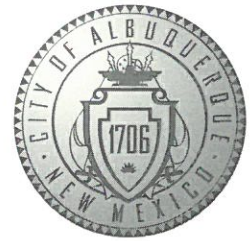


CITY OF ALBUQUERQUE



January 22, 2020

Tafazzul Hussain, RA
ARFA Construction & Design
2501 Yale Blvd SE, Suite 102
Albuquerque, NM 87106

Re: Copper Pointe (Holiday Inn Express)
10501 Copper Pointe Way NE, 87123
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-8-18 (K21D009H3)
Certification dated 1-16-20

Dear Mr. Hussain

Based upon the information provided in your submittal received 1-17-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

AFRA CONSTRUCTION & DESIGN

2501 YALE BLVD. SE, SUITE 102

ALBUQUERQUE, NM 87106

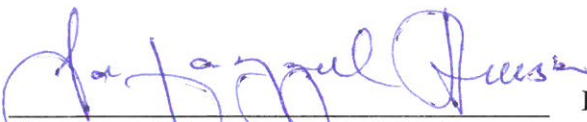
PHONE: 505-242-1745

FAX: 505-242-1737

TRAFFIC CERTIFICATION

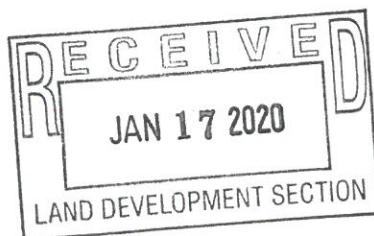
I, TAFAZZUL HUSSAIN, NMPE OR NMRA NMRA, OF THE FIRM AFRA CONSTRUCTION, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/5/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TAFAZZUL H OF THE FIRM AFRA CONT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/16/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TCL.

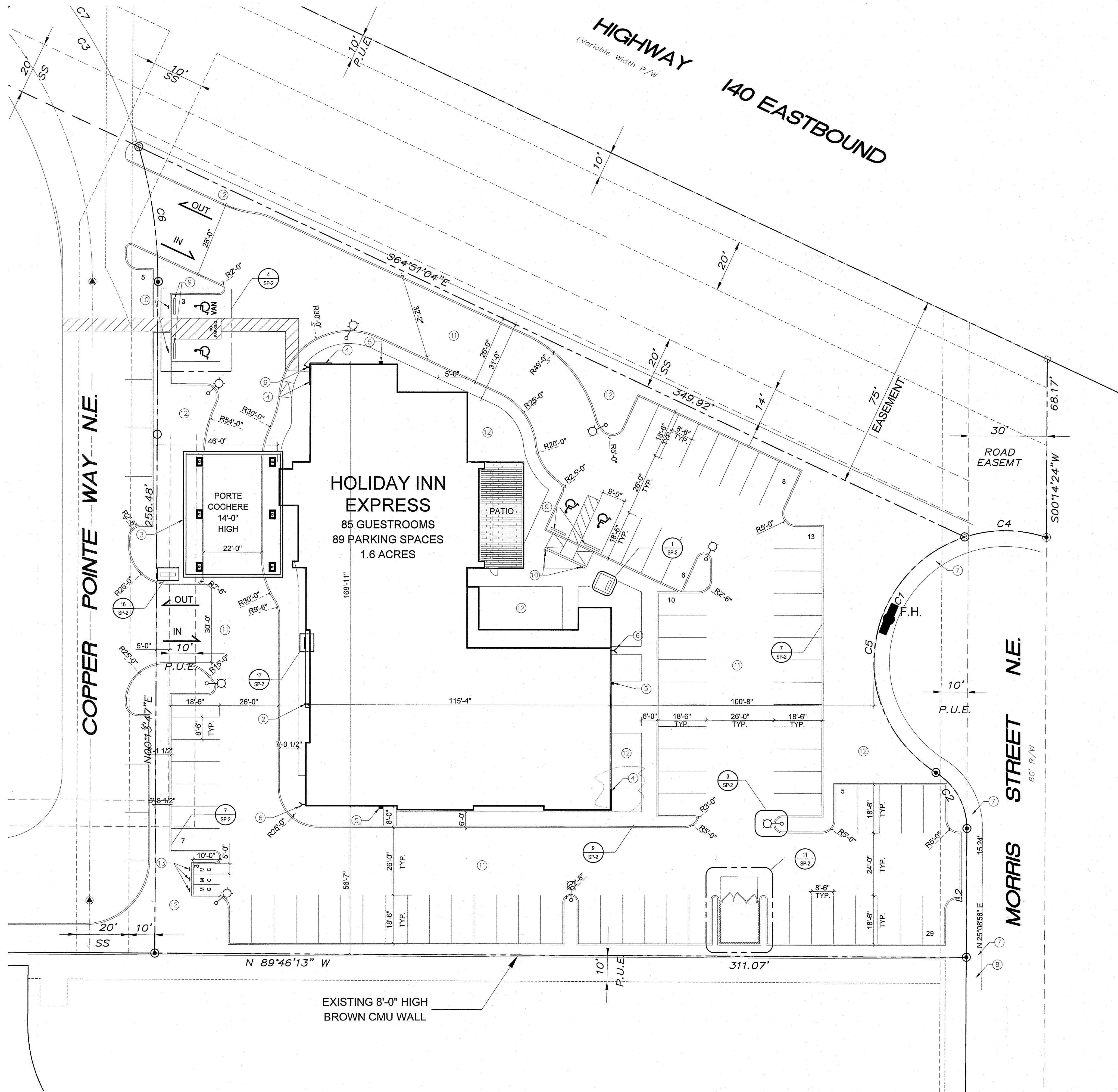
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

