARK: ACS BENCHMARK "7"-K21"

ELEVATION = 5483.401 (NVD 29)

TEMPORARY BENCHMARK: 60D NAIL W/ BRASS CAP MARKED "SURV-T&K CONTROL"

ELEVATION = 5470.97 (NVD 29)

FLOOD PLAIN: ZONE X THIS SITE LIES OUTSIDE THE 100-YEAR FLOOD (ZONE X) BASED ON FRM MAP #35001C0359F, DATED NOVEMBER 19, 2003

KEYED NOTES

1. GC TO NEW PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS INTO BUILDING AND FIRE RISER ROOM MOUNT BOX 5'-0" HIGH A.F.F.
2. EXISTING FIRE RISER ROOM LOCATION WITH EXISTING SIGNAGE
3. THE FIRE RISER ROOM
4. EXISTING FIRE RISER ROOM (7) TOTAL
5. THE STAND PIPE LOCATION
6. THE STAND PIPE LOCATION (FV) LOCATION, NOTE: FV POST INDICATOR VALUE LOCATION
7. PREMISE ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.

NEW NM STATE RECORDS FACILITY:
1ST FLOOR T.I. BUILD-OUT = 9,816 S.F.
2ND FLOOR T.I. BUILD-OUT = 2,595 S.F.
PARKING REQUIRED
FIRST FLOOR OFFICE: 1,288/200 = 7 SPACES
FIRST FLOOR WH: 7,500/2000 = 4 SPACES
SECOND FLOOR WH: 8,000/2000 = 4 SPACES
TOTAL SPACE REQUIRED = 15 SPACES
EXISTING SPACES PROVIDED = 15 SPACES

