

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

October 28, 2015

D. Mark Goodwin, P.E.  
Mark Goodwin & Associates, P.A.  
P.O. Box 90606  
Albuquerque, NM, 87199

RE: **Copper Pointe  
Grading and Drainage Plan  
Engineer's Stamp Date 9-24-15 (File: K21D009H3)**

Dear Mr. Goodwin:

Based upon the information provided in your submittal received 9-25-15, the above referenced Grading and Drainage plan cannot be approved for Paving Permit until the following comment is addressed:

1. The first flush volume is shown to be bled into an existing 96" storm drain. The first flush needs to be retained on site, in a manner that infiltrates to the subsurface.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email

C. Ac.



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_







# FIRST FLUSH

THE "FIRST FLUSH" IS BEING ACCOMPLISHED THROUGH A DEPRESSED PONDING AREA IN THE PARKING LOT. THE FIRST FLUSH FLOWS WILL BE CAPTURED IN A 5'X5'X3.5' DROP INLET AND SLOWLY RELEASED THROUGH A 2" PIPE INTO THE EXISTING 96" SD.

REQUIRED VOLUME =  $0.34" \times \text{IMPERVIOUS AREA}$   
 $= 0.34" / 12 \times (25,442 \text{ SF})$   
 $= 721 \text{ CF}$

VOLUME PROVIDED = 736 CF

	Elev. (feet)	Surface Area (sf)	Incr. Volume (cubic ft.)	Total Volume (cubic ft.)
	78.5	1,809	542.6990	736
	78.0	498	105.7691	193
	77.5	25	87.5120	88
Pond Bottom =	74.0	25		

# HYDROLOGY NOTES

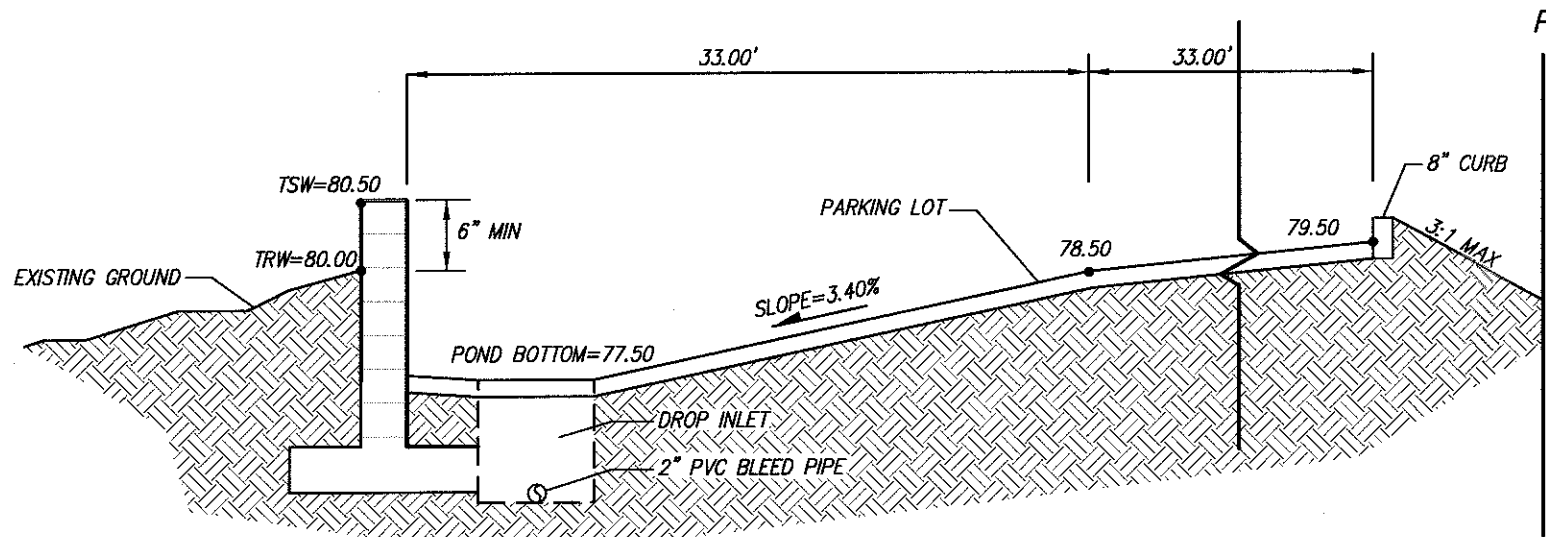
OVERALL HYDROLOGY PLAN:  
 THIS SITE IS DESIGNED BASED ON THE APPROVED OVERALL GRADING AND DRAINAGE PLAN FOR COPPER POINT DATED 5/16/07 (SEE SHEET 2 OF 2).