1/16/2020
Date

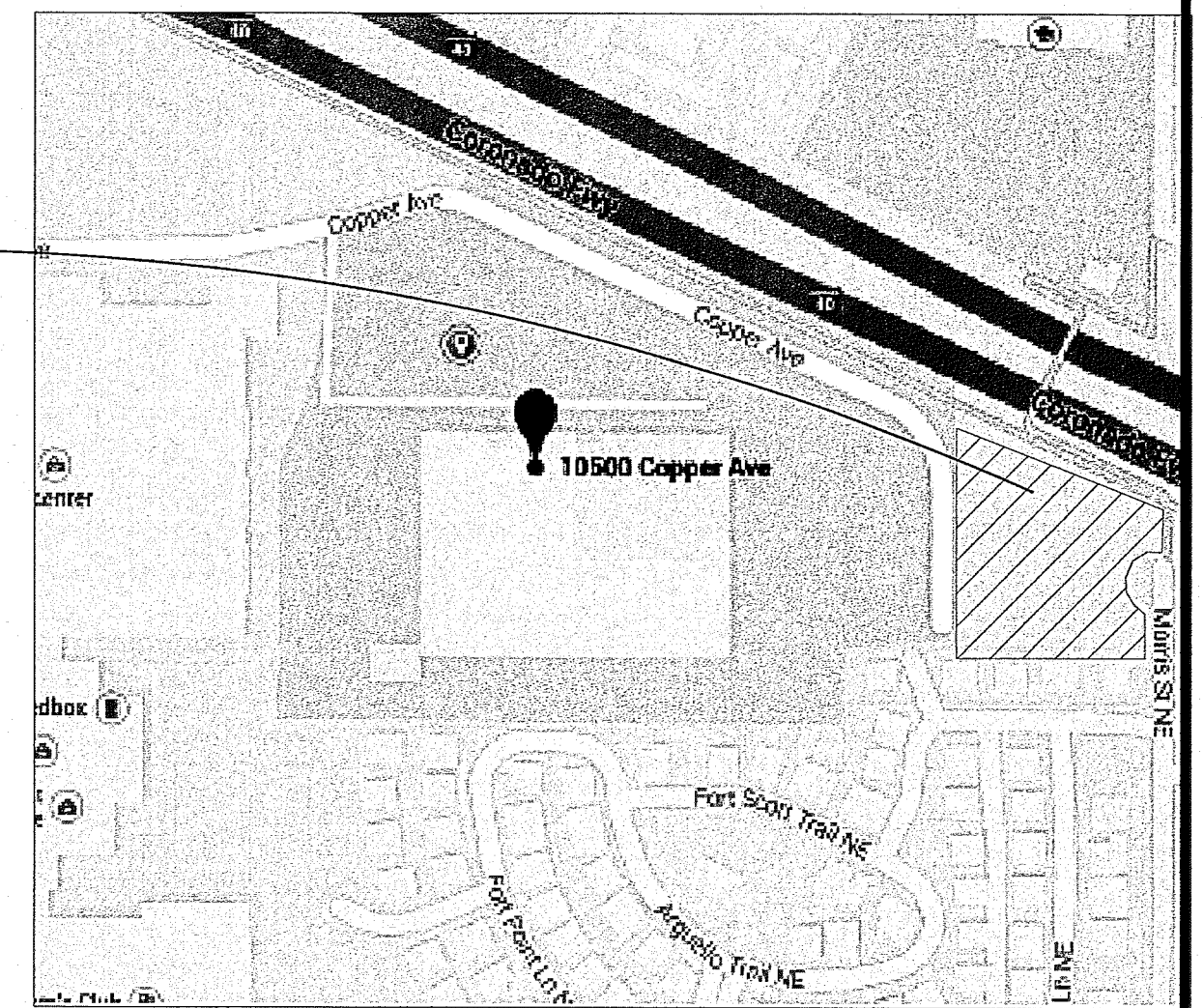




ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'

SITE LOCATION

NOTE:
SITE DEVELOPMENT
PLAN ORIGINALLY
APPROVED ON
09.24.2016.



LOCATION MAP
ZONE ATLAS
NORTH

LEGAL DESCRIPTION

PRESIDIO SUBDIVISION
COMMERCIAL PAD SITES,
TRACT 2 AND TRACT 3,
COPPER POINTE
SUBDIVISION SITUATED WITHIN
SECTION 21 TOWNSHIP 10
NORTH - RANGE 4
EAST NEW MEXICO
PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE
BERALILLO COUNT
NEW MEXICO
MAY 2009
1.6 ACRES

FIRE AREA

FIRST FLOOR LARGEST
GROSS AREA = 14,516.0 SF
(-) 3- 2HR STAIRS = 832.3 SF
(-) 1- 2HR LAUNDRY CHUTE = 32.0 SF
(-) 1- 2HR ELEV. SHAFT = 144.5 SF
(-) 1- 1HR CORRIDORS = 1,529.0 SF
TOTAL FIRE AREA = 11,978 SF

KEY NOTE

1. FIRE DEPARTMENT CONNECTION (FDC)
2. PIV
3. ADDRESS 10" HIGH NUMRERS
4. FRANCHISE SIGN
5. KNOX BOX - 6'-0" A.F.F.
6. FIRE DEPARTMENT STANDPIPE
7. NEW SIDEWALK TO MATCH EXISTING
8. EXISTING SIDEWALK
9. PARKING BUMPER
10. ADA SIGN, SEE DETAIL 2/SP-2
11. ASPHALT PARKING
12. LANDSCAPING
13. MOTORCYCLE PARKING SIGN REFER TO 2A/SP-2.

GENERAL INFORMATION

ALL REQUIRED INFRASTRUCTURE WILL
BE CONSTRUCTED IN CONFORMANCE
WITH THE CITY OF ALBUQUERQUE
STANDARD SPECIFICATIONS AND
DRAWINGS.
DRIVEPADS COA STD. DWG.
SIDEWALK COA STD. DWG 2415 A&B
WHEEL CHAIR RAMPS COA STD. DWG.
2440 AND 2441
PAVEMENT COT STD. DWG. 2408
THE PROPOSED SCREEN SHALL BE SOLID COLORED
TO MATCH BUILDING COLOR.