THE INTENT OF THIS PLAN IS TO MAINTAIN THE SAME OVERALL DRAINAGE PATHS FOR THE PROJECT SITE AS DESIGNED PER THE OVERALL MASTER PLAN. THIS SITE IS ALLOWED FREE DISCHARGE TO THE I-40 CHANNEL VIA THE EXISTING STORM DRAINS ADJACENT TO THE SITE. NO OFFSITE FLOWS ENTER THIS SITE PER THE APPROVED DRAINAGE REPORT FOR THE PRESIDIO.

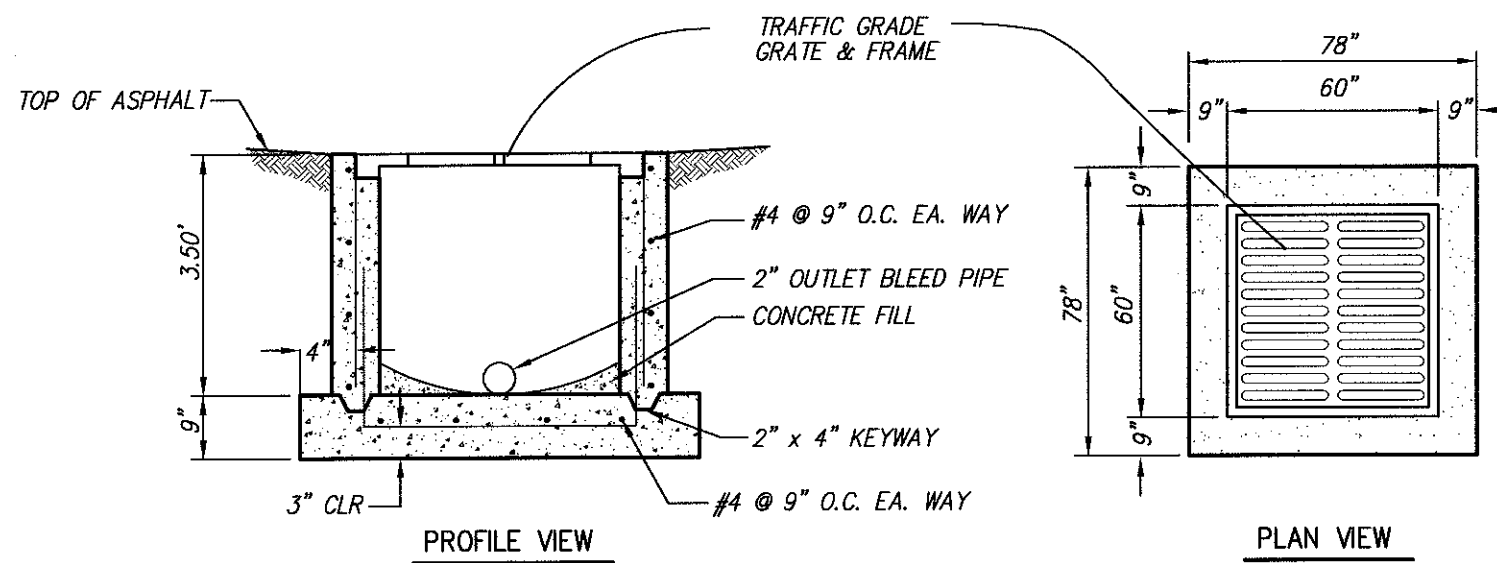
ACCORDING TO THIS MASTER PLAN, THE PROJECT SITE LIES WITHIN BASINS 6A AND 6C WITH BASIN 6A EVENTUALLY DRAINING TO BASIN 6C. THE GRADING FOR THIS PROJECT WILL BE SUCH THAT THE ENTIRE PROJECT SITE WILL DRAIN DIRECTLY TO BASIN 6C. ONCE THE FLOWS ENTER BASIN 6C, THEY WILL BE CAPTURED BY EXISTING INLETS CONNECTED TO AN EXISTING 96" SD. SINCE THE CURRENT PROJECT IS IN AGREEMENT WITH THE OVERALL GRADING AND DRAINAGE PLAN WITH RESPECT TO LAND TREATMENTS (PARKING LOT) AND DEVELOPED FLOWS, THE EXISTING 96" SD WILL HAVE CAPACITY TO CARRY THE DEVELOPED RUNOFF FROM THE PROJECT SITE.