PARKING ANALYSIS

TOTAL GROSS BUILDING AREA = 56,306 SF
85 GUESTROOMS
REQUIRED PARKING SPACES = 85 SPACES
PROVIDED PARKING SPACES = 89 SPACES
ACCESSIBLE PARKING SPACES REQUIRED = 4
VAN ACCESSIBLE PARKING SPACE = 1
TOTAL ACCESSIBLE PARKING SPACES = 4

MOTORCYCLE SPACES : (MC)
REQUIRED : 3
PROVIDED : 3

BIKE TABULATION

1. BIKE PER 20 PARKING SPACES
4. BIKE RACKS REQUIRED
4. BIKE RACKS PROVIDED

PATIO TABULATION

1 ST FLOOR 14,348 SF X 5.33% = 765 SF
PATIO (SF) PROVIDED = 760 SF

SITE PLAN

SCALE: 1" = 20'

Afra Construction & Design
2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1743
Fax 505.242.1737

HOLIDAY INN EXPRESS
10501 COPPER AVENUE
ALBUQUERQUE, NEW MEXICO 87123

REV	DATE	DESCRIPTION	APVD
1	8/25/2019	REVISED	TAFAZZUL HUSSAIN
2	9/25/2019	REVISED	TAFAZZUL HUSSAIN

SP-1
02/26/2018

PROJECT NUMBER: 1000572
APPLICATION NUMBER: 16 DFB-78314

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE
ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED
AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF
APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN
PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE 8/8/18

WATER UTILITY DEPARTMENT DATE 09-25-19

PARKS AND RECREATION DEPARTMENT DATE 8/8/18

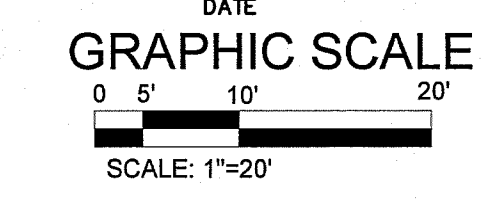
CITY ENGINEER DATE 8/8/2018

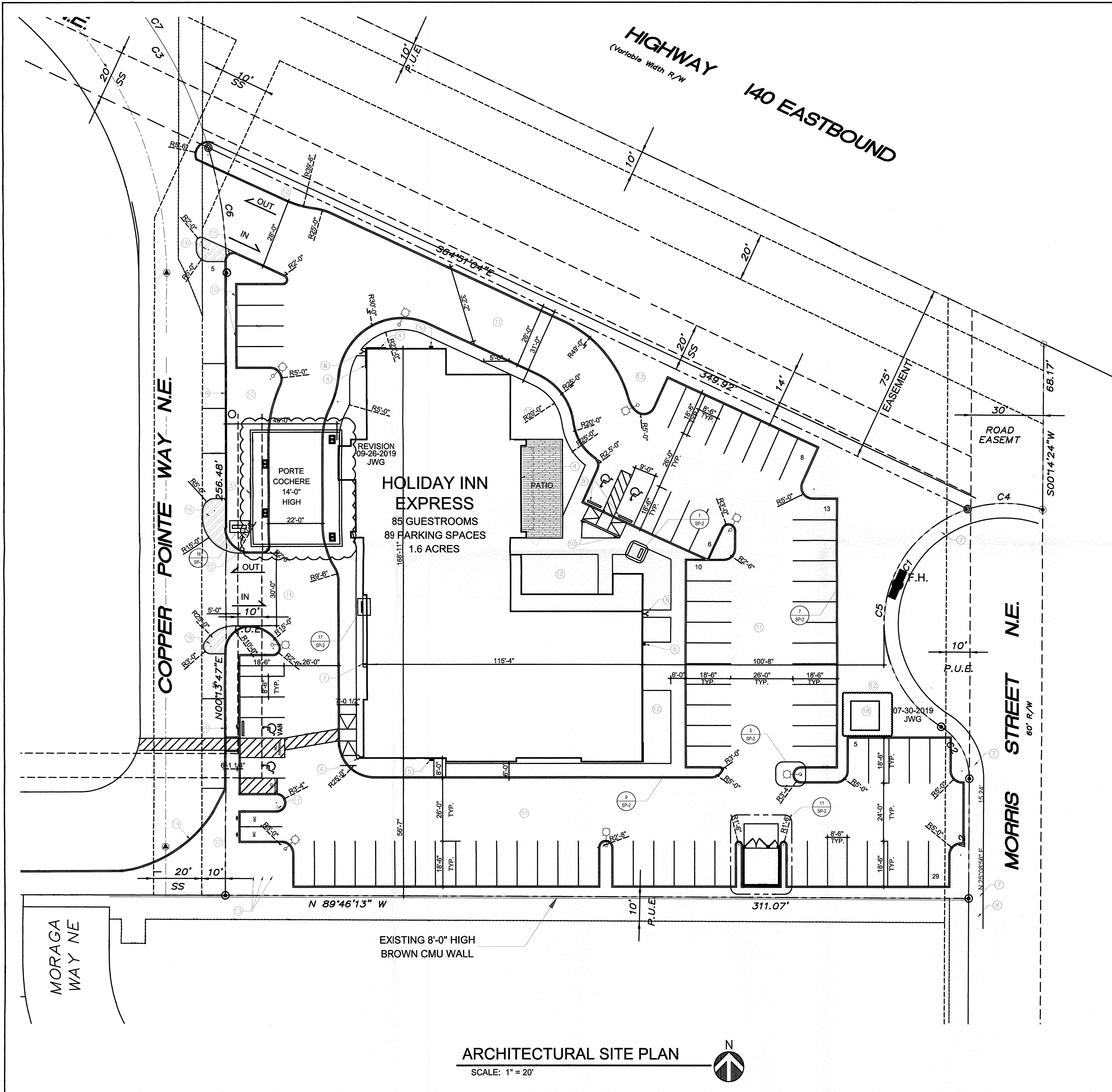
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