MASTER PLAN SPECIFIC HYDROLOGY:  
 BASIN 6A:  $Q=5.4\text{cfs}$  IN FULLY DEVELOPED CONDITIONS  
 BASIN 6C:  $Q=11.5\text{cfs}$  IN FULLY DEVELOPED CONDITIONS

SITE SPECIFIC HYDROLOGY:  
 SITE AREA = 0.72 ACRES  
 HYDROLOGY WAS CALCULATED PER COA DPM USING AHYMO.  $P_n=3.65"$  THE FOLLOWING LAND TREATMENTS WERE USED: A=0%, B=19%, C=0%, D=81%  
 TOTAL PROJECT SITE:  $Q=3.65\text{cfs}$



POND CROSS SECTION RETAINING WALL DETAIL



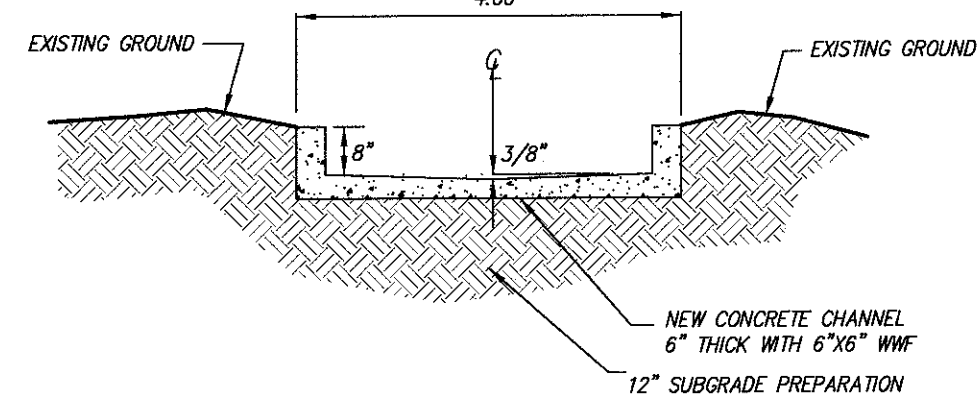
DROP INLET DETAIL

# GENERAL NOTES

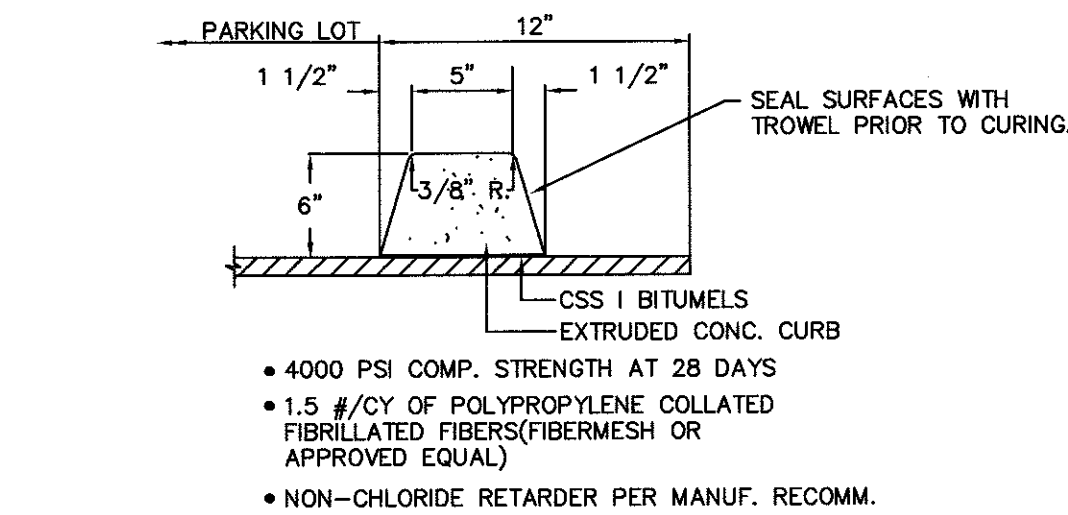
- SEE ARCHITECTURAL SITE PLAN FOR TRUE DIMENSIONS.
- CITY OF ALBUQUERQUE DETAILS SHALL BE USED WHEN APPLICABLE.