SOLID WASTE MANAGEMENT DATE

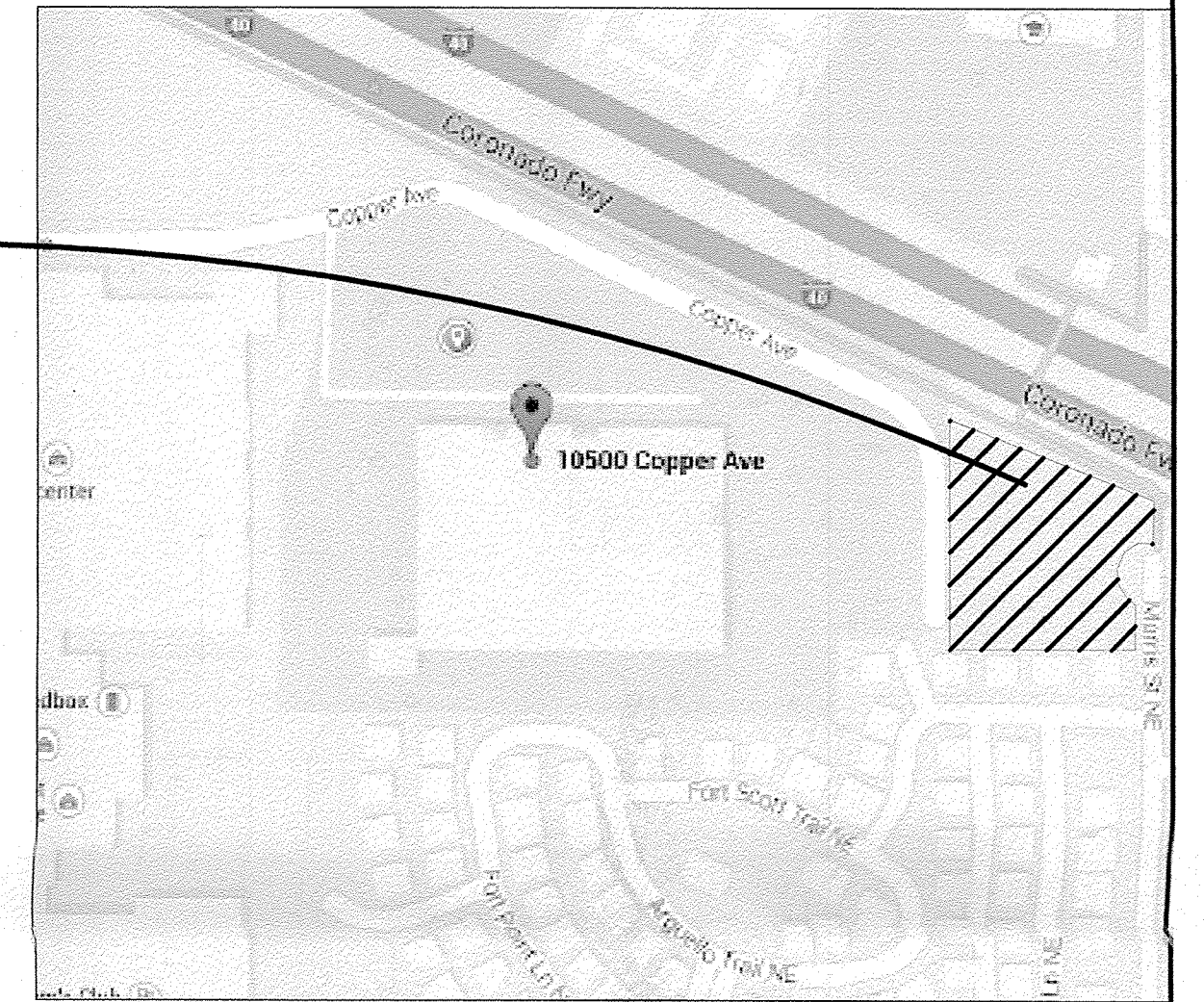
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE 9-25-19

CODE ENFORCEMENT. DATE 8/8/18





SITE LOCATION



LOCATION MAP

ZONE ATLAS

KEY NOTE

LEGAL DESCRIPTION

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COMMERCIAL PAD SITES,
TRACT 2 AND TRACT 3,
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07-30-2019
JWG

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SITE PLAN (REVISION)

SCALE: 1" = 20'

Afra Construction & Design

2501 Yale Blvd SE Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

HOLIDAY INN EXPRESS
10501 COPPER AVENUE
ALBUQUERQUE, NEW MEXICO 87123

REV	DATE	DESCRIPTION	APVD

GRAPHIC SCALE
0 5' 10' 20'
SCALE: 1"=20'

SP-1

07/30/2019



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: HOLIDAY INN Building Permit #: _____ Hydrology File #: K2100091H3

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: 10501 COPPER AVE, NE, ALBQ, NM-87123

Applicant: TAFAZZUL HUSSAIN Contact: _____

Address: 2501 YALE BLVD. SE, SUITE-102, ALBQ, NM-87106

Phone#: 505-415-9845 Fax#: 505-242-1737 E-mail: THUSSAIN@AFRA
DESIGN.COM.

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

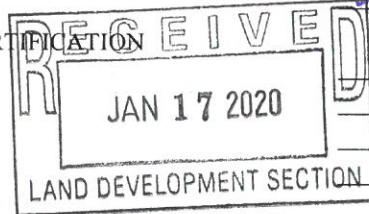
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR

- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)

- ☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?



DATE SUBMITTED: 1/16/2020 By: Tafazzul Hussain

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____