# KEYED NOTES

- STANDARD 8" CURB
- NEW ASPHALT PAVEMENT
- INSTALL 5' X 5' X 3.5' DEEP DROP INLET PER DETAIL
- INSTALL 2" PVC SD AT S=1.0%
- INVERT AT DROP INLET = 74.00
- CONSTRUCT 4' WIDE CONCRETE CHANNEL PER DETAIL
- NEW LANDSCAPED AREA
- NEW 103LF POND RETAINING WALL PER SECTION. DESIGN BY OTHERS.
- NEW EXTRUDED 6" CURB PER DETAIL
- REMOVE AND REPLACE ASPHALT IN KIND
- REMOVE 86.50± LF OF EXISTING CURB
- EXISTING 96" STORM DRAIN



CONCRETE DRAINAGE CHANNEL DETAIL



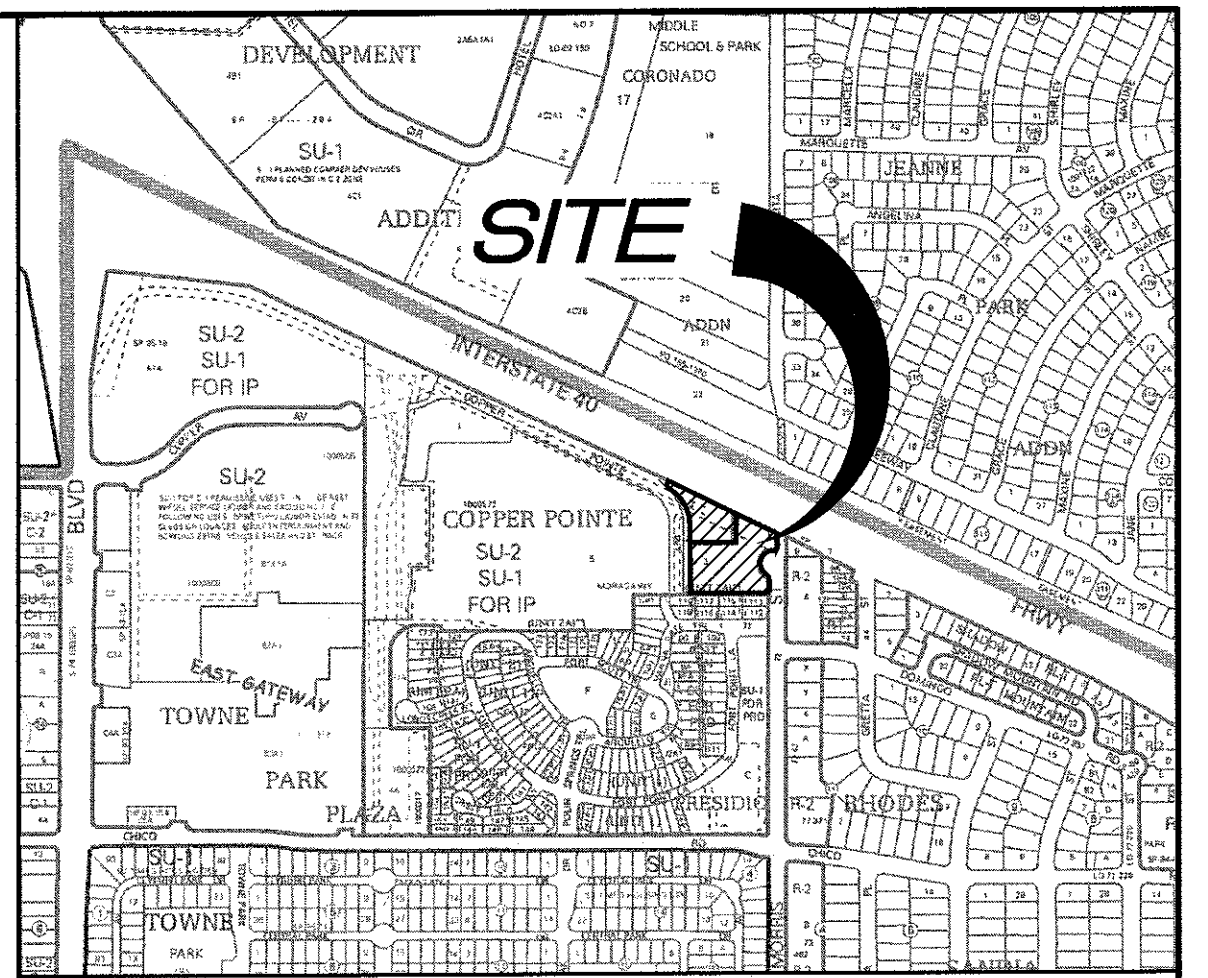
EXTRUDED CURB

# EXISTING EASEMENTS (ONSITE)

- Remaining 14' of 20' Permanent Easement for Public Waterline per Document Filed 12-29-2000, Book A13, Pg. 7743 (portion of southerly 6' feet of said Easement within Tracts 2 and 3 Vacated by 08-DRB-70197).
- 75' Drainage & Utility Easement as Shown on Survey prepared by New Mexico Surveying Company Filed 3-17-97, Vol. 97S, Folio 25.
- 20' Permanent Easement for Public Sanitary Sewer per Document Filed 12-29-2000, Book A13, Pg. 7744.
- 10' P.N.M. Easement per Plat Filed 4-13-99, Vol. 99C, Folio 84
- 10' Mountain States Telephone & Telegraph Company Easement Filed 10-27-70, Bk. 192, Pg. 957 and also Filed 2-8-71, Bk. Misc. 203, Pg. 232
- 10' Utility Easement per Plat Filed 4-13-99, Vol. 99C, Folio 84.
- 10' Utility Easement as Shown on Survey prepared by New Mexico Surveying Company Filed 3-17-97, Vol. 97S, Folio 25.
- 30' Roadway Easement per Document Filed 3-30-71, Doc. No. 18478
- 10' Public Utility Easement granted by plat filed October 10, 2008 in Plat Book 2008C, Page 224
- Private Access Easement over Tract 4 granted for the benefit of the owners of all the tracts in Copper Point Subdivision by plat filed September 10, 2008 in Plat Book 2008C, Page 224. A Public Utility Easement is granted by said plat over all portions of Tract 4 not encumbered by the existing 75' Drainage & Utility Easement as shown on survey filed in Vol. 97S, Folio 25 and hereon.

# EXISTING EASEMENTS (OFFSITE)

- 8' Public Pedestrian Access Easement granted to the City of Albuquerque by plat filed April 13, 2007 in Book 2007C, Page 81.
- 10' Public Utility Easement Granted by plat filed June 7, 2007 in Book 2007C, Page 158
- 20' Permanent Easement for Public Waterline per Document Filed 12-29-2000, Book A13, Pg. 7743 (southerly 6' of said easement within Tracts 2 and 3 Vacated by 08-DRB-70197).



# VICINITY MAP

# ACS BENCHMARK

ACS BENCHMARK "6-L21"  
 ELEVATION = 5503.276 (NAVD 1988)

# LEGAL DESCRIPTION

TRACTS TWO (2) AND THREE (3) PLAT OF COPPER POINT SUBDIVISION. (BEING A REPLAT OF TRACT B, THE PRESIDIO) SITUATE WITHIN SECTION 21, TOWNSHIP 10 NORTH, RANGE 4E, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 10, 2008 IN PLAT BOOK 2008C, PAGE 224, AS DOCUMENT NO. 2008-111348.

# LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED TOP OF SCREEN WALL ELEVATION
- PROPOSED TOP OF RETAINING WALL ELEVATION
- PROPOSED BOTTOM OF RETAINING WALL ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FLOW LINE ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- NEW RETAINING WALL
- PONDING AREA

# KEYED INVERT DATA

- Storm Drain MH  
 Rim= 5485.02'  
 Inv.= 5465.62'
- Storm Drain Inlet  
 Top of Grate= 5482.98'  
 Inv.= 5477.78 (36"W)
- Storm Drain MH  
 Rim= 5485.63'  
 Inv.= 5467.23'
- Storm Drain MH  
 Rim= 5476.14'  
 Inv.= 5463.14'
- Sanitary Sewer MH  
 Rim= 5480.93'  
 Inv.= 5466.53' (SE)
- Sanitary Sewer MH  
 Rim= 5486.80'  
 Inv.= 5471.00' (S)
- Sanitary Sewer MH  
 Rim= 5470.90' (NW)

# COPPER POINT GRADING AND DRAINAGE

MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: KMK Drawn: KMK Checked: DMG Sheet 1 of 1  
 Scale: Date: 09/15 Job: A15029